

AGENDA



PLANNING AND ZONING COMMISSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
NOVEMBER 15, 2022 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

NOTES: [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

(I) CALL TO ORDER

(II) APPOINTMENTS

- (1) Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

(III) OPEN FORUM

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(IV) CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.

- (2) Approval of minutes for the September 27, 2022 Planning and Zoning Commission meeting.

(3) **P2022-055 (HENRY LEE)**

Discuss and consider a request by Meredith Joyce of Michael Joyce Properties on behalf of Peter H. Shaddock, Jr. of SH Dev Klutts Rockwall, LLC for the approval of a Final Plat for Phase 1 of the Homestead Subdivision consisting of 175 single-family residential lots and being a 129.485-acre portion of a larger 195.3177-acre tract of land identified as Tract 6 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 92 (PD-92), generally located at the northeast corner of the intersection of FM-549 and FM-1139, and take any action necessary.

(4) **P2022-056 (BETHANY ROSS)**

Discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of William Johnson of LTL Family Holdings, LLC for the approval of a Final Plat for the Marina Village Subdivision being a 6.88-acre tract of land identified as Lot 4, Block A, Spyglass Hill #4 Addition and Tract 134-12 of the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) [Ordinance No. 92-39] for Zero Lot Line (ZL-5) District land uses, generally located on the south side of Henry M. Chandler Drive west of Ridge Road [FM-740], and take any action necessary.

(5) **SP2022-055 (HENRY LEE)**

Discuss and consider a request by Ryan King of ECDLP on behalf of Jose Campos of Saddle Star Holdings for the approval of a Site Plan for Phase 2 of the Saddle Star Subdivision being a 26.827-acre tract of land identified as Tracts 1, 1-05, 2-03, & 2-07 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 79 (Ordinance No. 20-35), situated within the SH-205 By-Pass (SH-205 BY OV) District, generally located east of the intersection of Featherstone Drive and N. John King Boulevard, and take any action necessary.

(V) PUBLIC HEARING ITEMS

This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.

(6) **Z2022-047 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Javier Silva and JMS Custom Homes, LLC for the approval of a Zoning Change from Agricultural (AG) District to a General Retail (GR) District for a 1.837-acre tract of land identified as Tract 6 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the

SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located on the east side of FM-1141 south of the intersection of Waters Edge Drive and FM-1141, and take any action necessary.

(7) **Z2022-048 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Bryan Cook for the approval of a Specific Use Permit (SUP) for a *Guest Quarters/Secondary Living Unit* and *Detached Garage* on a one (1) acre parcel of land identified as Lot 13, Block A, Saddlebrook Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 2348 Saddlebrook Lane, and take any action necessary.

(8) **Z2022-049 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Deanna Welch-Williams of Sheldon Custom Homes on behalf of Kenneth and Debbie Wade for the approval of a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.3080-acre parcel of land identified as Lot 6, Block A, Eagle Point Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1505 S. Alamo Street, and take any action necessary.

(9) **Z2022-050 (RYAN MILLER)**

Hold a public hearing to discuss and consider approval of a Text Amendment to Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] for the purpose of making minor changes to Subsection 06.16, *Lake Ray Hubbard Takeline Overlay (TL OV) District*, and take any action necessary.

(VI) **ACTION ITEMS**

These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.

(10) **SP2022-053 (BETHANY ROSS)**

Discuss and consider a request by Alan Jacob on behalf of Jim Melino of the Cambridge Companies, Inc. for the approval of a Site Plan for a *Self-Service Carwash* on a 6.37-acre tract of land identified as Tract 3-09 of the J. M. Allen Survey, Abstract No. 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 10 (PD-10) for Commercial (C) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, located at the northwest corner of SH-276 and John King Boulevard, and take any action necessary.

(11) **SP2022-054 (BETHANY ROSS)**

Discuss and consider a request by Robert Romano on behalf of Bill McMahon of Triton I-30 Rockwall II, LLC for the approval of an Amended Site Plan for an existing *Restaurant* facility on a 1.370-acre parcel of land identified as Lot 17, Block A, La Jolla Pointe, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 568 E. IH-30, and take any action necessary.

(12) **SP2022-056 (BETHANY ROSS) [POSTPONED TO THE NOVEMBER 29, 2022]**

Discuss and consider a request by Jeff Carroll of Jeff Carroll Architects, Inc. on behalf of Eric Borkenhalen of Kohl's Department Stores for the approval of a Site Plan for an *Animal Clinic for Small Animals without Outside Pens* on a 0.636-acre portion of a larger 7.383-acre parcel of land identified as Lot 7, Block A, Rockwall Market Center East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, located at the terminus of Rochell Court, and take any action necessary.

(13) **SP2022-058 (HENRY LEE)**

Discuss and consider a request by Frank A. Polma, PE of R-Delta Engineers, Inc. on behalf of Stephen Geiger of Rayburn Country Electric Cooperative for the approval of a Site Plan for an *Industrial Campus* on a 99.849-acre tract of land identified as Lots 6, 7, 8 & 9, Block A, Rayburn Country Addition and Tract 3 of the W. H. Barnes Survey, Abstract No. 26, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 950 & 980 Sids Road, and take any action necessary.

(14) **SP2022-059 (BETHANY ROSS) [POSTPONED TO THE NOVEMBER 29, 2022]**

Discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of William Johnson of LTL Family Holdings, LLC for the approval of a Site Plan for the *Marina Village Subdivision* being a 6.88-acre tract of land identified as Lot 4, Block A, Spyglass Hill #4 Addition and Tract 134-12 of the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) [*Ordinance No. 92-39*] for *Zero Lot Line (ZL-5) District* land uses, generally located on the south side of Henry M. Chandler Drive west of Ridge Road [FM-740], and take any action necessary.

(VII) **DISCUSSION ITEMS**

(15) Discuss and consider directing staff to make changes to Subsection 02.03(K)(7), *Solar Energy Collector Panels and Systems*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), and take any action necessary.

(16) Director's Report of post City Council meeting outcomes for development cases **(RYAN MILLER)**.

- P2022-051: Final Plat for Lot 1, Block G, Lake Rockwall Estates East Addition **(APPROVED)**
- P2022-052: Final Plat for Lots 1-14, Block A, Creekside Commons Subdivision **(APPROVED)**
- P2022-053: Master Plat for the Quail Hollow Subdivision **(APPROVED)**
- P2022-054: Final Plat for Lots 1-3, Block A, DuWest Addition **(APPROVED)**
- Z2022-044: Text Amendment to Article 02, *Development Review Authority*, of the UDC and the Municipal Code of Ordinances **(APPROVED; 2ND READING)**
- Z2022-045: SUP for *Solar Panels* for 125 Lanshire Drive **(APPROVED; 2ND READING)**
- Z2022-046: Text Amendment to Article 04, *Permissible Uses*, of the UDC **(APPROVED; 2ND READING)**

(VIII) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Angelica Guevara, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on November 11, 2022 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

MINUTES

PLANNING AND ZONING COMMISSION WORK SESSION MEETING CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS OCTOBER 25, 2022 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 **NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT
3 [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR
4 SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT
5 FORM ON THE CITY'S WEBSITE.
6

7 I. CALL TO ORDER

8
9 **Chairman Thomas called the meeting to order at 6:00 PM. Commissioners present were Jean Conway, Brian Llewelyn, Ross Hastings, Jerry Welch, John Womble and Derek Deckard. Staff members present were Director of Planning and Zoning Ryan Miller, Planners Henry Lee and Bethany Ross, Planning Technician Angelica Guevara, City Engineer Amy Williams and Assistant City Engineer Jonathan Browning. Absent from the meeting was Civil Engineer Sarah Johnston.**
12

14 II. APPOINTMENTS

16 1. Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on
17 the agenda requiring architectural review.
18

19 **A representative from the Architectural Review Board gave a brief explanation concerning the agenda items that were discussed at the Architectural Review Board meeting.**
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22 III. OPEN FORUM

23
24 *This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.*
27

29 **Chairman Thomas explained how open forum is conducted and asked if anyone wished to speak to come forward at this time; there being no one indicating such, Chairman Thomas closed the open forum.**
30

32 IV. CONSENT AGENDA

33
34 *These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*
36

37 2. Approval of minutes for the October 11, 2022 Planning and Zoning Commission meeting.
38

39 3. P2022-051 (ANGELICA GUEVARA)

40 Consider a request by Sam Carroll of Carroll Consulting Group, Inc. on behalf of Erick Cruz Mendoza for the approval of a *Final Plat* for Lot 1, Block G, Lake Rockwall Estates East Addition being a 0.1652-acre parcel of land identified as Lot 873-A of Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 481 Blanche Drive, and take any action necessary.
44

45 4. P2022-052 (HENRY LEE)

46 Consider a request by Keaton Mai of the Dimension Group on behalf of Justin Webb of Rockwall 205 Investors, LLC and Michael Hampton of 549 Crossing, LP for the approval of a *Final Plat* for Lots 1-14, Block A, Creekside Commons being a 34.484-acre tract of land identified as Tracts 17-5 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, generally located at east of the intersection of S. Goliad Street [SH-205] and S. FM-549, and take any action necessary.
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51 5. P2022-053 (BETHANY ROSS)

52 Consider a request by Humberto Johnson, Jr. of the Skorburg Company on behalf of Larry Hance of R & R Investments for the approval of a *Master Plat* for the Quail Hollow Subdivision consisting of 250 single-family residential lots on a 85.63-acre tract of land identified as Tracts 2-01, 2-04, 2-05 & 2-06 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 96 (PD-96) for Single-Family 10 (SF-10) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located at the southeast corner of the intersection of Hays Road and John King Boulevard, and take any action necessary.
57

58 6. P2022-054 (HENRY LEE)

59 Consider a request by Bowen Hendrix of DuWest Realty, LLC for the approval of a *Final Plat* for Lots 1-3, Block A, DuWest Addition being an 8.684-acre tract of land identified as Tract 3-10 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for limited General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, located on the eastside of N. Goliad Street [SH-205] north of the intersection of Quail Run Road and N. Goliad Street [SH-205], and take any action necessary.
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63

64 Commissioner Womble made a motion to approve the consent agenda. Vice-Chairman Deckard seconded the motion which passed by a vote of 7-0.

65
66 V. ACTION ITEMS

67
68 *These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special*
69 *exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.*
70

71 7. MIS2022-020 (RYAN MILLER)

72 Discuss and consider a request by Angela Hoffman for the approval of a Miscellaneous Case for an Exception to the garage orientation requirements to allow
73 a forward-facing garage for an existing single-family home situated on a 0.27-acre parcel of land identified as Lot 8, Block D, Lakeridge Park Addition, City of
74 Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 1912 S. Lakeshore Drive, and take any action necessary.

75
76 Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the request. The applicant is requesting to change the garage
77 orientation of the existing home from a j-swing garage to a forward-facing garage. According to the applicant's letter, the reason for the request is
78 the design of the home has a bedroom that blocks a portion of the driveway. Mr. Miller then advised that the applicant and staff were present and
79 available for questions.

80
81 Angela Hoffman
82 1912 S. Lakeshore Drive
83 Rockwall, TX 75087
84

85 Mrs. Hoffman came forward and provided additional details in regard to the request.

86
87 After brief discussion, Commissioner Llewelyn made a motion to approve MIS2022-020. Commissioner Conway seconded the motion which passed
88 by a vote of 7-0.

89
90 VI. DISCUSSION ITEMS

91
92 *These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come*
93 *forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items*
94 *are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission public hearing and/or action date for the*
95 *following cases is November 15, 2022.*
96

97 8. Z2022-047 (ANGELICA GUEVARA)

98 Hold a public hearing to discuss and consider a request by Javier Silva and JMS Custom Homes, LLC for the approval of a Zoning Change from Agricultural
99 (AG) District to a General Retail (GR) District for a 1.837-acre tract of land identified as Tract 6 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall,
100 Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located on the east
101 side of FM-1141 south of the intersection of Waters Edge Drive and FM-1141, and take any action necessary.

102
103 Planning Technician Angelica Guevara advised that the property to the north and the property directly below the subject property are both zoned
104 General Retail; therefore, the proposed zoning change request would make sense. Mrs. Guevara advised that her applicant was present.

105
106 Javier Silva
107 58 Windsor Drive
108 Rockwall, TX 75032
109

110 Mr. Silva came forward and provided additional details in regard to the request.

111
112 Chairman Thomas advised that this item will come back before the Commission for discussion or action on November 15, 2022.
113

114 9. Z2022-048 (BETHANY ROSS)

115 Hold a public hearing to discuss and consider a request by Bryan Cook for the approval of a Specific Use Permit (SUP) for a Guest Quarters/Secondary Living
116 Unit and Detached Garage on a one (1) acre parcel of land identified as Lot 13, Block A, Saddlebrook Estates #2 Addition, City of Rockwall, Rockwall County,
117 Texas, zoned Single-Family 16 (SF-16) District, addressed as 2348 Saddlebrook Lane, and take any action necessary.

118
119 Planner Bethany Ross advised that the guest quarters will be a 32' x 75' guest quarters with a building footprint of 2,400 square feet. The applicant
120 does have two existing accessory structures but stated that he would be willing to remove the one closest to the existing home.

121
122 Bryan Cook
123 2348 Saddlebrook Lane
124 Rockwall, TX 75087
125

126 Mr. Cook came forward and provided additional details in regards to the request.

127
128 Vice-Chairman Deckard asked what the other 2 existing structures on the property were.
129 Commissioner Welch asked if there are any other guest quarters within the area.

130
131 Ronell Hunter

132 9220 County Road 105
133 Kaufman, TX 75142

134
135 Mr. Hunter (contractor) came forward and provided additional details in regard to the request.
136

137 After some discussion, Chairman Thomas advised that this item will come back before the Commission for discussion or action on November 15,
138 2022.
139

140 10. Z2022-049 (ANGELICA GUEVARA)

141 Hold a public hearing to discuss and consider a request by Deanna Welch-Williams of Sheldon Custom Homes on behalf of Kenneth and Debbie Wade for the
142 approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision for the purpose of constructing a single-family home on a
143 0.3080-acre parcel of land identified as Lot 6, Block A, Eagle Point Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10)
144 District, situated within the Scenic Overlay (SOV) District, addressed as 1505 S. Alamo Street, and take any action necessary.

145
146 Planning Technician Angelica Guevara advised that the request meets all of the zoning requirements for a property in a Single-Family 10 (SF-10)
147 District.
148

149 Kenneth Wade
150 4760 Secret Cove Lane
151 Rockwall, TX 75032

152
153 Mr. Wade came forward and provided additional details in regard to the request.
154

155 Chairman Thomas advised that this item will come back before the Commission for discussion or action on November 15, 2022.
156

157 11. Z2022-050 (RYAN MILLER)

158 Hold a public hearing to discuss and consider approval of a Text Amendment to Article 05, District Development Standards, of the Unified Development Code
159 (UDC) [Ordinance No. 20-02] for the purpose of making minor changes to Subsection 06.16, Lake Ray Hubbard Takeline Overlay (TL OV) District, and take any
160 action necessary.

161
162 Director of Planning and Zoning Ryan Miller explained the changes that were being made to the text in Article 05 regarding the Takeline.
163

164 Chairman Thomas advised that this item will come back before the Commission for discussion or action on November 15, 2022.
165

166 12. P2022-055 (HENRY LEE)

167 Discuss and consider a request by Meredith Joyce of Michael Joyce Properties on behalf of Peter H. Shaddock, Jr. of SH Dev Klutts Rockwall, LLC for the
168 approval of a Final Plat for Phase 1 of the Homestead Subdivision consisting of 175 single-family residential lots and being a 129.485-acre portion of a larger
169 195.3177-acre tract of land identified as Tract 6 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned
170 Development District 92 (PD-92), generally located at the northeast corner of the intersection of FM-549 and FM-1139, and take any action necessary.
171

172 Planner Henry Lee advised that this item will need to be reviewed at Parks Board.
173

174 Chairman Thomas advised that this item will come back before the Commission for discussion or action on November 15, 2022.
175

176 13. P2022-056 (BETHANY ROSS)

177 Discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of William Johnson of LTL Family Holdings, LLC for the approval of a
178 Final Plat for the Marina Village Subdivision being a 6.88-acre tract of land identified as Lot 4, Block A, Spyglass Hill #4 Addition and Tract 134-12 of the E. Teal
179 Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) [Ordinance No. 92-39] for Zero Lot Line (ZL-
180 5) District land uses, generally located on the south side of Henry M. Chandler Drive west of Ridge Road [FM-740], and take any action necessary.
181

182 Planner Henry Lee advised that this item will need to be reviewed at Parks Board.
183

184 Chairman Thomas advised that this item will come back before the Commission for discussion or action on November 15, 2022.
185

186 14. SP2022-053 (BETHANY ROSS)

187 Discuss and consider a request by Alan Jacob on behalf of Jim Melino of the Cambridge Companies, Inc. for the approval of a Site Plan for a Self-Service
188 Carwash on a 6.37-acre tract of land identified as Tract 3-09 of the J. M. Allen Survey, Abstract No. 2, City of Rockwall, Rockwall County, Texas, zoned Planned
189 Development District 10 (PD-10) for Commercial (C) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, located at the northwest
190 corner of SH-276 and John King Boulevard, and take any action necessary.
191

192 Planner Bethany Ross explained that staff is requiring residential adjacency on the north side of the property. Planner Ross also advised that ARB
193 had approved this item unanimously today.
194

195 Alan Jacob
196 6400 N. Northwest Highway
197 Chicago, IL 60631

198
199 Mr. Jacobs came forward and provided additional details in regard to the request. He also had some questions in regard to the staff comments.

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Chairman Thomas advised that this item will come back before the Commission for discussion or action on November 15, 2022.

15. **SP2022-054 (BETHANY ROSS)**

Discuss and consider a request by Robert Romano on behalf of Bill McMahon of Triton I-30 Rockwall II, LLC for the approval of an Amended Site Plan for an existing Restaurant facility on a 1.370-acre parcel of land identified as Lot 17, Block A, La Jolla Pointe, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 568 E. IH-30, and take any action necessary.

Planner Bethany Ross advised that this was an amended site plan for the Snuffer's Restaurant as they are moving to the old Taco Cabana location. The applicant is currently working through staff comments but staff had questions regarding the existing driveway.

Robert Romano
800 Exposition Avenue
Dallas, TX 75226

Mr. Romano came forward and provided additional details in regard to the request.

Chairman Thomas advised that this item will come back before the Commission for discussion or action on November 15, 2022.

16. **SP2022-055 (HENRY LEE)**

Discuss and consider a request by Ryan King of ECDLP on behalf of Jose Campos of Saddle Star Holdings for the approval of a Site Plan for Phase 2 of the Saddle Star Subdivision being a 26.827-acre tract of land identified as Tracts 1, 1-05, 2-03, & 2-07 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 79 (Ordinance No. 20-35), situated within the SH-205 By-Pass (SH-205 BY OV) District, generally located east of the intersection of Featherstone Drive and N. John King Boulevard, and take any action necessary.

Planner Henry Lee advised that this item will have to be reviewed by Parks Board.

Chairman Thomas advised that this item will come back before the Commission for discussion or action on November 15, 2022.

17. **SP2022-056 (BETHANY ROSS)**

Discuss and consider a request by Jeff Carroll of Jeff Carroll Architects, Inc. on behalf of Eric Borkenhalen of Kohl's Department Stores for the approval of a Site Plan for an Animal Clinic for Small Animals without Outside Pens on a 0.636-acre portion of a larger 7.383-acre parcel of land identified as Lot 7, Block A, Rockwall Market Center East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, located at the terminus of Rochell Court, and take any action necessary.

Planner Bethany Ross advised that the applicant is currently working through staff comments. She also added that ARB approved this item with the condition that they move up the brick.

Jeff Carroll
750 E. I-30
Rockwall, TX 75087

Mr. Carroll came forward and provided additional details in regard to the request.

Chairman Thomas advised that this item will come back before the Commission for discussion or action on November 15, 2022.

18. **SP2022-058 (HENRY LEE)**

Discuss and consider a request by Frank A. Polma, PE of R-Delta Engineers, Inc. on behalf of Stephen Geiger of Rayburn Country Electric Cooperative for the approval of a Site Plan for an Industrial Campus on a 99.849-acre tract of land identified as Lots 6, 7, 8 & 9, Block A, Rayburn Country Addition and Tract 3 of the W. H. Barnes Survey, Abstract No. 26, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) and Commercial (C) Districts, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 950 & 980 Sids Road, and take any action necessary.

Planner Henry Lee advised that Rayburn Electric is proposing to add three (3) new buildings onsite for both office and warehousing uses. He added that staff is currently working through comments with the applicant as they have nine (9) variances and exceptions at the moment. Planner Lee explained that ARB also approved this item today.

Frank Polma
618 Main Street
Garland, TX 75040

Mr. Polma came forward and provided additional details in regard to the request.

Chairman Thomas advised that this item will come back before the Commission for discussion or action on November 15, 2022.

19. **SP2022-059 (BETHANY ROSS)**

Discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of William Johnson of LTL Family Holdings, LLC for the approval of a Site Plan for the Marina Village Subdivision being a 6.88-acre tract of land identified as Lot 4, Block A, Spyglass Hill #4 Addition and Tract 134-12 of the E. Teal

267 Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) [Ordinance No. 92-39] for Zero Lot Line (ZL-
268 5) District land uses, generally located on the south side of Henry M. Chandler Drive west of Ridge Road [FM-740], and take any action necessary.

269
270 **Planner Bethany Ross explained that the submitted elevations do not meet the minimum anti-monotony standards contained in Ordinance No. 21-**
271 **38.**

272
273 **Meredith Joyce**
274 **767 Justin Road**
275 **Rockwall, TX 75087**

276
277 **Mr. Joyce came forward and provided additional details in regard to the request.**

278
279 **Chairman Thomas advised that this item will come back before the Commission for discussion or action on November 15, 2022.**

280
281 20. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).

- 282
- 283 • P2022-046: Final Plat for Lots 1 & 2, Block A, Alexander Addition [APPROVED]
 - 284 • P2022-047: Preliminary Plat for the Park Hills Subdivision [APPROVED]
 - 285 • P2022-048: Master Plat for the Terraces Subdivision [APPROVED]
 - 286 • P2022-049: Preliminary Plat for the Terraces Subdivision [APPROVED]
 - 287 • Z2022-044: Text Amendment to Article 02, *Development Review Authority*, of the UDC and the Municipal Code of Ordinances [APPROVED; 1ST READING]
 - 288 • Z2022-045: SUP for *Solar Panels* for 125 Lanshire Drive [APPROVED; 1ST READING]
 - 289 • Z2022-046: Text Amendment to Article 04, *Permissible Uses*, of the UDC [APPROVED; 1ST READING]

290
291 **Director of Planning and Zoning Ryan Miller provided a brief update about the outcome of the above referenced cases at the City Council meeting.**

292
293/II. ADJOURNMENT

294
295 **Chairman Thomas adjourned the meeting at 7:05 pm.**

296
297 PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this _____ day of _____
298 _____, 2022.

299
300
301 _____
302 Sedric Thomas, Chairman

303 Attest:
304 _____
305 Angelica Guevara, Planning Technician



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: November 15, 2022
APPLICANT: Meredith Joyce, *Michael Joyce Properties*
CASE NUMBER: P2022-055; *Final Plat for Phase 1 of the Homestead Subdivision*

SUMMARY

Consider a request by Meredith Joyce of Michael Joyce Properties on behalf of Peter H. Shaddock, Jr. of SH Dev Klutts Rockwall, LLC for the approval of a Final Plat for Phase 1 of the Homestead Subdivision consisting of 175 single-family residential lots and being a 129.485-acre portion of a larger 195.3177-acre tract of land identified as Tract 6 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 92 (PD-92), generally located at the northeast corner of the intersection of FM-549 and FM-1139, and take any action necessary.

PLAT INFORMATION

- The applicant is requesting the approval of a Final Plat for a 195.3177-acre tract of land (*i.e. Tract 6 of the J. A. Ramsey Survey, Abstract No. 186*) for the purpose of establishing Phase 1 of the Homestead Subdivision. Phase 1 will consist of 175 single-family residential lots that are zoned Planned Development District 92 (PD-92) for Single-Family 8.4 (SF-8.4) District land uses. The site is generally located at the northeast corner of the intersection of FM-549 and FM-1139.
- A portion of the subject property (*i.e. 103.142-acres*) was annexed by the City Council on June 15, 1998 by *Ordinance No. 98-20*. The City Council annexed the remainder of the subject property on October 4, 2010 by *Ordinance No. 10-27*. At the time of annexation both of these portions of the subject property were zoned Agricultural (AG) District. On July 6, 2021, the City Council approved Planned Development District 92 (PD-92) [*Ordinance No. 21-24*] for Single-Family 8.4 (SF-8.4) District land uses on the subject property. On August 16, 2021, the City Council approved a preliminary plat [*Case No. P2021-044*] and a master plat [*Case No. P2021-041*] for the subject property. On June 14, 2022, the Planning and Zoning Commission approved a site plan [*Case No. SP2022-027*] that laid out the landscaping and hardscaping. On June 20, 2022, the City Council approved a final plat [*Case No. P2022-023*] for the subject property. On September 13, 2022, the Planning and Zoning Commission approved a new site plan [*Case No. SP2022-048*] for the subject property, due to changes to with the design of the residential subdivision. On September 19, 2022, the City Council approved a preliminary plat [*Case No. P2022-042*] and a master plat [*Case No. P2022-043*] for the subject property.
- On November 1, 2022, the Parks and Recreation Board reviewed the *Final Plat* and made the following recommendations concerning the proposed subdivision:
 - (1) The property owner shall pay pro-rata equipment fees of \$83,300.00 (*i.e. \$476.00 x 175 Lots*), which will be due prior to the issuance of a building permit.
- The surveyor has completed the majority of the technical revisions requested by staff, and this Final Plat -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this Final Plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of a Final Plat for *Phase 1 of the Homestead Subdivision*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to submittal of civil engineering plans;
- (2) The development of the subject property shall adhere to the recommendations made by Parks and Recreation Board; and,
- (3) Any construction resulting from the approval of this Final Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO. P2022-085
NOTE: APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.
DIRECTOR OF PLANNING:
CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION (PLEASE PRINT)

ADDRESS **A portion of JA Ramsey Survey, Abstract No. 186; Property ID 12255; FM 549**

SUBDIVISION **Shaddock Homestead** LOT BLOCK

GENERAL LOCATION **FM 1139 and FM 549**

ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

CURRENT ZONING	PD-92, Ord No. 21-24	CURRENT USE	
PROPOSED ZONING	PD-92, Ord No. 21-24	PROPOSED USE	Single Family Residential
ACREAGE	129.485	LOTS [CURRENT]	1
		LOTS [PROPOSED]	175

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

<input type="checkbox"/> OWNER	SH Dev Klutts Rockwall, LLC	<input checked="" type="checkbox"/> APPLICANT	Michael Joyce Properties
CONTACT PERSON	Peter H. Shaddock, Jr.	CONTACT PERSON	Meredith Joyce
ADDRESS	2400 Dallas Parkway, Ste. 460	ADDRESS	767 Justin Rd
CITY, STATE & ZIP	Plano, TX 75093	CITY, STATE & ZIP	Rockwall, TX 75087
PHONE	214-240-6004	PHONE	512-694-6394
E-MAIL	land@shaddockhomes.com	E-MAIL	meredith@michaeljoyceproperties.com

NOTARY VERIFICATION (REQUIRED)

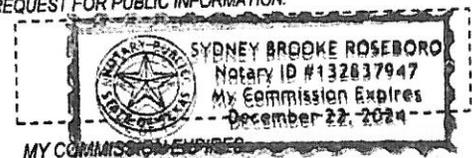
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Peter Shaddock Jr. [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

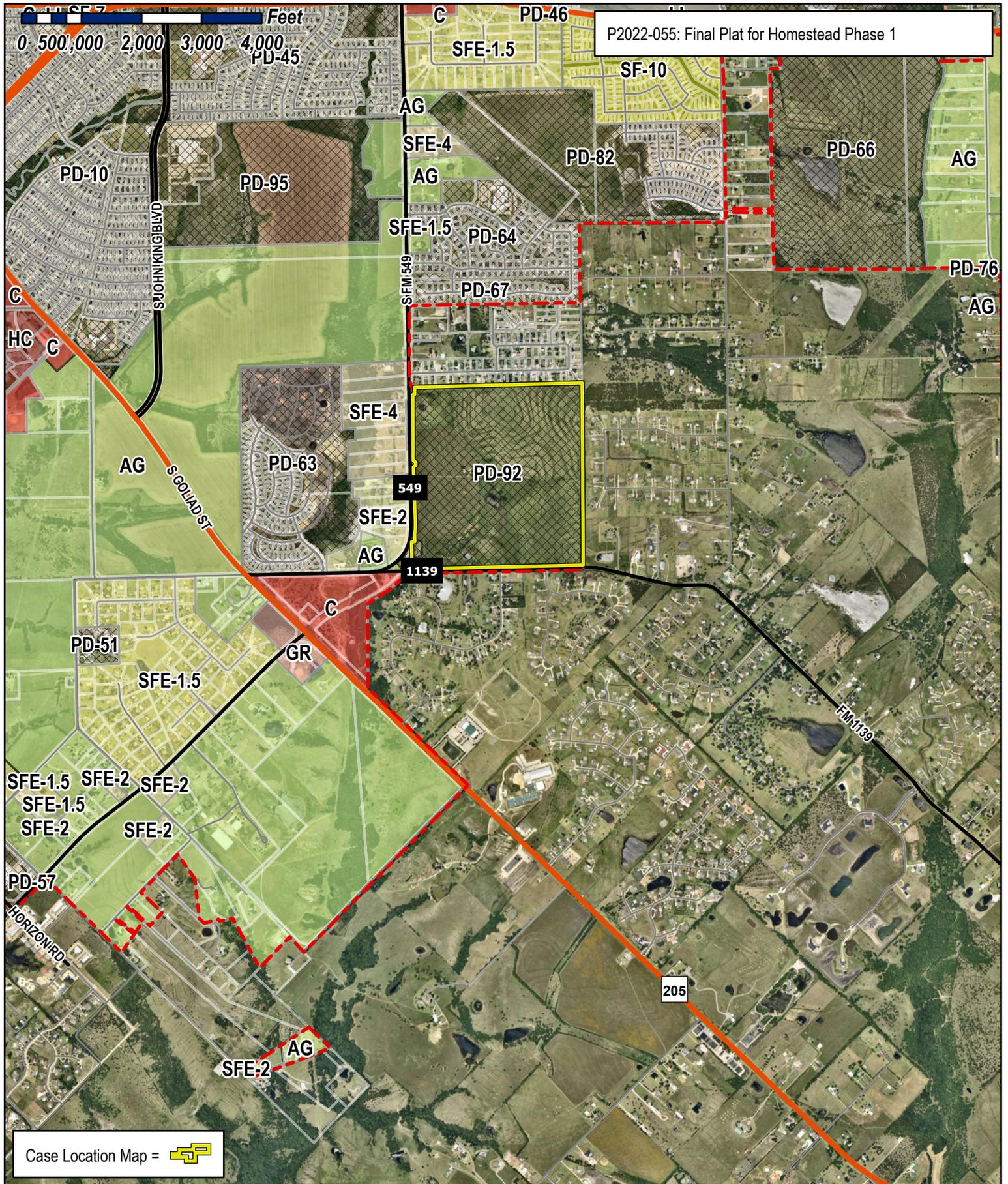
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 2,889.70 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14 DAY OF October, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF October, 2022.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

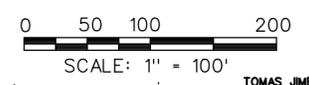


LOTS 15-28, BLOCK C
 LOTS 1 & 9-40, BLOCK D
 LOTS 1-22, BLOCK E
 LOTS 1-17, BLOCK F
 LOTS 1-28, BLOCK G
 LOTS 1-31 BLOCK H
 LOTS 1-22, BLOCK I
 LOTS 1-16, BLOCK J

BEING 54.570 ACRES OR 2,377,089.26 SF
 TOTAL RESIDENTIAL LOTS 175
 TOTAL OPEN SPACE LOTS 9
 SITUATED WITHIN
 TRACT 5 OF THE J.A. RAMSEY SURVEY,
 ABSTRACT NO. 186
 IN THE
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS
 OWNER
SHADDOCK HOMES, LTD.
 2400 DALLAS PARKWAY, STE. 460
 PLANO, TEXAS 75093

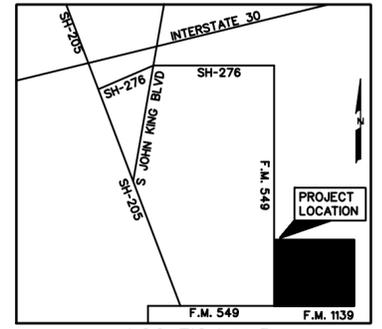
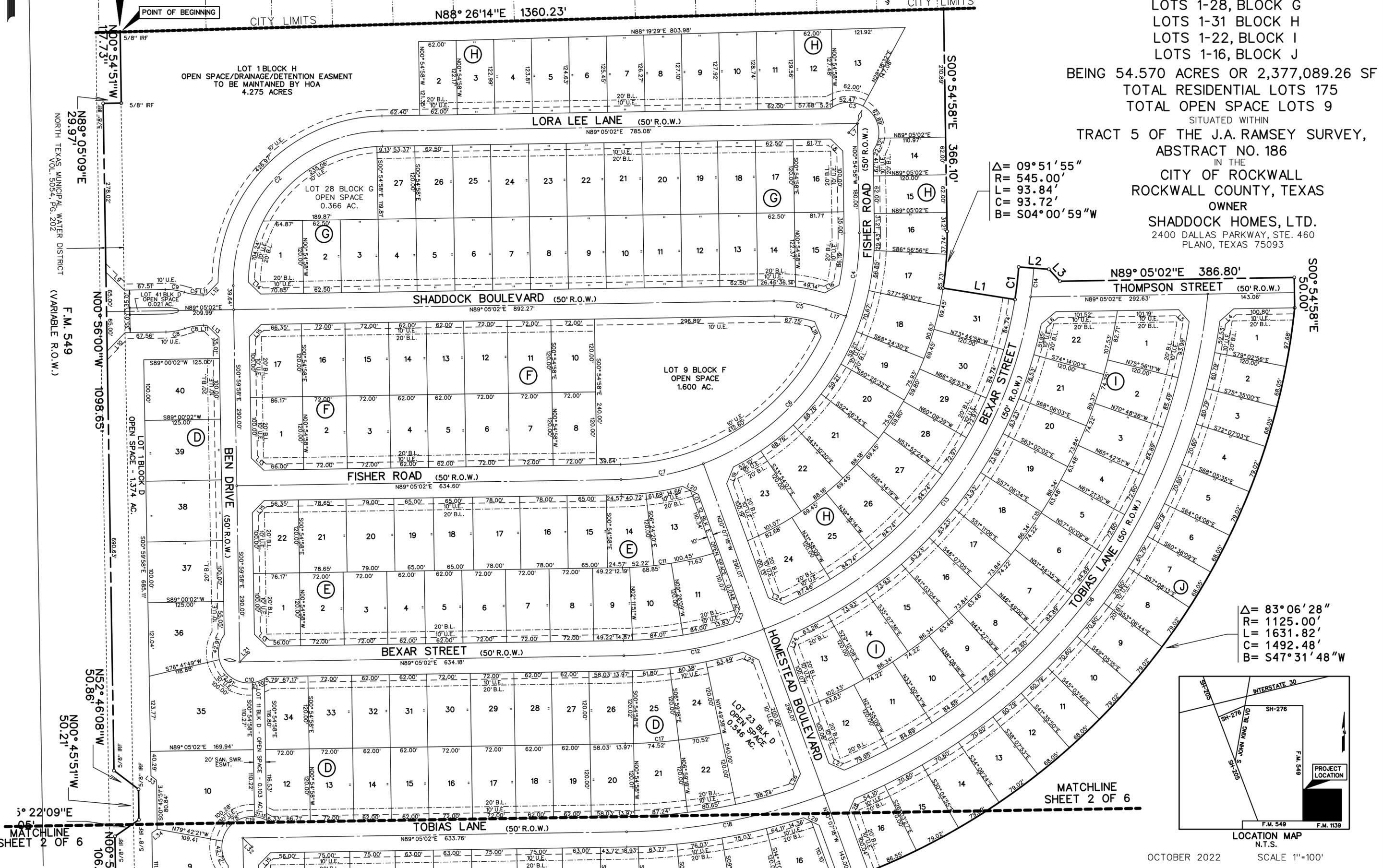
$\Delta = 09^{\circ}51'55''$
 $R = 545.00'$
 $L = 93.84'$
 $C = 93.72'$
 $B = S04^{\circ}00'59''W$

$\Delta = 83^{\circ}06'28''$
 $R = 1125.00'$
 $L = 1631.82'$
 $C = 1492.48'$
 $B = S47^{\circ}31'48''W$



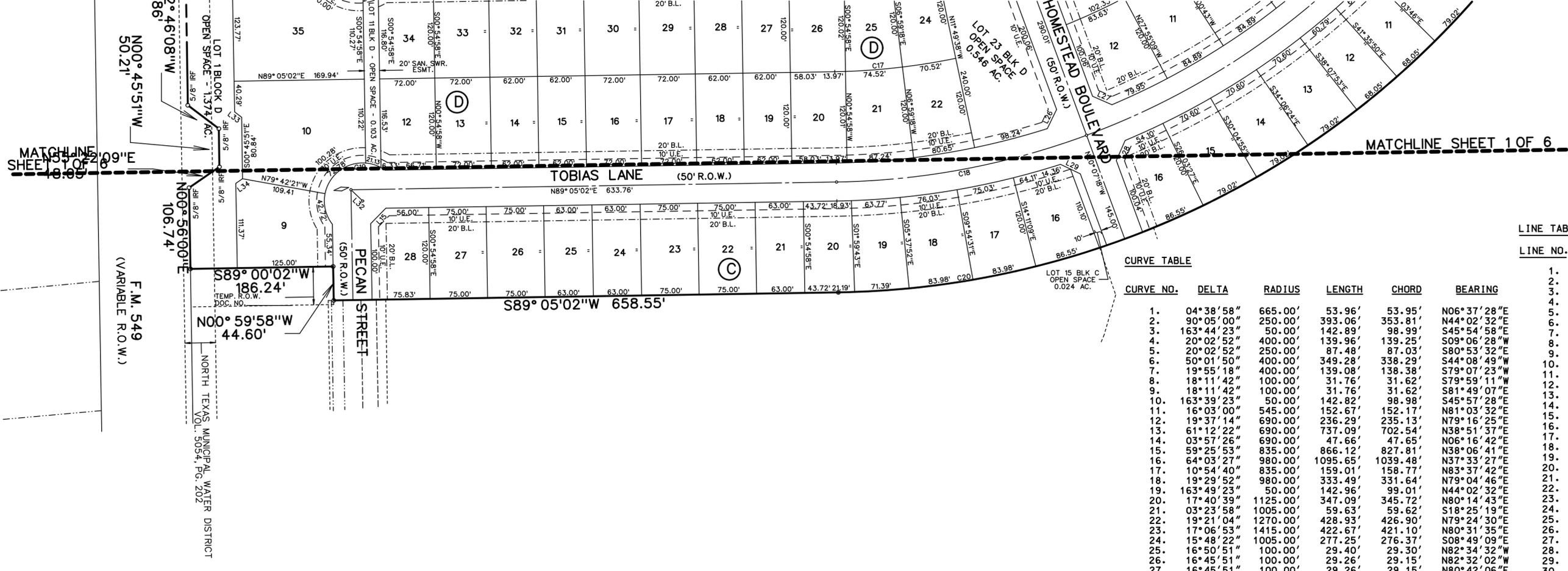
TOMAS JIMENEZ
 DOC. NO. 2017000021846
 O.P.R.R.C.T.

CITY OF ROCKWALL GRID SYSTEM COORDINATES	
X	Y
2607530.367	7012611.969
ELEV = 555.50	



MATCHLINE
 SHEET 2 OF 6

MATCHLINE
 SHEET 2 OF 6



LINE TABLE

LINE NO.	BEARING	DISTANCE
1.	S 81°03'03" E	120.00'
2.	S 85°42'01" E	50.00'
3.	S 42°56'58" E	26.93'
4.	N 48°11'32" E	30.55'
5.	S 41°50'15" E	26.34'
6.	N 49°51'24" E	31.63'
7.	S 44°05'02" W	21.21'
8.	N 45°54'58" W	28.28'
9.	S 45°55'29" E	42.43'
10.	N 44°04'31" E	42.42'
11.	N 89°05'02" E	5.00'
12.	S 44°07'05" W	28.30'
13.	S 45°57'28" E	28.30'
14.	S 45°52'03" E	28.26'
15.	N 44°02'32" E	28.26'
16.	N 61°11'56" E	27.11'
17.	S 70°52'06" E	34.93'
18.	S 23°20'01" E	26.92'
19.	N 22°13'53" E	29.69'
20.	S 63°08'08" E	29.32'
21.	N 44°02'32" E	21.20'
22.	N 26°11'17" E	27.66'
23.	S 66°52'09" E	27.46'
24.	S 23°17'38" W	29.10'
25.	S 63°55'58" E	28.89'
26.	N 25°47'12" E	27.85'
27.	S 66°19'59" E	27.70'
28.	S 23°44'52" W	28.86'
29.	N 64°16'24" W	28.71'
30.	N 26°17'51" E	28.29'
31.	N 61°34'42" W	27.34'
32.	S 45°57'28" E	21.23'
33.	S 52°46'08" E	11.65'
34.	S 55°22'09" W	10.60'
35.	S 45°55'29" E	42.43'
36.	N 44°38'47" E	42.85'
37.	S 44°05'02" W	28.28'
38.	N 45°54'58" W	28.28'

CURVE TABLE

CURVE NO.	DELTA	RADIUS	LENGTH	CHORD	BEARING
1.	04°38'58"	665.00'	53.96'	53.95'	N06°37'28"E
2.	90°05'00"	250.00'	393.06'	353.81'	N44°02'32"E
3.	163°44'23"	50.00'	142.89'	98.99'	S45°54'58"E
4.	20°02'52"	400.00'	139.96'	139.25'	S09°06'28"W
5.	20°02'52"	250.00'	87.48'	87.03'	S80°53'32"E
6.	50°01'50"	400.00'	349.28'	338.29'	S44°08'49"W
7.	19°55'18"	400.00'	139.08'	138.38'	S79°07'23"W
8.	18°11'42"	100.00'	31.76'	31.62'	S79°59'11"W
9.	18°11'42"	100.00'	31.76'	31.62'	S79°49'07"E
10.	163°39'23"	50.00'	142.82'	98.98'	S45°57'28"E
11.	16°03'00"	545.00'	152.67'	152.17'	N81°03'32"E
12.	19°37'14"	690.00'	236.29'	235.13'	N79°16'25"E
13.	61°12'22"	690.00'	737.09'	702.54'	N38°51'37"E
14.	03°57'26"	690.00'	47.66'	47.65'	N06°16'42"E
15.	59°25'53"	835.00'	866.12'	827.81'	N38°06'41"E
16.	64°03'27"	980.00'	1095.65'	1039.48'	N37°33'21"E
17.	10°54'40"	835.00'	159.01'	158.77'	N83°37'42"E
18.	19°29'52"	980.00'	333.49'	331.64'	N79°04'46"E
19.	163°49'23"	50.00'	142.96'	99.01'	N44°02'32"E
20.	17°40'39"	1125.00'	347.09'	345.72'	N80°14'43"E
21.	03°23'58"	1005.00'	59.63'	59.62'	S18°25'19"E
22.	19°21'04"	1270.00'	428.93'	426.90'	N79°24'30"E
23.	17°06'53"	1415.00'	422.67'	421.10'	N80°31'35"E
24.	15°48'22"	1005.00'	277.25'	276.37'	S08°49'09"E
25.	16°50'51"	100.00'	29.40'	29.30'	N82°34'32"W
26.	16°45'51"	100.00'	29.26'	29.15'	N82°32'02"W
27.	16°45'51"	100.00'	29.26'	29.15'	N80°42'06"E
28.	16°40'51"	100.00'	29.11'	29.01'	N80°39'36"E

LEGAL DESCRIPTION

BEING, a tract of land situated in the J.A. Ramsey Survey, Abstract No. 186 in the City of Rockwall, Rockwall County, Texas, being part of a 196.008 acre tract, as described in Clerks File No. in the Deed Records of Rockwall County, Texas being more particularly described as follows:

BEGINNING, at a 5/8 inch iron rod found at the most northerly northwest corner of said 196.008 acre tract and being in the east line of F.M. 549 (Variable R.O.W.);

THENCE, North 88°26'14" East, along the north line of said 196.008 acre tract, for a distance of 1360.23 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.;"

THENCE, South 00°54'58" East, departing said north line, for a distance of 366.10 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.," at the point of curvature of a curve to the right, having a radius of 545.00 feet, a central angle of 09°51'55";

THENCE, along said curve to the right for an arc distance of 93.84 feet (Chord Bearing South 04°00'59" West 93.72 feet), to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.;"

THENCE, South 81°03'03" East, for a distance of 120.00 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.," on a non-tangent curve to the left, having a radius of 665.00 feet, a central angle of 04°38'58";

THENCE, along said curve to the left for an arc distance of 53.96 feet (Chord Bearing North 06°37'28" East 53.95 feet), to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.;"

THENCE, South 85°42'01" East, for a distance of 50.00 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.;"

THENCE, South 42°56'58" East, for a distance of 26.93 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.;"

THENCE, North 89°05'02" East, for a distance of 386.80 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.;"

THENCE, South 00°54'58" East, for a distance of 50.00 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.," on a curve to the right, having a radius of 1125.00 feet, a central angle of 83°06'28";

THENCE, along said curve to the right for an arc distance of 1631.82 feet (Chord Bearing South 47°31'48" West 1492.48 feet), to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.," at the point of tangency;

THENCE, South 89°05'02" West, for a distance of 658.55 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.;"

THENCE, North 00°59'58" West, for a distance of 44.60 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.;"

THENCE, South 89°00'02" West, for a distance of 186.24 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.," in the west line of said 196.008 acre tract and being in the east line of said F.M. 549;

THENCE, North 00°56'00" West, along said east and west lines, for a distance of 106.74 feet, to a 5/8 inch iron rod found;

THENCE, North 55°22'09" East, continuing along said lines, for a distance of 48.05 feet, to a 5/8 inch iron rod found;

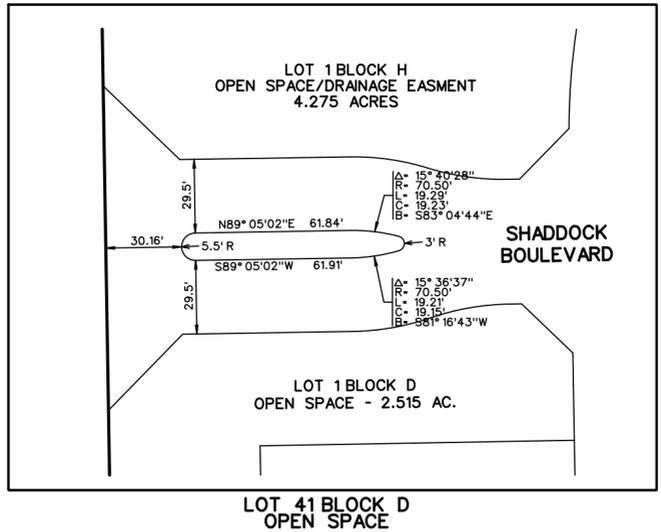
THENCE, North 00°45'51" West, continuing along said lines, for a distance of 50.21 feet, to a 5/8 inch iron rod found;

THENCE, North 52°46'08" West, continuing along said lines, for a distance of 50.86 feet, to a 5/8 inch iron rod found;

THENCE, North 00°56'00" West, continuing along said lines, for a distance of 1098.65 feet, to a 5/8 inch iron rod found;

THENCE, North 89°05'09" East, continuing along said lines, for a distance of 29.97 feet, to a 5/8 inch iron rod found;

THENCE, North 00°54'51" West, continuing along said lines, for a distance of 117.73 feet, to the POINT OF BEGINNING and containing 54.570 acres of land.



NOTES

- Bearings are referenced to a 196.008 acre tract, as recorded in Deed No. in the Deed Records of Rockwall County, Texas.
- All lot lines are radial or perpendicular to the street unless otherwise noted by bearing.
- 1/2" iron rods with "CORWIN ENGR. INC." caps set at all boundary corners, block corners, points of curvature, points of tangency, and angle points in public right-of-way unless otherwise noted.
- B.L. - Building Line.
U.E. - Utility Easements.
C.M. - Controlling Monument.
D.E. - Drainage Easement.
S.S.E. - Sanitary Sewer Easement.
- The HOA will be responsible for maintaining repairing or replacing the open space/drainage easement lots.
- All non-standard decorative street signs, light poles/post, hardware, attachments, foundations, etc. shall be owned, maintained, repaired and replaced by the HOA.
- All landscape easements are to be owned, maintained, repaired and replaced by the Homeowners Association.

FINAL PLAT
OF
HOMESTEAD PHASE I
LOTS 15-28, BLOCK C
LOTS 1 & 9-40, BLOCK D
LOTS 1-22, BLOCK E
LOTS 1-17, BLOCK F
LOTS 1-28, BLOCK G
LOTS 1-31 BLOCK H
LOTS 1-22, BLOCK I
LOTS 1-16, BLOCK J
BEING 54.570 ACRES OR 2,377,089.26 SF
TOTAL RESIDENTIAL LOTS 175
TOTAL OPEN SPACE LOTS 9
SITUATED WITHIN
TRACT 5 OF THE J.A. RAMSEY SURVEY,
ABSTRACT NO. 186
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
OWNER
SHADDOCK HOMES, LTD.
2400 DALLAS PARKWAY, STE. 460
PLANO, TEXAS 75093

OWNER'S CERTIFICATE

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

We the undersigned owners of the land shown on this plat, and designated herein as the HOMESTEAD PHASE I, subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown for the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the HOMESTEAD PHASE I, subdivision have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- The detention drainage system is to be maintained, repaired and owned by the subdivision. Property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements including the City Park.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; we, our successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

SHADDOCK HOMES, LTD.

STATE OF TEXAS
COUNTY OF DALLAS

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated. Given upon my hand and seal of office this _____ day of _____, 2022.

Notary Public in and for the State of Texas

My Commission Expires: _____

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

Homestead									
Block C	Block D		Block F		Block H		Block I		
Lot	SF	Lot	SF	Lot	SF	Lot	SF	Lot	SF
15*	1051	34	8632	10	8640	1*	186204	10	9547
16	9590	35	22269	11	8640	2	7549	11	9547
17	9541	36	13128	12	8640	3	7600	12	10815
18	9541	37	12500	13	7440	4	7651	13	10939
19	8110	38	12500	14	7440	5	7702	14	9616
20	7654	39	12500	15	8640	6	7753	15	9616
21	7560	40	12500	16	8640	7	7804	16	8225
22	9000	41	913	17	10151	8	7854	17	8225
23	9000	Block E		Block G		9	7905	18	9616
24	7560	Lot	SF	Lot	SF	10	7956	19	9616
25	7560	1	8930	1	9816	11	8007	20	8225
26	9000	2	8640	2	7500	12	8052	21	9954
27	9000	3	8640	3	7500	13	10731	22	10593
28	8910	4	7440	4	7500	14	7330	Block J	
Block D		5	7440	5	7500	15	7440	Lot	SF
Lot	SF	6	8640	6	7500	16	7775	1	10025
1*	59855	7	8640	7	7500	17	9155	2	7730
9	12984	8	8640	8	7500	18	9678	3	7730
10	21685	9	7530	9	7500	19	8109	4	8977
11*	4507	10	9172	10	7500	20	8109	5	8977
12	8630	11	9888	11	7500	21	9417	6	7730
13	8640	12*	2103	12	7500	22	9417	7	7730
14	7440	13	10281	13	7500	23	10197	8	8977
15	7440	14	8524	14	7528	24	11210	9	8977
16	8640	15	7800	15	10028	25	9252	10	8977
17	8640	16	9360	16	9606	26	9252	11	7730
18	7440	17	9360	17	7500	27	9252	12	7730
19	7440	18	7800	18	7500	28	7967	13	8977
20	8640	19	7800	19	7500	29	7967	14	8977
21	9706	20	9480	20	7500	30	9252	15	8977
22	9070	21	9438	21	7500	31	9252	16	9440
23*	23810	22	8951	22	7500	Block I			
24	7854	Block F		23	7500	Lot	SF		
25	8180	Lot	SF	24	7500	1	11614		
26	8640	1	10130	25	7500	2	9614		
27	7440	2	8640	26	7500	3	9547		
28	7440	3	8640	27	7499	4	8165		
29	8640	4	7440	28*	15929	5	8165		
30	8640	5	7440			6	9547		
31	7440	6	8640			7	9547		
32	7440	7	8640			8	8165		
33	8640	8	8640			9	8165		
		9*	69710						

Denotes HOA Lots

SURVEYOR CERTIFICATE

I, WARREN L. CORWIN, do hereby certify that the plat shown hereon accurately represents the results of an on-the-ground survey made under my direction and supervision and all corners are as shown thereon and there are no encroachments, conflicts, protrusions or visible utilities on the ground except as shown and said plat has been prepared in accordance with the platting rules and regulations of the City Plan Commission of the City of Rockwall, Texas.

DATED the this _____ day of _____, 2022.

WARREN L. CORWIN
R.P.L.S. No. 4621

Planning & Zoning Commission

Date

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2022.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2022.

Mayor, City of Rockwall

City Secretary

City Engineer

FINAL PLAT
OF
HOMESTEAD PHASE I

LOTS 15-28, BLOCK C
LOTS 1 & 9-40, BLOCK D
LOTS 1-22, BLOCK E
LOTS 1-17, BLOCK F
LOTS 1-28, BLOCK G
LOTS 1-31, BLOCK H
LOTS 1-22, BLOCK I
LOTS 1-16, BLOCK J

BEING 54.570 ACRES OR 2,377,089.26 SF

TOTAL RESIDENTIAL LOTS 175
TOTAL OPEN SPACE LOTS 9

SITUATED WITHIN
TRACT 5 OF THE J.A. RAMSEY SURVEY,
ABSTRACT NO. 186

IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
OWNER

SHADDOCK HOMES, LTD.
2400 DALLAS PARKWAY, STE. 460
PLANO, TEXAS 75093



TO: Planning and Zoning Commission
DATE: November 15, 2022
APPLICANT: Ryan Joyce; *Michael Joyce Properties*
CASE NUMBER: P2022-056; *Final Plat for the Marina Village Subdivision*

SUMMARY

Discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of William Johnson of LTL Family Holdings, LLC for the approval of a Final Plat for the Marina Village Subdivision being a 6.88-acre tract of land identified as Lot 4, Block A, Spyglass Hill #4 Addition and Tract 134-12 of the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) [Ordinance No. 92-39] for Zero Lot Line (ZL-5) District land uses, generally located on the south side of Henry M. Chandler Drive west of Ridge Road [FM-740], and take any action necessary.

PLAT INFORMATION

- The applicant is requesting the approval of a Final Plat for a 6.88-acre tract of land (*i.e. Lot 4, Block A, Spyglass Hill #4 Addition and Tract 134-12 of the E. Teal Survey, Abstract No. 207*) for the purpose of establishing the Marina Village Subdivision. The subdivision will consist of 36 townhomes that are zoned Planned Development District 8 (PD-8) [Ordinance No. 21-38] for Two-Family (2F) District land uses. The site is generally located on the south side of Henry M. Chandler Drive west of Ridge Road [FM-740]. It should be noted that the applicant has submitted a site plan (*i.e. Case No. SP2022-059*) concurrently with this final plat that shows the proposed building elevations, landscaping, and hardscape plans for the subdivision.
- The subject property was annexed into the City of Rockwall and zoned Agricultural (AG) District on October 29, 1973 (Ordinance No. 73-43). On November 12, 1973, the subject property was rezoned to Planned Development District 8 (PD-8) and designated for a *Multi-Family Structure or Condominium* by Ordinance No. 73-48. This designation was amended on October 19, 1992 by Ordinance No. 92-39 (Case No. PZ1992-008-01), which re-designated the subject property to allow 36 zero-lot-line, single-family homes. On October 13, 2017, a request was made by Ed Cavendish of Cavendish Homes/VPS Construction requesting to reinstate the preliminary plat that was approved in 1992 in accordance with Ordinance No. 92-39. This preliminary plat depicted the proposed layout for the 36 zero-lot-line, single-family homes. The Planning and Zoning Commission approved the reinstatement request October 24, 2017; however, the applicant ultimately chose to submit an application on November 17, 2017 requesting to amend Ordinance No. 92-39 to allow for a 48-unit townhome development (Case No. Z2017-059). This request was denied by the City Council on February 5, 2018. On June 18, 2021, a request was made by Troy Lewis of Newstream Capital Partners to amend Planned Development District 8 (PD-8) [Ordinance No. 92-39] to allow a townhome development consisting of 36 townhomes (Case No. Z2021-026). This request was approved [Ordinance No. 21-38] by the City Council on August 2, 2021 by vote of 6-0 with Council Member Daniels absent.
- On November 1, 2022, the Parks and Recreation Board reviewed the *Final Plat* and made the following recommendations concerning the proposed subdivision:
 - (1) The property owner shall pay pro-rata equipment fees of \$7,920 (*i.e. \$220.00 x 36 Lots*), which will be due prior to the issuance of a building permit.
 - (2) The property owner shall pay cash-in-lieu of land fees of \$8,352.00 (*i.e. \$232.00 x 36 Lots*), which will be due prior to the issuance of a building permit.

- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this Final Plat -- conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional approval of this Final Plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of a Final Plat for the *Marina Village Subdivision*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to submittal of civil engineering plans;
- (2) The development of the subject property shall adhere to the recommendations made by Parks and Recreation Board; and,
- (3) Any construction resulting from the approval of this Final Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 2022-056

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS A0207 E Teal, Tract 134-12, Acres 2.564 Prop ID# 30591; Spyglass Hill #4, Block A, Lot 4, Acres 4.316 Prop ID# 29883

SUBDIVISION Marina Village

LOT

BLOCK

GENERAL LOCATION Henry M Chandler Dr, Behind Marina

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-8, Ord No. 21-38

CURRENT USE

PROPOSED ZONING PD-8, Ord No. 21-38

PROPOSED USE

Multi-Family Residential

ACREAGE 6.889

LOTS [CURRENT]

1

LOTS [PROPOSED]

36

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER LTL Family Holdings, LLC

APPLICANT Michael Joyce Properties

CONTACT PERSON William Johnson

CONTACT PERSON Ryan Joyce

ADDRESS 14918 Mystic Terrace Lane

ADDRESS 767 Justin Road

CITY, STATE & ZIP Cypress, TX 77429

CITY, STATE & ZIP Rockwall, TX 75087

PHONE

PHONE

512-965-6280

E-MAIL

E-MAIL

ryan@michaeljoyceproperties.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED William Johnson [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 437.78 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14 DAY OF October, 2022 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

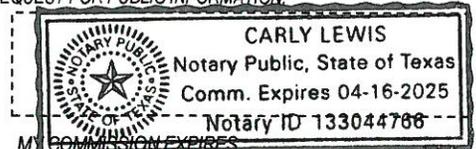
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF October, 2022

OWNER'S SIGNATURE

William Johnson

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Carly Lewis



4-16-25

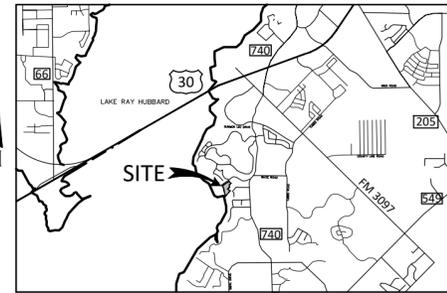


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

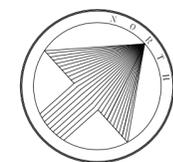




VICINITY MAP
N.T.S.

LEGEND

- Point of Curvature or Tangency on Center Line
- 1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
- 1/2" IRF (unless otherwise noted)
- AC Acre
- BL Building Line
- C1 Curve No.
- <CM> Control Monument
- DE Drainage Easement
- WLE Water Line Easement
- SSE Sanitary Sewer Easement
- Esmt Easement
- L1 Line No.
- SF Square Feet
- UE Utility Easement
- PE Pedestrian Easement
- PUDE Pedestrian, Utility & Drainage Easement
- VAM Visibility Easement
- D.R.R.C.T. = Deed Records of Rockwall County, Texas
- P.R.R.C.T. = Plat Records of Rockwall County, Texas
- M.R.R.C.T. = Map Records of Rockwall County, Texas
- O.R.R.C.T. = Official Records of Rockwall County, Texas
- [Hatched Area] Easement Abandonment



SCALE 1" = 60'

**FINAL PLAT
MARINA VILLAGE**

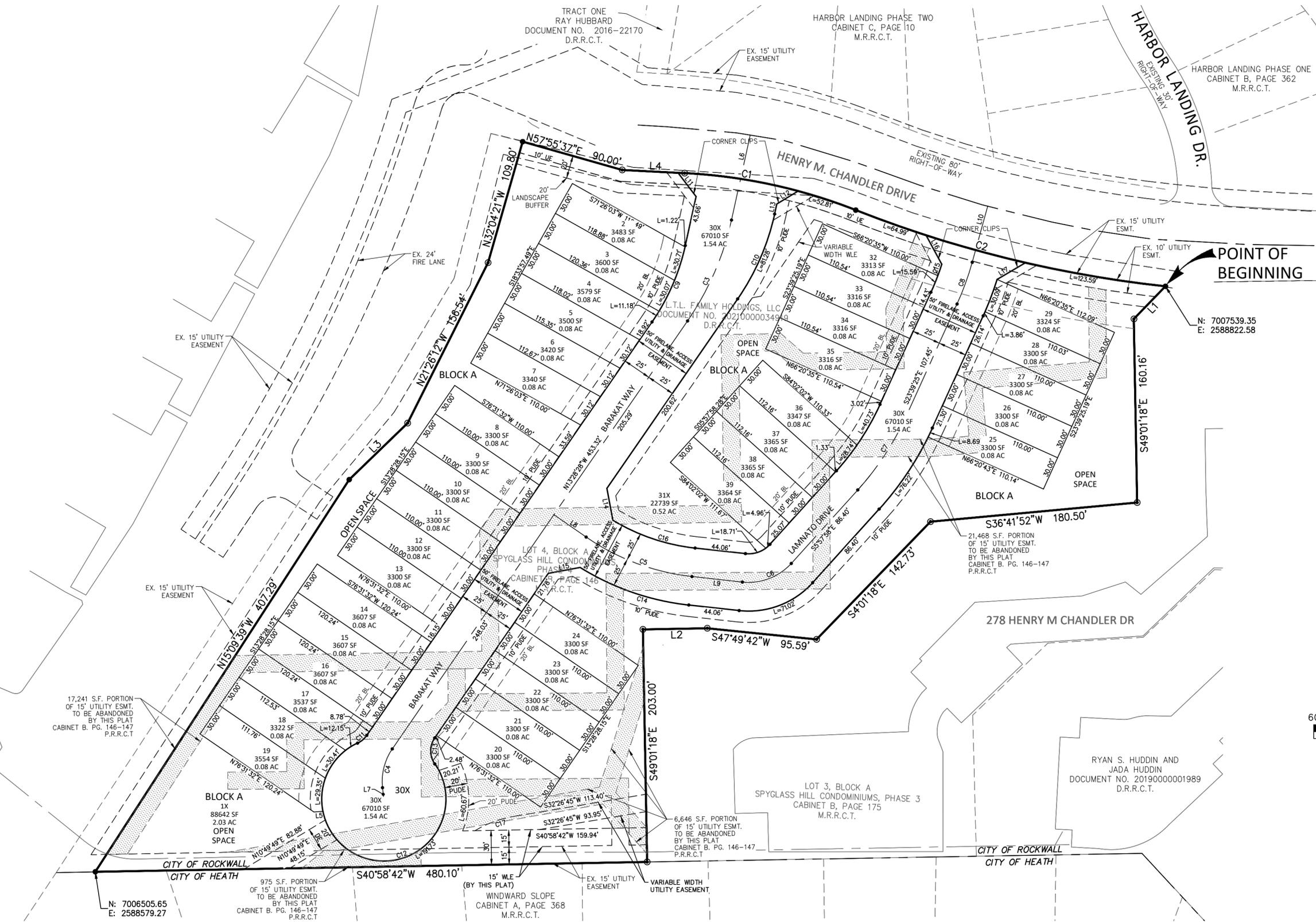
LOTS 1X, 2-29, 30X, 31X, 32-39 BLOCK A
6.889 ACRES
36 TOWNHOME LOTS AND
4 COMMON AREAS
SITUATED WITHIN THE
EDWARD TEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

P2022-008
October 14, 2022
SHEET 1 OF 2

Owner/Applicant:
LTL Family Holdings, LLC
William Johnson
14918 Mystic Terrace Lane
Cyprus, Texas 77429
Phone: 713-325-4294

Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite. 1200
Plano, Texas 75074
Phone: 682-225-7189
Contact: Tom Dayton, PE

**JOHNSON VOLK
CONSULTING**
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100



BENCHMARKS

CITY OF ROCKWALL MONUMENT NO. COR-5:
STANDARD CITY OF ROCKWALL CONTROL MONUMENT LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF HENRY W. CHANDLER DRIVE AND COMMODORE PLAZA APPROXIMATELY 400' WEST OF THE INTERSECTION OF HENRY W. CHANDLER DRIVE AND RIDGE ROAD.
ELEVATION = PLAN 560.58' FIELD 561.09'

CITY OF ROCKWALL MONUMENT NO. COR-7:
STANDARD CITY OF ROCKWALL CONTROL MONUMENT LOCATED ON THE SOUTH SIDE OF SUMMER LEE DRIVE APPROXIMATELY 250' WEST OF THE INTERSECTION OF SUMMER LEE DRIVE AND RIDGE ROAD.
ELEVATION = PLAN 567.52' FIELD 567.78'

CITY OF ROCKWALL MONUMENT NO. COR-10:
BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON THE SOUTHEAST SIDE OF LAGUNA DRIVE AT THE SOUTHEAST CORNER OF A CURB INLET APPROXIMATELY 325' NORTHEAST OF THE INTERSECTION OF VILLAGE LANE AND LAGUNA DRIVE.
ELEVATION = PLAN 521.61' FIELD 521.57'

CITY OF ROCKWALL MONUMENT NO. COR-11:
BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON THE NORTHEAST SIDE OF MIMS ROAD AT THE SOUTHERLY END OF A CONCRETE HEADWALL AT THE INTERSECTION OF THE NORTHEAST LINE OF MIMS ROAD WITH THE SOUTHEAST LINE OF I-30.
ELEVATION = PLAN 565.98' FIELD 566.02'

- GENERAL NOTES:**
- ALL LOT CORNERS MONUMENTED WITH A 1/2" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JVC" UNLESS OTHERWISE NOTED.
 - ALL UTILITY EASEMENTS AND DRAINAGE EASEMENTS WITHIN THIS PLATTED PROPERTY ARE CREATED BY THIS PLAT, UNLESS OTHERWISE NOTED.
 - BASIS OF BEARING AND COORDINATES SHOWN HEREON REFER TO "TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE (4202), NORTH AMERICAN DATUM OF 1983 ON GRID COORDINATE VALUES.
 - LOCATION OF 1% ANNUAL FLOOD CHANCE ESTIMATED FROM FEMA FIRM PANEL 48139C0325F DATED JUNE 3, 2013.
 - LOTS ADJACENT TO FLOODPLAIN SHALL HAVE A MINIMUM FINISHED FLOOR ELEVATION 2' ABOVE THE 100-YR WSEL.
 - IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.
 - PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTAINING, REPAIRING, AND REPLACING ALL SYSTEMS WITHIN THE DRAINAGE AND DETENTION EASEMENTS.
 - ALL ROW, PAVING AND DRAINAGE SHALL BE PRIVATE AND MAINTAINED, REPLACED AND REPAIRED BY HOA/PROPERTY OWNER.

STATE OF TEXAS §
COUNTY OF ROCKWALL §

WHEREAS L.T.L. Family Holdings, LLC, BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

BEING a tract of land situated in the E. TEAL SURVEY, ABSTRACT NO. 207, City of Rockwall, Rockwall County, Texas and being all of Lot 4, Block A of SPYGLASS HILL CONDOMINIUMS PHASE FOUR, an Addition to the City of Rockwall, Rockwall County, Texas according to the Plat thereof recorded in Cabinet B, Page 146, Map Records, Rockwall County, Texas and being all of that tract of land described in Deed to L.T.L. Family Holdings, LLC, as recorded in Document No. 20210000034919, Deed Records, Rockwall County, Texas and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod with a yellow plastic cap stamped "BISON CREEK" found in the southeast line of Henry Chandler Drive, an 80 foot right-of-way, for the common northeast corner of said L.T.L. Family Holdings, LLC tract, northeast corner of said Lot 4 and northwest corner of Lot 3, Block A of SPYGLASS HILL CONDOMINIUMS, PHASE 3, an Addition to the City of Rockwall, Rockwall County, Texas according to the Plat thereof recorded in Cabinet B, Page 175, Map Records, Rockwall County, Texas;

THENCE Southerly, with the common east line of said Lot 4, east line of said L.T.L. Family Holdings, LLC tract and west line of said Lot 3, the following seven (7) courses and distances:

South 04 degrees 01 minutes 18 seconds East, leaving said southeast line, a distance of 39.64 feet to a 1/2 inch iron rod found for corner;

South 49 degrees 01 minutes 18 seconds East, a distance of 160.16 feet to a 1/2 inch iron rod found for corner;

South 36 degrees 41 minutes 52 seconds West, a distance of 180.50 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "BISON CREEK" found for corner;

South 04 degrees 01 minutes 18 seconds East, a distance of 142.73 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "BISON CREEK" found for corner;

South 47 degrees 49 minutes 42 seconds West, a distance of 95.59 feet to a 1/2 inch iron rod found for corner;

South 40 degrees 58 minutes 42 seconds West, a distance of 56.00 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "BISON CREEK" found for corner;

South 49 degrees 01 minutes 18 seconds East, a distance of 203.00 feet to a 1/2 inch iron rod found in the northwest line of WINDWARD SLOPE, an Addition to the City of Rockwall, Rockwall County, Texas according to the Plat thereof recorded in Cabinet A, page 368, Map Records, Rockwall County, Texas for the common south corner of said Lot 3 and an exterior ell corner of said Lot 4 and said L.T.L. Family Holdings, LLC tract;

THENCE South 40 degrees 58 minutes 42 seconds West, with the common southeast line of said Lot 4 and said L.T.L. Family Holdings, LLC tract and said northwest line, a distance of 480.10 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for the common south corner of said Lot 4 and said L.T.L. Family Holdings, LLC tract;

THENCE Northerly, with the west line of said L.T.L. Family Holdings, LLC tract, the following four (4) courses and distances:

North 15 degrees 09 minutes 39 seconds West, a distance of 407.29 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

North 02 degrees 08 minutes 12 seconds West, a distance of 70.75 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "BISON CREEK" found for corner;

North 21 degrees 26 minutes 12 seconds West, a distance of 156.54 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "BISON CREEK" found for corner;

North 32 degrees 04 minutes 21 seconds West, a distance of 109.80 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set in the southeast line of the above mentioned Henry Chandler Drive for the northwest corner of said L.T.L. Family Holdings, LLC tract;

THENCE Northeasterly, with said southeast line, the following four (4) courses and distances:

North 57 degrees 55 minutes 37 seconds East, a distance of 90.00 feet to a 1/2 inch iron rod found for corner;

North 44 degrees 54 minutes 57 seconds East, a distance of 54.37 feet to a 1/2 inch iron rod found for corner at the beginning of a curve to the right having a central angle of 18 degrees 36 minutes 42 seconds, a radius of 471.19 feet and a chord bearing and distance of North 54 degrees 13 minutes 19 seconds East, 152.39 feet;

Northeasterly, with said curve to the right, an arc distance of 153.06 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner at the beginning of a reverse curve to the left having a central angle of 15 degrees 20 minutes 06 seconds, a radius of 1,040.00 feet and a chord bearing and distance of North 55 degrees 51 minutes 37 seconds East, 277.52 feet;

Northeasterly, with said curve to the left, an arc distance of 278.35 feet to the POINT OF BEGINNING and containing 6.889 acres of land, more or less.

Line Table		
Line	Length	Direction
L1	39.64	S4° 01' 18"E
L2	56.00	S40° 58' 42"W
L3	70.75	N2° 08' 12"W
L4	48.71	N44° 54' 57"E
L5	7.87	N37° 31' 07"E
L6	75.93	N35° 35' 51"W
L7	10.11	N54° 16' 59"W
L8	34.22	S76° 43' 41"W
L9	44.06	S48° 17' 23"W
L10	51.06	S32° 31' 55"E
L11	26.01	S85° 01' 36"E
L12	21.71	N10° 45' 15"E
L13	8.92	N35° 35' 51"W
L14	28.27	S58° 28' 11"E
L15	28.28	N31° 30' 26"E
L16	28.64	S76° 19' 54"E
L17	28.68	S11° 22' 41"W

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Bearing
C1	153.06	471.19	018°36'42"	152.39	N54° 13' 19"E
C2	278.35	1040.00	015°20'06"	277.52	N55° 51' 37"E
C3	96.53	250.00	022°07'23"	95.93	N24° 32' 09"W
C4	35.61	50.00	040°48'31"	34.86	S33° 52' 43"E
C5	99.27	200.00	028°26'17"	98.25	N62° 30' 32"E
C6	47.35	50.00	054°15'21"	45.60	N21° 09' 42"E
C7	77.19	250.00	017°41'27"	76.88	N14° 48' 42"W
C8	38.72	250.00	008°52'30"	38.69	N28° 05' 40"W
C9	30.07	189.50	009°05'28"	30.04	N21° 23' 59"W
C10	81.28	210.50	022°07'23"	80.77	N24° 32' 09"W
C11	10.65	20.00	030°29'56"	10.52	N01° 46' 30"E
C12	191.73	54.00	203°26'04"	105.75	N19° 00' 37"E
C13	24.17	20.00	069°13'57"	22.72	S48° 05' 27"E
C14	100.81	225.00	025°40'18"	99.97	N61° 07' 32"E
C15	10.62	225.00	002°42'17"	10.62	S28° 58' 42"E
C16	76.17	175.00	024°56'24"	75.57	N60° 45' 35"E
C17	39.36	96.46	023°22'43"	39.09	S22° 39' 49"W

OWNER'S CERTIFICATION:

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS §
COUNTY OF ROCKWALL §

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the MARINA VILLAGE subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever any streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the MARINA VILLAGE subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of these respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm sewers, and alleys all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay the same out of the escrow deposit, should the developer and/or owner fail to refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which shall be fixed by the city council of the City of Rockwall.

I (we) further acknowledge that the dedications and/or exactions made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

Property Owner Signature

STATE OF TEXAS §
COUNTY OF ROCKWALL §

BEFORE ME, the undersigned authority, on this day personally appeared L.T.L. Family Holdings, LLC, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given under my hand and seal of office, this ____ day of _____, 2022.

Notary public in and for the State of Texas

My Commission Expires

STATE OF TEXAS §
COUNTY OF ROCKWALL §

BEFORE ME, the undersigned authority, on this day personally appeared L.T.L. Family Holdings, LLC, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given under my hand and seal of office, this ____ day of _____, 2022.

Notary public in and for the State of Texas

My Commission Expires

SURVEYOR'S CERTIFICATE:

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Ryan S. Reynolds, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

RYAN S. REYNOLDS, R.P.L.S.
Texas Registered Professional Land Surveyor No. 6385.

STATE OF TEXAS §
COUNTY OF COLLIN §

BEFORE ME, the undersigned authority, on this day personally appeared Ryan S. Reynolds, known to me to be the person whose name is subscribed to the above and foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration expressed and in the capacity therein stated.

Given under my hand and seal of office, this ____ day of _____, 2022.

Notary public for and in the State of Texas

My commission expires: _____

Planning & Zoning Commission, Chairperson

Date

APPROVED:
I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas be approved by the City Council of the City of Rockwall on ____ day of _____, 2022.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of approval.

WITNESS OUR HANDS, this ____ day of _____, 2022.

Mayor, City of Rockwall

City Secretary

City Engineer

FINAL PLAT MARINA VILLAGE

LOTS 1X, 2-29, 30X, 31X, 32-39 BLOCK A
6.889 ACRES

36 TOWNHOME LOTS AND
4 COMMON AREAS
SITUATED WITHIN THE
EDWARD TEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

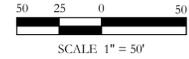
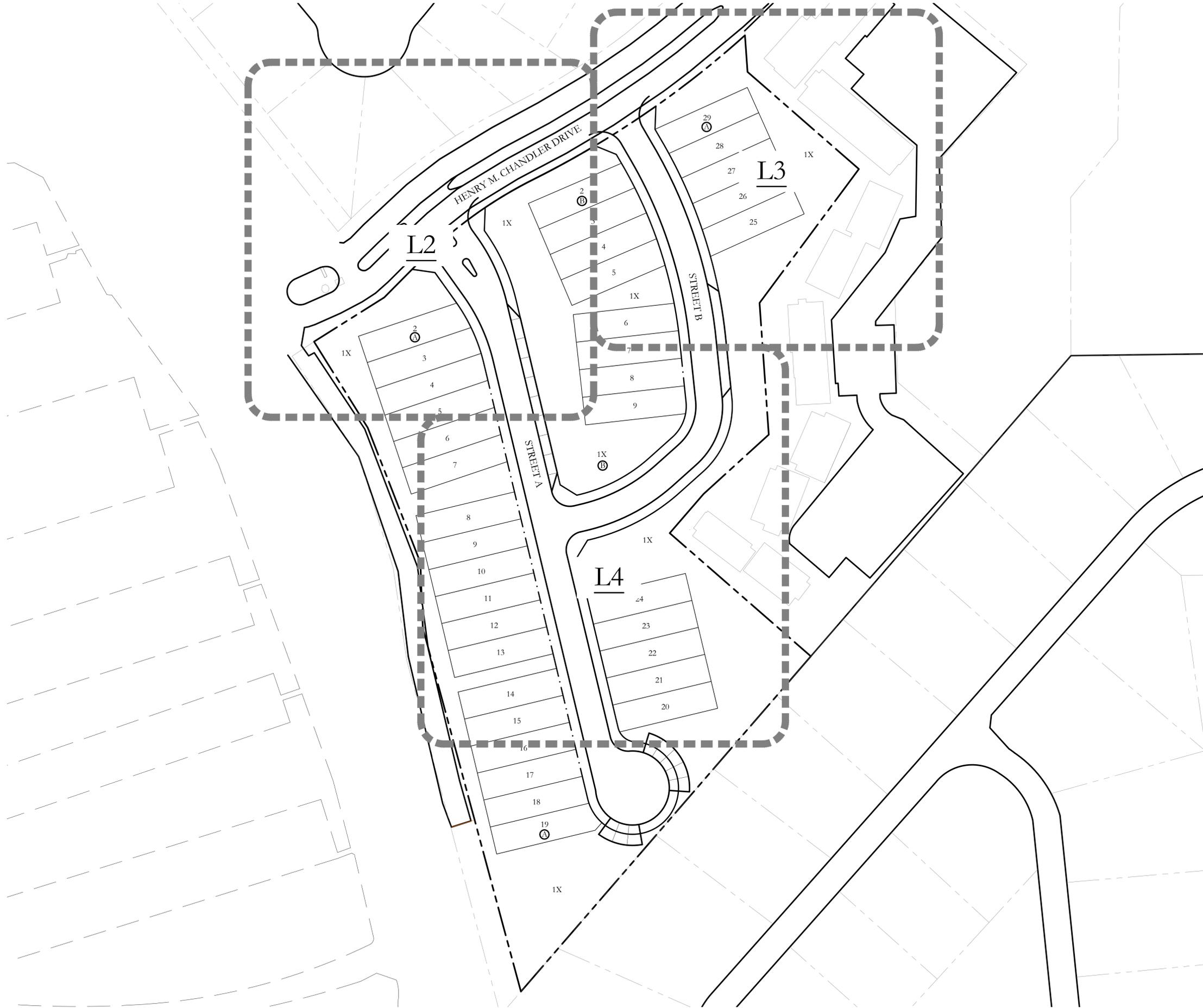
P2022-008
October 14, 2022
SHEET 2 OF 2

Owner/Applicant:
LTL Family Holdings, LLC
William Johnson
14918 Mystic Terrace Lane
Cyprus, Texas 77429
Phone: 713-325-4294

Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite. 1200
Plano, Texas 75074
Phone: 682-225-7189
Contact: Tom Dayton, PE

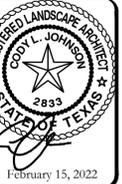


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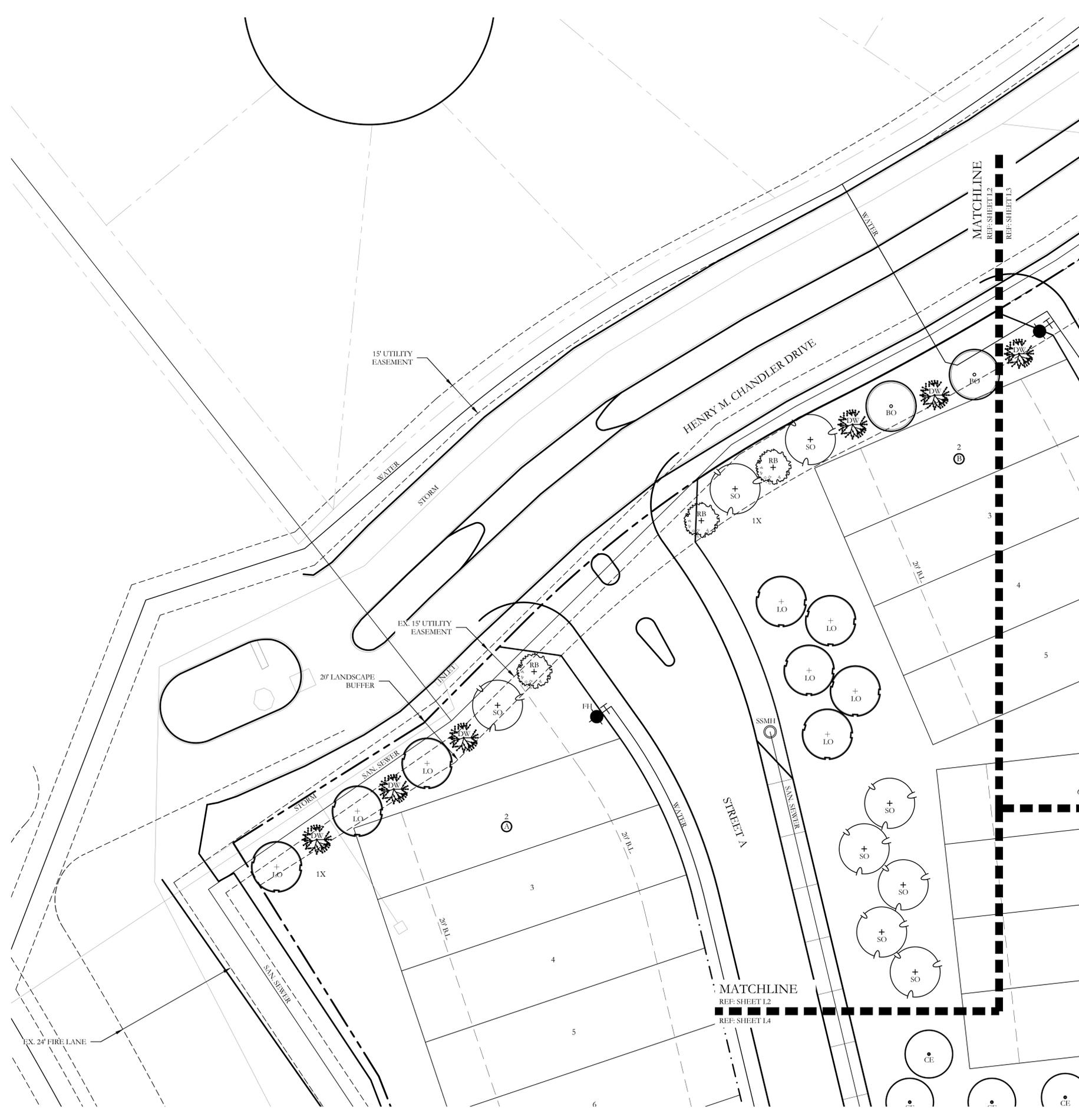
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TREESCAPE PLAN
OVERALL LAYOUT PLAN

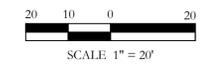


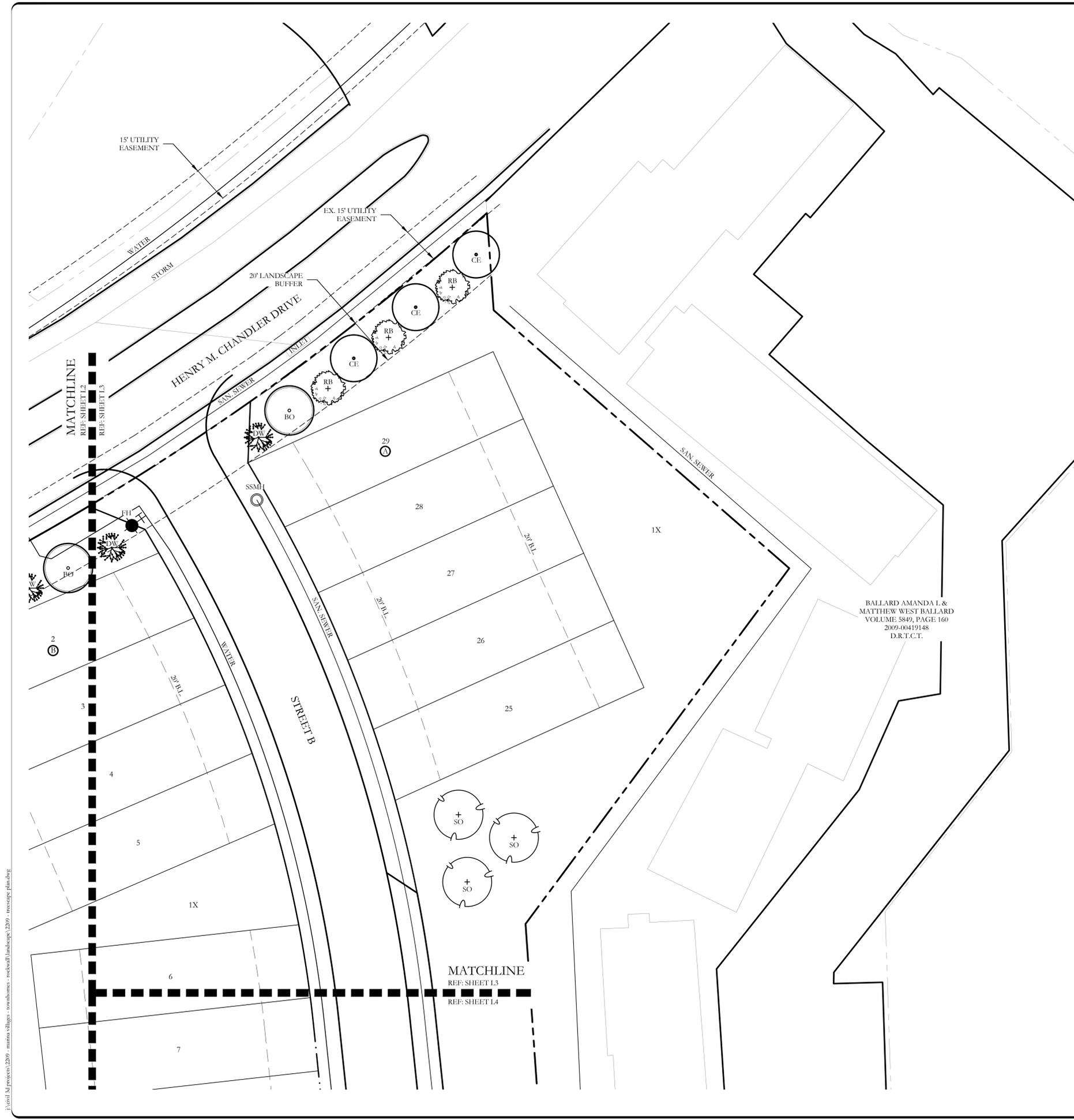
MARINA VILLAGE TOWNHOMES
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

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PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN



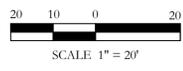


PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
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	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
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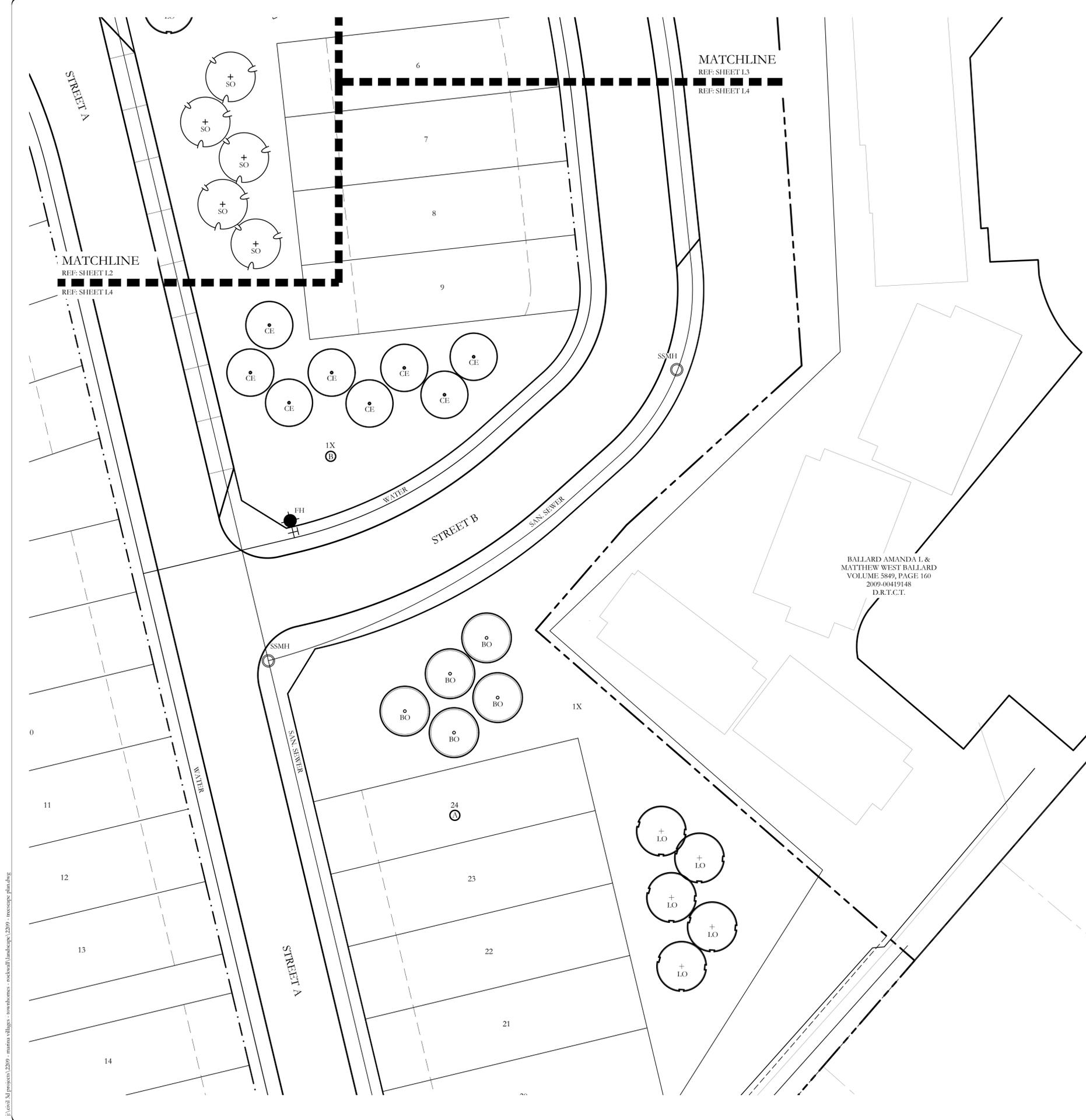
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MATTHEW WEST BALLARD
VOLUME 5849, PAGE 160
2009-00419148
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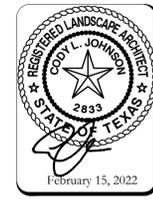
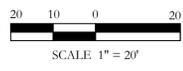


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PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
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	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXIENSIS	2" CALIPER	AS SHOWN

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LANDSCAPE PROVIDED

HENRY M. CHANDLER DR.

MINIMUM TEN (10) FOOT LANDSCAPE BUFFER PROVIDED

1 - 4" CAL. CANOPY TREE & 1 ACCENT TREE / 50 LF OF LINEAR FRONTAGE
576 LF OF FRONTAGE / 50 LF = 12 - 4" CAL. TREES & 12 ACCENT TREES REQUIRED.
PROVIDED: 12 - 4" CALIPER CANOPY TREES & 13 ACCENT TREES PROVIDED

TREE MITIGATION

191.5 CAL. INCHES REMOVED

43 - 4" CAL. CANOPY TREES & 13 - 2" CAL. ACCENT TREES = 198 CAL. INCHES REPLACED.

PLANT LIST						
KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	13	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
SO	11	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
BO	8	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CE	11	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
DW	7	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
RB	6	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.

GENERAL LANDSCAPE NOTES

INSPECTIONS:

- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
- THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

LANDSCAPE STANDARDS:

- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC ROW VISIBILITY REQUIREMENTS.
- UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
- A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
- STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
- THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
- TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
- A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
- TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
- ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
- ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
- NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AN ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

IRRIGATION STANDARDS:

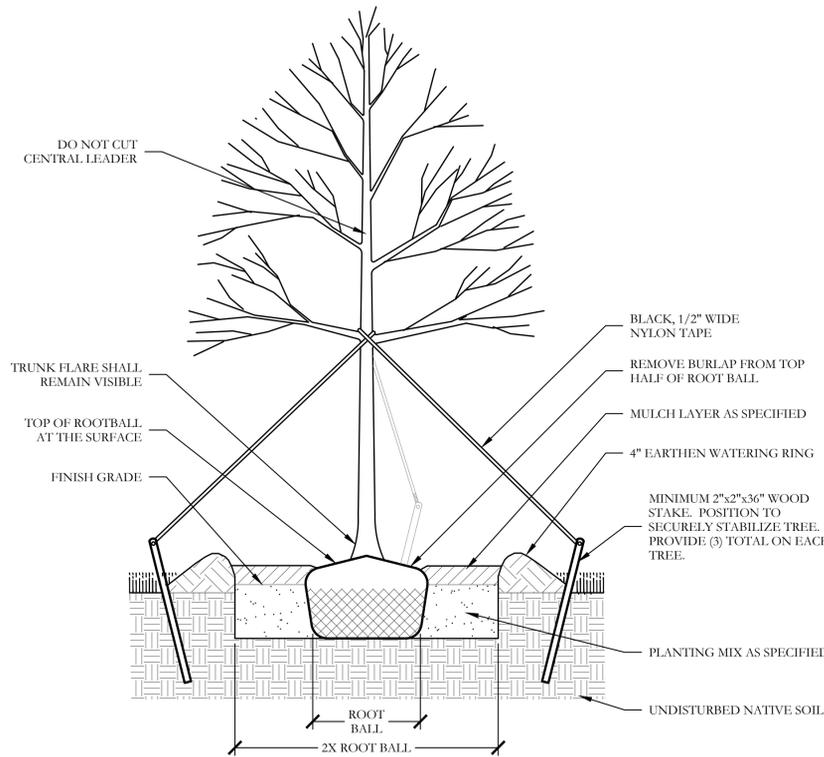
- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY. CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
- IRRIGATION OVER SPRAY ON STREETS AND WALKS IS PROHIBITED.
- MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
- ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
- VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
- THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
- IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES, SHALL BE FED FROM STUBBED LATERALS OR BULL-HEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
- NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

MAINTENANCE STANDARDS:

- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
- LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
- NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
- TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
- TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

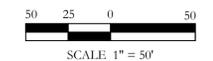
TREE PROTECTION NOTES:

- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
- ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4) TALL, BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
- PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
- NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
- NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
- VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
- GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
- NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
- ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
- ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



1 TYPICAL TREE PLANTING SECTION NOT TO SCALE

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SCALE:
1" = 50'
One Inch
JVC No 2209

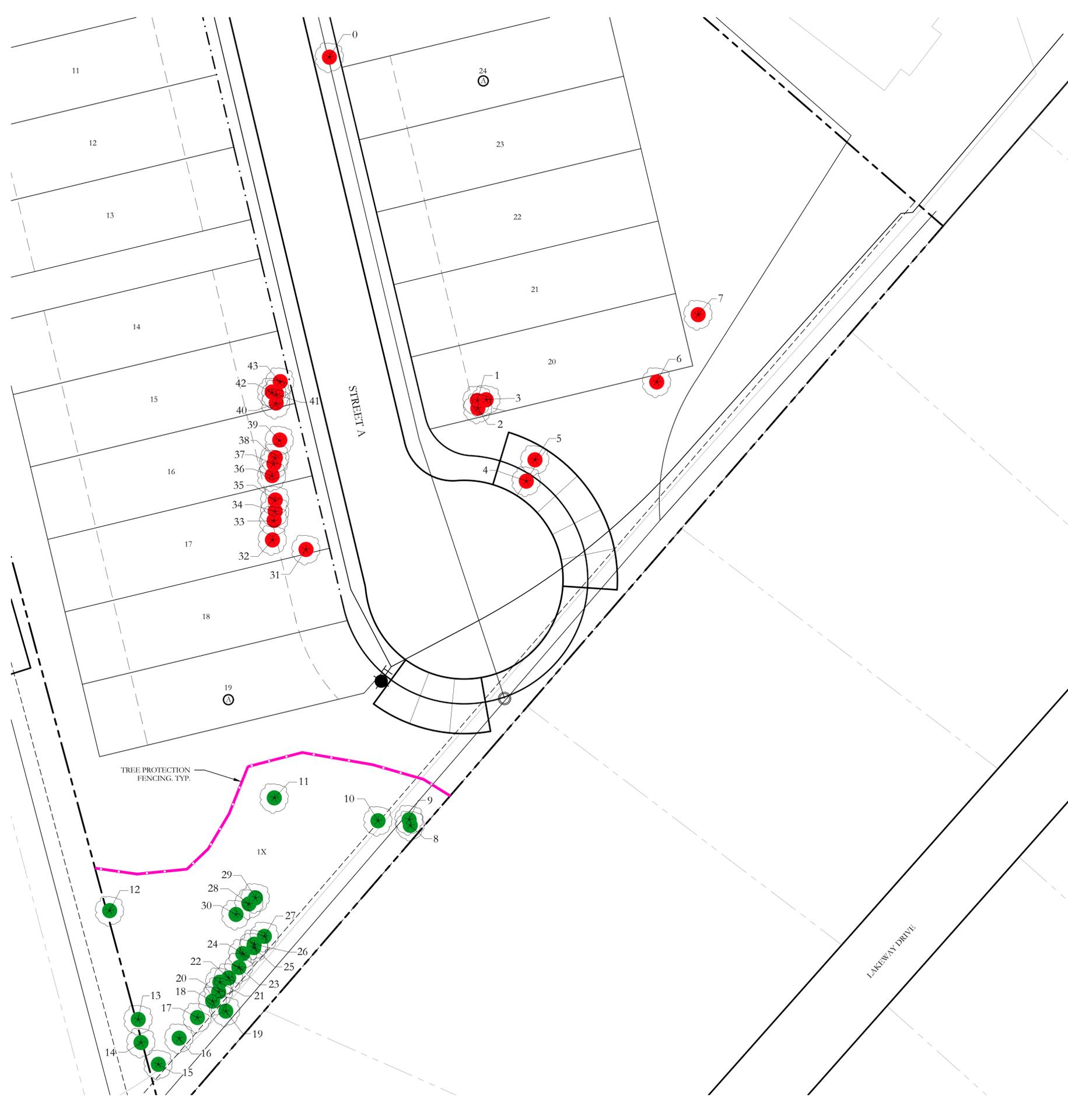


TREE SURVEY PLAN
TREE SURVEY PLAN

MARINA VILLAGE TOWNHOMES
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

JOHNSON VOLK
CONSULTING
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

J:\projects\2209 - marina villges - townhomes - rockwall\landscps\2209 - tree survey plan.dwg

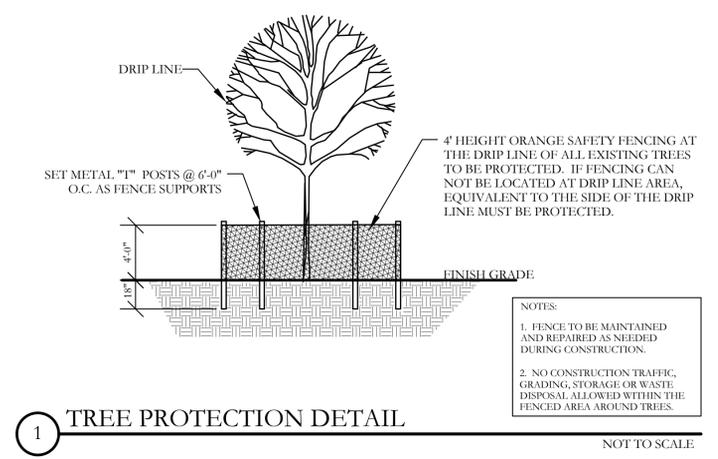


LEGEND

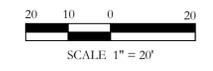
- 7 EXISTING TREE TO BE REMOVED
- 23 EXISTING TREE TO REMAIN
- TREE PROTECTION FENCE, TYP.

TREE PROTECTION NOTES

1. EXISTING TREES SHOWN TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION. ORANGE COATED CHAINLINK FENCING (MIN. 4'-0" HEIGHT) SHALL BE INSTALLED AT THE DRIP LINE OF ALL TREES OR TREE GROUPS TO REMAIN. PARKING OF VEHICLES OR PERFORMING WORK WITHIN THESE AREAS OTHER THAN SHOWN ON THE PLAN, WILL NOT BE ALLOWED. THE TREE PROTECTION SHALL REMAIN DURING CONSTRUCTION. OTHER TREE PROTECTION MEASURES SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARDS AND ORDINANCES.
2. DISPOSAL OF ANY WASTE MATERIAL SUCH AS, BUT NOT LIMITED TO, PAINT, ASPHALT, OIL SOLVENTS, CONCRETE, MORTAR, ETC. WITHIN THE CANOPY AREA OF THE EXISTING TREES SHALL NOT BE ALLOWED.
3. NO ATTACHMENTS OR WIRES OF ANY KIND, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
4. NO FILL OR EXCAVATION OF ANY NATURE SHALL OCCUR WITHIN THE DRIP LINE OF A TREE TO BE PRESERVED, UNLESS THERE IS A SPECIFIED WELL OR RETAINING WALL SHOWN ON THE GRADING PLAN.
5. NO MATERIALS SHALL BE STORED WITHIN THE DRIP LINE AREA OF A TREE TO BE PRESERVED.



- NOTES:**
1. FENCE TO BE MAINTAINED AND REPAIRED AS NEEDED DURING CONSTRUCTION.
 2. NO CONSTRUCTION TRAFFIC, GRADING, STORAGE OR WASTE DISPOSAL ALLOWED WITHIN THE FENCED AREA AROUND TREES.



Tree ID Number	Diameter at Breast Height (DBH) (inches)	Common Name	Scientific Name	Protected Tree?	Condition	Comment	Location	Remove or Remain	Mitigation Required, Percentage	Mitigation Required in Caliper Inches
0	28.0	Mesquite	Prosopis spp.	Yes	Healthy	Multi-trunk		Remove	100%	28.0
1	40.0	Bois d'Arc	Machua pomifera	No	Damaged	Leaning/Fall Hazard		Remove	0%	0.0
2	20.0	Bois d'Arc	Machua pomifera	No	Healthy			Remove	0%	0.0
3	8.0	Hackberry	Celtis occidentalis	No	Healthy			Remove	0%	0.0
4	12.0	Grape Myrtle	Lagerstroemia indica	Yes	Healthy			Remove	100%	12.0
5	8.0	Hackberry	Celtis occidentalis	No	Healthy	Multi-trunk		Remove	0%	0.0
6	14.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remove	50%	7.0
7	14.0	Cedar Elm	Ulmus crassifolia	Yes	Healthy			Remove	100%	14.0
8	9.0	Eastern Red Cedar	Juniperus virginiana	No	Healthy			Remain		0.0
9	12.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
10	19.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
11	44.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
12	21.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
13	11.0	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
14	24.0	Hackberry	Celtis occidentalis	Yes	Healthy	Multi-trunk		Remain		0.0
15	34.0	Eastern Red Cedar	Juniperus virginiana	Yes	Healthy	Multi-trunk		Remain		0.0
16	35.0	Eastern Red Cedar	Juniperus virginiana	Yes	Healthy	Multi-trunk		Remain		0.0
17	12.0	Eastern Red Cedar	Juniperus virginiana	Yes	Healthy			Remain		0.0
18	9.0	Eastern Red Cedar	Juniperus virginiana	No	Healthy			Remain		0.0
19	29.0	Bois d'Arc	Machua pomifera	No	Healthy	Multi-trunk		Remain		0.0
20	10.0	Eastern Red Cedar	Juniperus virginiana	No	Healthy			Remain		0.0
21	12.0	Green Ash	Fraxinus pennsylvanica	Yes	Healthy			Remain		0.0
22	10.0	Eastern Red Cedar	Juniperus virginiana	No	Healthy			Remain		0.0
23	9.0	Eastern Red Cedar	Juniperus virginiana	No	Healthy			Remain		0.0
24	15.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
25	8.0	Eastern Red Cedar	Juniperus virginiana	No	Healthy			Remain		0.0
26	7.0	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
27	29.0	Eastern Red Cedar	Juniperus virginiana	Yes	Healthy	Multi-trunk		Remain		0.0
28	12.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
29	21.0	Green Ash	Fraxinus pennsylvanica	Yes	Healthy	Multi-trunk		Remain		0.0
30	7.0	Green Ash	Fraxinus pennsylvanica	Yes	Healthy	Multi-trunk		Remain		0.0
31	20.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remove	50%	10.0
32	24.0	Eastern Red Cedar	Juniperus virginiana	Yes	Healthy	Multi-trunk		Remove	50%	12.0
33	23.0	Hackberry	Celtis occidentalis	Yes	Healthy	Multi-trunk		Remove	50%	11.5
34	9.0	Hackberry	Celtis occidentalis	No	Healthy			Remove	0%	0.0
35	20.0	Hackberry	Celtis occidentalis	Yes	Healthy	Multi-trunk		Remove	50%	10.0
36	24.0	Green Ash	Fraxinus pennsylvanica	Yes	Healthy	Multi-trunk		Remove	100%	24.0
37	12.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remove	50%	6.0
38	21.0	Hackberry	Celtis occidentalis	Yes	Healthy	Multi-trunk		Remove	50%	10.5
39	19.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remove	50%	9.5
40	21.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remove	50%	10.5
41	24.0	Hackberry	Celtis occidentalis	Yes	Healthy	Multi-trunk		Remove	50%	12.0
42	17.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remove	50%	8.5
43	12.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remove	50%	6.0
	789.0									191.5
	Total Tree Population									Total Tree Replacement, caliper inches

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Mapcheck 1: MARINA VILLAGE

Closure Summary

Precision, 1 part in: 1438904.41'
Error distance: 0.00'
Error direction: S23°37'10.02"W
Area: 300075.68 Sq. Ft.
Square area: 300075.68
Perimeter: 2677.88'

Point of Beginning

Easting: 2588822.58'
Northing: 7007539.35'

Side 1: Line

Direction: S04°01'18"E
Angle: [-004.02 (d)]
Deflection angle: [175.98 (d)]
Distance: 39.64'
Easting: 2588825.36'
Northing: 7007499.81'

Side 2: Line

Direction: S49°01'18"E
Angle: [135.00 (d)]
Deflection angle: [-045.00 (d)]
Distance: 160.16'
Easting: 2588946.28'
Northing: 7007394.78'

Side 3: Line

Direction: S36°41'52"W
Angle: [-094.28 (d)]
Deflection angle: [085.72 (d)]
Distance: 180.50'
Easting: 2588838.41'
Northing: 7007250.06'

Side 4: Line

Direction: S04°01'18"E
Angle: [139.28 (d)]
Deflection angle: [-040.72 (d)]
Distance: 142.73'
Easting: 2588848.42'
Northing: 7007107.68'

Side 5: Line

Direction: S47°49'42"W
Angle: [-128.15 (d)]
Deflection angle: [051.85 (d)]

Distance: 95.59'
Easting: 2588777.58'
Northing: 7007043.50'

Side 6: Line

Direction: S40°58'42"W
Angle: [173.15 (d)]
Deflection angle: [-006.85 (d)]
Distance: 56.00'
Easting: 2588740.85'
Northing: 7007001.23'

Side 7: Line

Direction: S49°01'18"E
Angle: [090.00 (d)]
Deflection angle: [-090.00 (d)]
Distance: 203.00'
Easting: 2588894.11'
Northing: 7006868.10'

Side 8: Line

Direction: S40°58'42"W
Angle: [-090.00 (d)]
Deflection angle: [090.00 (d)]
Distance: 480.10'
Easting: 2588579.27'
Northing: 7006505.65'

Side 9: Line

Direction: N15°09'39"W
Angle: [-056.14 (d)]
Deflection angle: [123.86 (d)]
Distance: 407.29'
Easting: 2588472.76'
Northing: 7006898.76'

Side 10: Line

Direction: N02°08'12"W
Angle: [-166.98 (d)]
Deflection angle: [013.02 (d)]
Distance: 70.75'
Easting: 2588470.12'
Northing: 7006969.46'

Side 11: Line

Direction: N21°26'12"W
Angle: [160.70 (d)]
Deflection angle: [-019.30 (d)]
Distance: 156.54'

Easting: 2588412.91'
Northing: 7007115.18'

Side 12: Line

Direction: N32°04'21"W
Angle: [169.36 (d)]
Deflection angle: [-010.64 (d)]
Distance: 109.80'
Easting: 2588354.60'
Northing: 7007208.22'

Side 13: Line

Direction: N57°55'37"E
Angle: [-090.00 (d)]
Deflection angle: [090.00 (d)]
Distance: 90.00'
Easting: 2588430.87'
Northing: 7007256.01'

Side 14: Line

Direction: N44°54'57"E
Angle: [166.99 (d)]
Deflection angle: [-013.01 (d)]
Distance: 54.37'
Easting: 2588469.26'
Northing: 7007294.51'

Side 15: Curve

Curve direction: Clockwise
Radius: [471.20']
Arc length: 153.06'
Delta angle: 018.61 (d)
Tangent: [77.21']
Chord direction: N54°13'19"E
Chord angle: [-170.69 (d)]
Deflection angle: [009.31 (d)]
Chord distance: 152.39'
Easting: 2588592.89'
Northing: 7007383.60'

Side 16: Curve

Curve direction: Counter-clockwise
Radius: [1039.99']
Arc length: 278.35'
Delta angle: 015.34 (d)
Tangent: [140.01']
Chord direction: N55°51'37"E
Chord angle: [172.33 (d)]

Deflection angle: [-007.67 (d)]

Chord distance: 277.52'

Easting: 2588822.58'

Northing: 7007539.35'



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

FROM: Henry Lee, *Planner*

DATE: November 15, 2022

SUBJECT: SP2022-055; *Site Plan for Phase 2 of the Saddle Star Estates Subdivision*

The applicant, Ryan King of ECDLP, is requesting the approval of a site plan for Phase 2 of the Saddle Star Estates Subdivision. The subject property is a 26.827-acre tract of land (*i.e. s Tracts 1, 1-05, 2-03, & 2-07, P. B. Harrison Survey, Abstract No. 97*) generally located north of the intersection of N. John Kind Boulevard and Hays Road. The Saddle Star Estates, Phase 2 Subdivision has been approved for a *Final Plat* [Case No. P2021-055], in accordance with the submittal schedule contained in the Planned Development District. As part of this site plan application the applicant has submitted a site plan, landscape plan, treescape plan, and hardscape plan.

The site plan indicates that 77 single-family residential lots and three (3) open space lots will be provided in accordance with the requirements of Planned Development District 79 (PD-79). The landscape plan shows that three (3) canopy and four (4) accent trees will be provided per 100 linear feet of frontage along N. John King Boulevard, and two (2) canopy trees will be planted in the front yard of each residential lot. The treescape plan provided by the applicant indicates that the mitigation balance is satisfied by landscape plan. The hardscape plan details the location of all the require sidewalks and trails, and the fence type for each lot (*i.e. wrought iron fence, wood fence, and a wrought iron fence with masonry columns*) as required throughout the subdivision by the Planned Development District ordinance. The submitted site plan conforms to all the applicable technical requirements of Planned Development District 79 (PD-79) and the Unified Development Code (UDC), and -- *based on the case being in compliance* -- the case is being placed on the consent agenda. Staff should note that a condition of approval for the case is that the applicant provide an updated fence exhibit that meets the Planned Development District 79 (PD-79) requirements. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the November 15, 2022 Planning and Zoning Commission meeting.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2022-055

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS N JOHN KING BLVD, ROCKWALL, TX 75097

SUBDIVISION SADDLE STAR ESTATES 2 LOT BLOCK

GENERAL LOCATION JOHN KING BLVD AND FM 552

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-79 CURRENT USE AG

PROPOSED ZONING PD-79 PROPOSED USE SINGLE FAMILY

ACREAGE 26.827 LOTS [CURRENT] 77 LOTS [PROPOSED] 77

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER SADDLE STAR SOUTH HOLDINGS APPLICANT ECDLP

CONTACT PERSON JOSE CAMPOS CONTACT PERSON RYAN KING

ADDRESS 2200 ROSS AVE. STE 4200W ADDRESS 1600 N COLLINS BLVD

CITY, STATE & ZIP DALLAS, TX 75201 CITY, STATE & ZIP RICHARDSON, TX 75080

PHONE 214-716-2900 PHONE 205-718-4328

E-MAIL JOSE.CAMPOS@HINES.COM E-MAIL RYAN@ECDLP.COM

NOTARY VERIFICATION [REQUIRED]

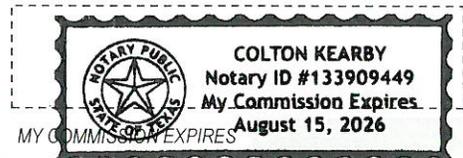
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jose Campos [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

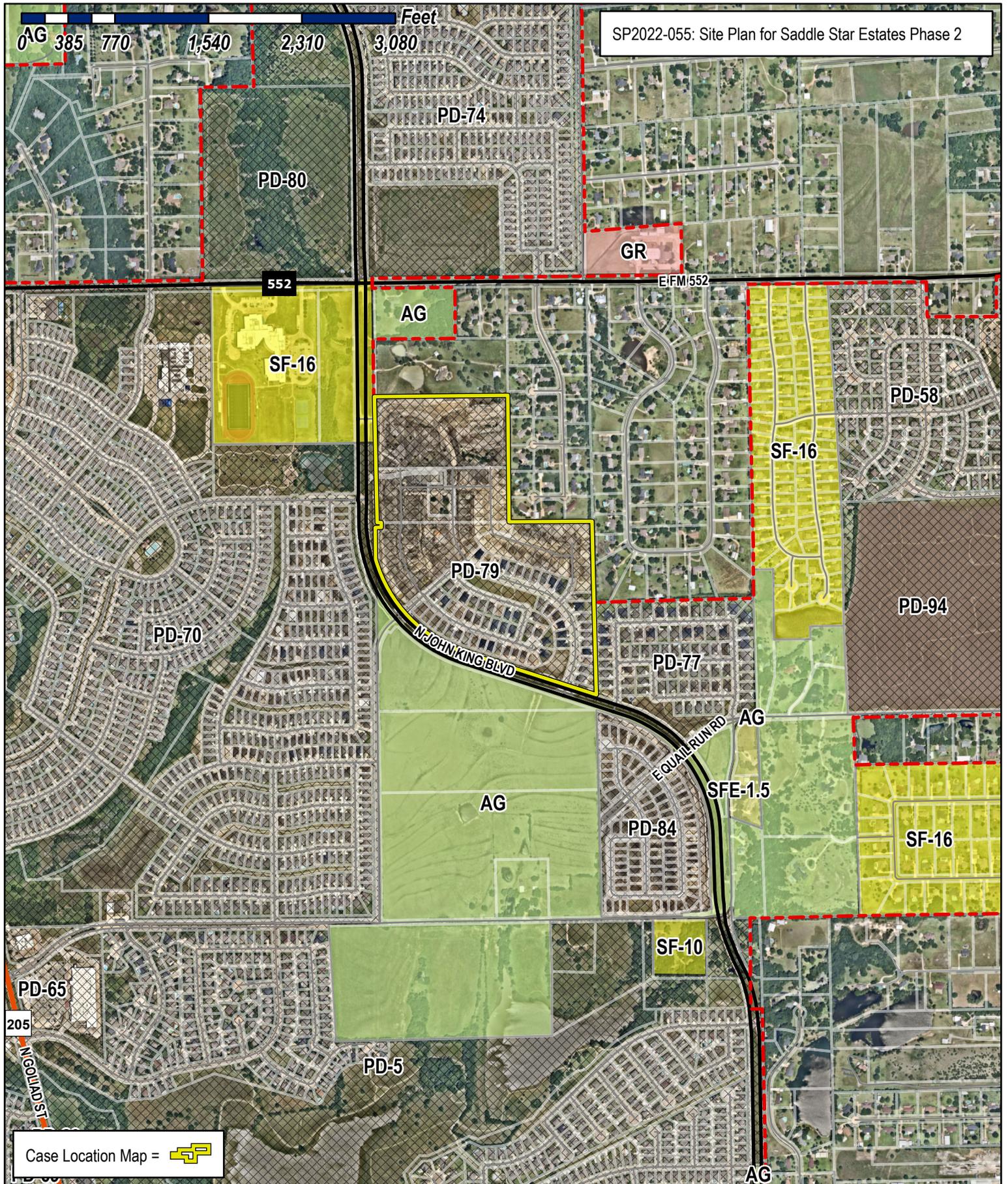
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 786.54 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF SEPTEMBER, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF October, 2022

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

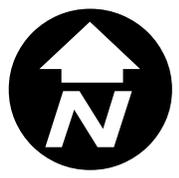


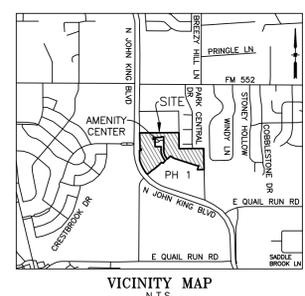
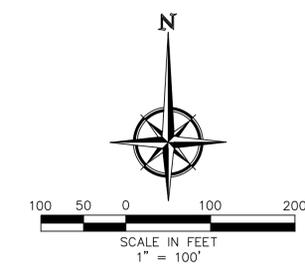


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





LEGEND

- CIRS 5/8" IRON ROD SET WITH YELLOW CAP STAMPED "RPLS 396.3"
- CIRF 5/8" IRON ROD FOUND WITH YELLOW CAP STAMPED "RPLS 396.3"
- IRF IRON ROD FOUND
- B.L. BUILDING SETBACK LINE
- CM CONTROL MONUMENT
- D.U.E. DRAINAGE & UTILITY EASEMENT
- D.E. DRAINAGE EASEMENT
- HOA HOMEOWNERS ASSOCIATION
- S.V.E. 20'x20' SIDEWALK AND VISIBILITY EASEMENT
- U.E. UTILITY EASEMENT
- P.R.R.C.T. PLAT RECORDS ROCKWALL COUNTY, TEXAS
- D.R.R.C.T. DEED RECORDS ROCKWALL COUNTY, TEXAS
- ◆ INDICATES CHANGE IN STREET NAME

LINE TABLE

NO.	DIRECTION	DISTANCE
L1	N 89°38'44" E	50.00'
L2	N 00°38'27" W	40.00'
L3	S 89°38'05" W	34.30'
L4	S 88°42'33" W	182.77'
L5	N 84°20'49" W	50.00'
L6	N 66°47'40" W	63.38'
L7	N 48°35'07" W	63.78'
L8	S 48°23'33" W	200.00'
L17	S 43°25'25" W	89.23'
L18	S 49°55'55" W	220.14'
L19	S 58°29'53" W	50.35'
L20	S 49°55'55" W	152.40'
L21	N 84°16'58" W	41.84'

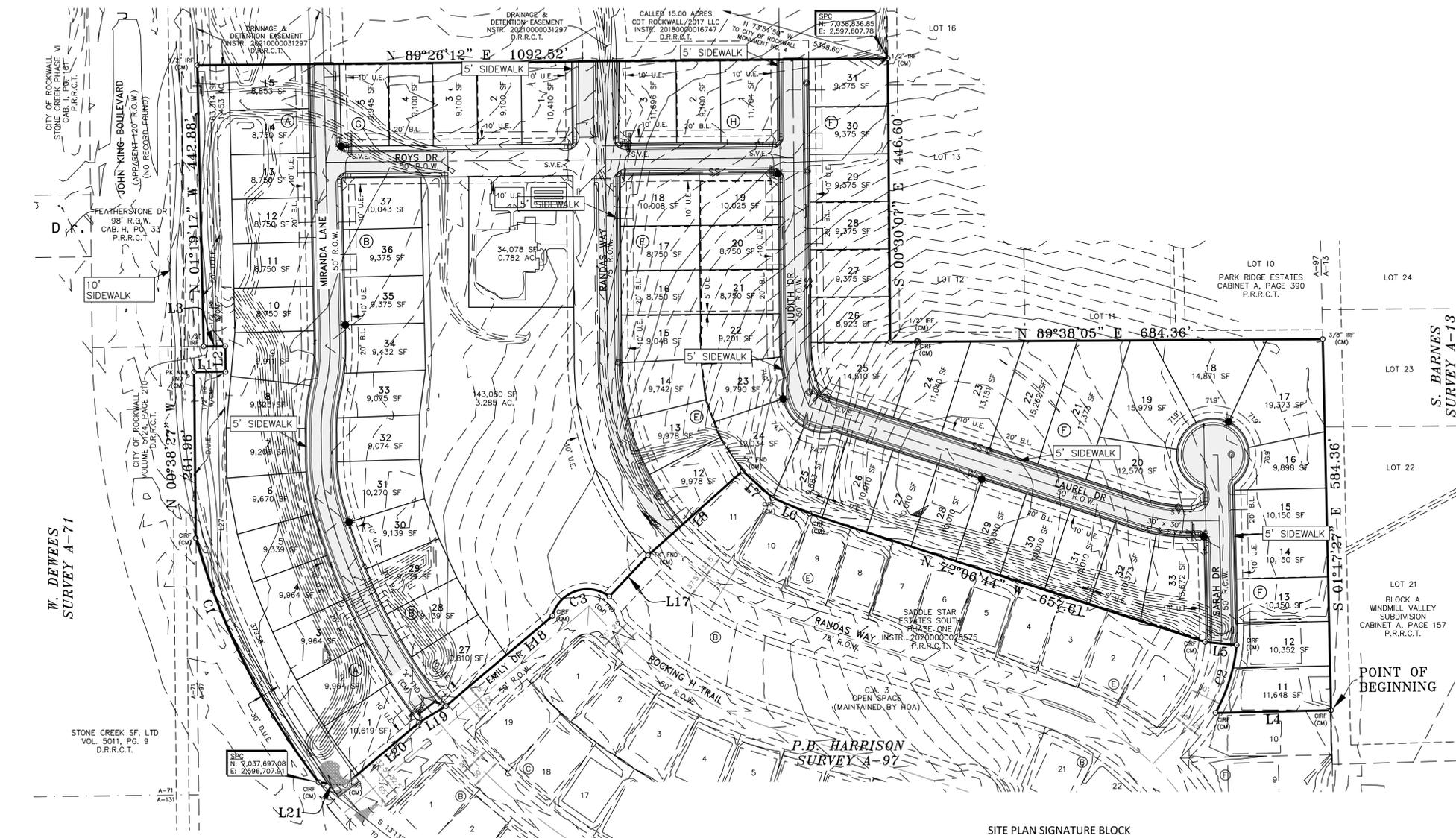
BENCHMARK

BM#1 (#102)
CIRS "ASC SURVEYING COMPANY" BEING IN THE NORTH MEDIAN OF JOHN KING BLVD, AND TO THE WEST OF THE MAIN ENTRANCE OF THE SUBJECT PROPERTY, AND BEING NORTH OF THE MEDIAN POINT 55'. ELEVATION = 531.58

BM#3 (#106)
CIRS "ASC SURVEYING COMPANY" BEING IN THE MEDIAN OF JOHN KING BLVD, TO THE SOUTHWEST OF THE SUBJECT PROPERTY, AND BEING LOCATED 72.5' TO THE SOUTHWEST OF THE SOUTHWEST CORNER OF THE HEADWALL WITH AN 8'x8' BOX CULVERT. ELEVATION = 557.33'

CURVE TABLE

CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD BEARING	CHORD
C1	21°47'11"	1140.00'	219.39'	433.48'	N 26°51'02" W	430.87'
C2	23°26'23"	275.00'	57.05'	112.50'	N 17°22'23" E	111.72'
C3	111°10'32"	57.50'	83.94'	111.57'	S 71°13'07" W	94.87'



LEGEND

- EXISTING TREE
- PROPOSED 4" CANOPY TREE (Bald Cypress, Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Alle Elm, Chinese Pistachio, Shumard Oak, Sycamore, and Burr Oak)
- PROPOSED 3" CANOPY TREE (Bald Cypress, Cedar Elm, Texas Red Oak, Homestead Elm, Lace Bark Elm, Alle Elm, Chinese Pistachio, Shumard Oak, Sycamore, and Burr Oak)
- PROPOSED 3" EASTERN RED CEDAR
- PROPOSED 2" ORNAMENTAL TREE (Texas Redbud, Eye's Necklace, Mexican Plum, Downy Hawthorn, Crane Myrtle, Texas Mountain Laurel and Desert Willow)

LEGEND

- STREET SIGN
- STOP SIGN
- STREET & STOP SIGN
- STREET LIGHT

NAME	QUANTITY
BERMUDA GRASS	179,852 SF
SHRUB BED	6,113 SF
BEE HAPPY MIX	36,384 SF
WHITE CRUSHED GRANITE	556 SF
TEXAS RIVER ROCK MIX	692 SF

SADDLE STAR ESTATES PHASE 2 SITE PLAN DATA

- A. 26.827 ACRES
- B. PD-79 ZONING
- C. 77 LOTS
- D. AREA OPEN SPACE 211,805 SF
- E. ALL COMMON AREAS/OPEN SPACE TO BE MAINTAINED BY THE H.O.A

PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
(L)	LD	LIVE OAK	QUERCUS VERGECIANA	4" CALIPER	AS SHOWN
(S)	SD	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
(B)	BD	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
(E)	ED	CEADAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
(M)	MD	MEXICAN PLUM	PRUNUS MEXICANA	2" CALIPER	AS SHOWN
(V)	VD	CHASTE TREE	VITEX AGASTIS CASTIS	2" CALIPER	AS SHOWN
(T)	TD	SMOKE TREE	COTINUS COGONIGARA	2" CALIPER	AS SHOWN

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of ___, 2022.

WITNESS OUR HANDS, this ___ day of ___, 2022.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

LAND SURVEYOR
R.C. MYERS SURVEYING, LLC
488 ARROYO COURT
SUNNYVALE, TX 75182
(214) 532-0636
FAX (972) 412-4875
EMAIL: rcmysurveying@gmail.com
FIRM NO. 10192300 JOB NO. 355

OWNERS
SADDLE STAR SOUTH CITY OF ROCKWALL HOLDINGS, LLC
2200 ROSS AVE., STE. 4200W
DALLAS, TX 75201

DEVELOPER
HINES
2200 ROSS AVE., SUITE 4200W
DALLAS, TX 75201
(214) 716-2900

PD SITE PLAN
SP2022-055

SADDLE STAR ESTATES SOUTH, PHASE TWO
26.827 ACRES
77 SINGLE FAMILY LOTS
3 COMMON AREA TRACT
SITUATED IN THE
P.B. HARRISON SURVEY, A-97
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

ENGINEERING CONCEPTS & DESIGN, L.P.
ENGINEERING/PROJECT MANAGEMENT/CONSTRUCTION SERVICES
TEXAS FIRM REG. NO. 001145
201 WINDCO CIRCLE, SUITE 200, WILEY TEXAS 75098
(972) 941-8400 FAX (972) 941-8401
DATE: October 26, 2022

GENERAL CONSTRUCTION NOTES

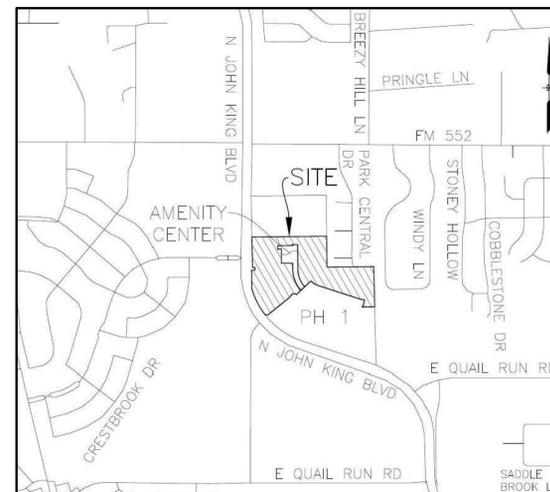
- ALL CONSTRUCTION, TESTING, AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY'S CURRENT STANDARDS, DETAILS, AND SPECIFICATIONS.
- PRIOR TO ANY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL BE FAMILIAR WITH THE PLANS INCLUDING ALL NOTES, STANDARD SPECIFICATIONS, DETAILS, AND CITY STANDARDS.
- TESTING AND INSPECTION OF MATERIALS SHALL BE PERFORMED BY A COMMERCIAL TESTING LABORATORY APPROVED BY THE CLIENT AND CITY. CONTRACTOR SHALL FURNISH MATERIALS OR SPECIMENS FOR TESTING, AND SHALL FURNISH SUTTABLE EVIDENCE THAT THE MATERIALS PROPOSED TO BE INCORPORATED INTO THE WORK ARE IN ACCORDANCE WITH THE SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY THE CITY AT LEAST 48 HOURS PRIOR TO BEGINNING ANY CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO BEGINNING ANY CONSTRUCTION.
- CONTRACTOR MUST KEEP AVAILABLE ON-SITE AT ALL TIMES APPROVED CONSTRUCTION PLANS AND COPIES OF ANY REQUIRED PERMITS ALONG WITH THE CURRENT VERSIONS OF THE FOLLOWING REFERENCES: CITY OF ROCKWALL ENGINEERING STANDARDS, NCTCOG SPECIFICATIONS, TXDOT SPECIFICATIONS, TXDOT STANDARD DRAWINGS.
- ALL SHOP DRAWINGS, WORKING DRAWINGS OR OTHER DOCUMENTS WHICH REQUIRE REVIEW BY THE CITY SHALL BE SUBMITTED BY THE CONTRACTOR SUFFICIENTLY IN ADVANCE OF SCHEDULED CONSTRUCTION TO ALLOW NO LESS THAN 14 CALENDAR DAYS FOR REVIEW AND RESPONSE BY THE CITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED CONSTRUCTION SURVEYING AND STAKING AND SHALL NOTIFY THE CLIENT AND CITY OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH ANY WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL SURVEY MARKERS INCLUDING IRON RODS, PROPERTY CORNERS, OR SURVEY MONUMENTS WITHIN THE LIMITS OF CONSTRUCTION AND OUTSIDE ROW DURING CONSTRUCTION. ANY SURVEY MARKERS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE CLIENT.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING STREETS AND DRIVEWAYS ADJACENT TO THE PROJECT FREE OF MUD AND DEBRIS AT ALL TIMES. CONTRACTOR SHALL CLEAN UP AND REMOVE ALL LOOSE MATERIAL RESULTING FROM CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST.
- THE EXISTENCE AND LOCATIONS OF THE PUBLIC AND FRANCHISE UTILITIES SHOWN ON THE DRAWINGS WERE OBTAINED FROM AVAILABLE RECORDS AND ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE THE DEPTH AND LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATING, TRENCHING, OR DRILLING AND SHALL BE REQUIRED TO TAKE ANY PRECAUTIONARY MEASURES TO PROTECT ALL LINES SHOWN AND / OR ANY OTHER UNDERGROUND UTILITIES NOT OF RECORD OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PUBLIC AGENCIES AND FRANCHISE UTILITIES 48 HOURS PRIOR TO CONSTRUCTION. (DIG-TESS 1-800-344-3377) THE CONTRACTOR MAY BE REQUIRED EXPOSE THESE FACILITIES AT NO COST TO THE CITY. THE CONTRACTOR WILL BE RESPONSIBLE FOR DAMAGES TO UTILITIES IF THE DAMAGE IS CAUSED BY NEGLIGENCE OR FAILURE TO HAVE LOCATES PERFORMED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES OR ADJACENT PROPERTIES DURING CONSTRUCTION. ANY REMOVAL OR DAMAGE TO EXISTING FACILITIES SHALL BE REPLACED OR REPAIRED TO EQUAL OR BETTER CONDITION BY THE CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL TEMPORARY AND PERMANENT TRAFFIC CONTROL IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE LATEST REVISION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD) AND TXDOT BARRICADE AND CONSTRUCTION STANDARDS.
- CONTRACTOR SHALL NOT IMPEDE TRAFFIC ON EXISTING STREETS, DRIVEWAYS, ALLEYS, OR FIRE LANES OPEN TO THE PUBLIC. IN THE EVENT THE CONSTRUCTION WORK REQUIRES THE CLOSURE OF AN EXISTING STREET, ALLEY, OR FIRE LANE, THE CONTRACTOR SHALL REQUEST THE ROAD CLOSURE THROUGH THE CITY TRAFFIC DIVISION.
- CONTRACTOR SHALL NOT STORE MATERIALS, EQUIPMENT OR OTHER CONSTRUCTION ITEMS ON ADJACENT PROPERTIES OR RIGHT-OF-WAY WITHOUT THE PRIOR WRITTEN CONSENT OF THE PROPERTY OWNER AND THE CITY.
- TEMPORARY FENCING SHALL BE INSTALLED PRIOR TO THE REMOVAL OF EXISTING FENCING. TEMPORARY FENCING SHALL BE REMOVED AFTER PROPOSED FENCING IS APPROVED BY THE CITY. ALL TEMPORARY AND PROPOSED FENCING LOCATIONS SHALL BE SUBJECT TO FIELD REVISIONS AS DIRECTED BY THE CITY.
- UNUSABLE EXCAVATED MATERIAL, OR CONSTRUCTION DEBRIS SHALL BE REMOVED AND DISPOSED OF OFFSITE AT AN APPROVED DISPOSAL FACILITY BY THE CONTRACTOR AT HIS EXPENSE.
- CONTRACTOR SHALL AVOID DAMAGE TO EXISTING TREES. WHEN NECESSARY, TREES AND SHRUB TRIMMING FOR CONSTRUCTION SHALL BE PERFORMED BY CERTIFIED TREE WORKER OR UNDER THE DIRECTION OF A REGISTERED LANDSCAPE ARCHITECT OR CERTIFIED ARBORIST.
- EROSION CONTROL DEVICES SHALL BE INSTALLED ON ALL PROJECTS PRIOR TO BEGINNING CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT THE PROJECT IN A CONDITION ACCEPTABLE TO THE CITY.
- CONTRACTOR SHALL LOCATE AND PROTECT ALL EXISTING LANDSCAPE IRRIGATION SYSTEMS. DAMAGE TO EXISTING IRRIGATION SYSTEMS AND LANDSCAPE MATERIALS SHALL BE RESTORED TO EQUAL OR BETTER CONDITION AT NO COST TO CITY OR CLIENT.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN A NEAT AND ACCURATE RECORD OF CONSTRUCTION FOR THE CLIENT'S AND CITY'S RECORDS.

CONSTRUCTION PLANS FOR SCREENING AND BUFFERING

~SADDLE STAR SOUTH - PH2~

CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

SUBMITTAL DATE: August 24, 2022



LOCATION MAP
NOT TO SCALE

SHEET INDEX	
HS1	OVERALL LAYOUT PLAN
HS2-HS4	HARDSCAPE PLANS
HS5-HS6	HARDSCAPE DETAILS
EX1	BUILDER FENCE EXHIBIT
L1-L6	LANDSCAPE PLANS
L7-L8	LANDSCAPE DETAILS
IR1-IR6	IRRIGATION PLANS
IR7-IR8	IRRIGATION DETAILS

GENERAL LANDSCAPE NOTES:

- INSPECTIONS:**
- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT-CONTACT THE PUBLIC WORKS DEPARTMENT.
 - THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
 - THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

- LANDSCAPE STANDARDS:**
- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
 - UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
 - A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
 - STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
 - THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z601-2014) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
 - TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
 - A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
 - TREE PTS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
 - ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
 - ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
 - NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

- IRRIGATION STANDARDS:**
- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
 - CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
 - IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
 - MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
 - ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
 - VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
 - THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
 - IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES SHALL BE FED FROM STUBBED LATERALS OR BULL HEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
 - NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

- MAINTENANCE STANDARDS:**
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND PROTECTION OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
 - LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
 - NO PLANT MATERIAL SHALL BE ALLOWED TO ENCR OACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
 - TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
 - TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

- TREE PROTECTION NOTES:**
- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
 - ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4") TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
 - PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
 - NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
 - NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
 - VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
 - GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
 - NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
 - ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
 - ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____, _____.
WITNESS OUR HANDS, this ___ day of _____, _____.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

OWNER / DEVELOPER:
SADDLE STAR SOUTH HOLDINGS, LLC
2200 ROSS AVENUE
SUITE 4200W
DALLAS, TEXAS 75201
PH. (972) 716-2900
CONTACT: JOSE CAMPOS

CIVIL ENGINEER:
ENGINEERING CONCEPTS & DESIGN, LP
201 WINDCO CIRCLE
SUITE 200
WYLIE, TEXAS 75098
PH. (972) 941-8400
CONTACT: RYAN KING

LANDSCAPE ARCHITECT:
JOHNSON VOLK CONSULTING
704 CENTRAL PARKWAY EAST, SUITE 1200
PLANO, TEXAS 75074
PH. (972) 201-3100
CONTACT: CODY JOHNSON, RLA, ASLA, LI

CITY OF ROCKWALL
STONE CREEK PHASE VI
CAB. I, PG. 161
P.R.R.C.T.

FEATHERSTONE DR.

STONE CREEK SF, LTD
VOL. 5011, PG. 9
D.R.R.C.T.

L6
IR6

SADDLE STAR
PHASE 3.

HS4
L3
IR3

HS3
L2
IR2

HS2
L1
IR1

L4
IR4

L5
IR5

SADDLE STAR
SOUTH PHASE 2A
LOT CA-4
AMENITY CENTER

L5
IR5

L5
IR5

L5
IR5

L5
IR5

L5
IR5

JOHN KING BLVD.

MIRANDA LANE

ROYS DRIVE

RANDAS WAY

JUDITH DRIVE

LAUREL DRIVE

RANDAS WAY

SARAH DRIVE

EMILY DRIVE

ROCKING H TRAIL

MIRANDA LANE

JOHN KING BLVD.

JANET DR

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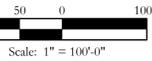
Planning & Zoning Commission, Chairman Director of Planning and Zoning



AUGUST 24, 2022



NORTH



Scale: 1" = 100'-0"

Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

One Inch

SCREENING AND BUFFERING

Overall Layout Plan

Saddle Star South - Phase 2

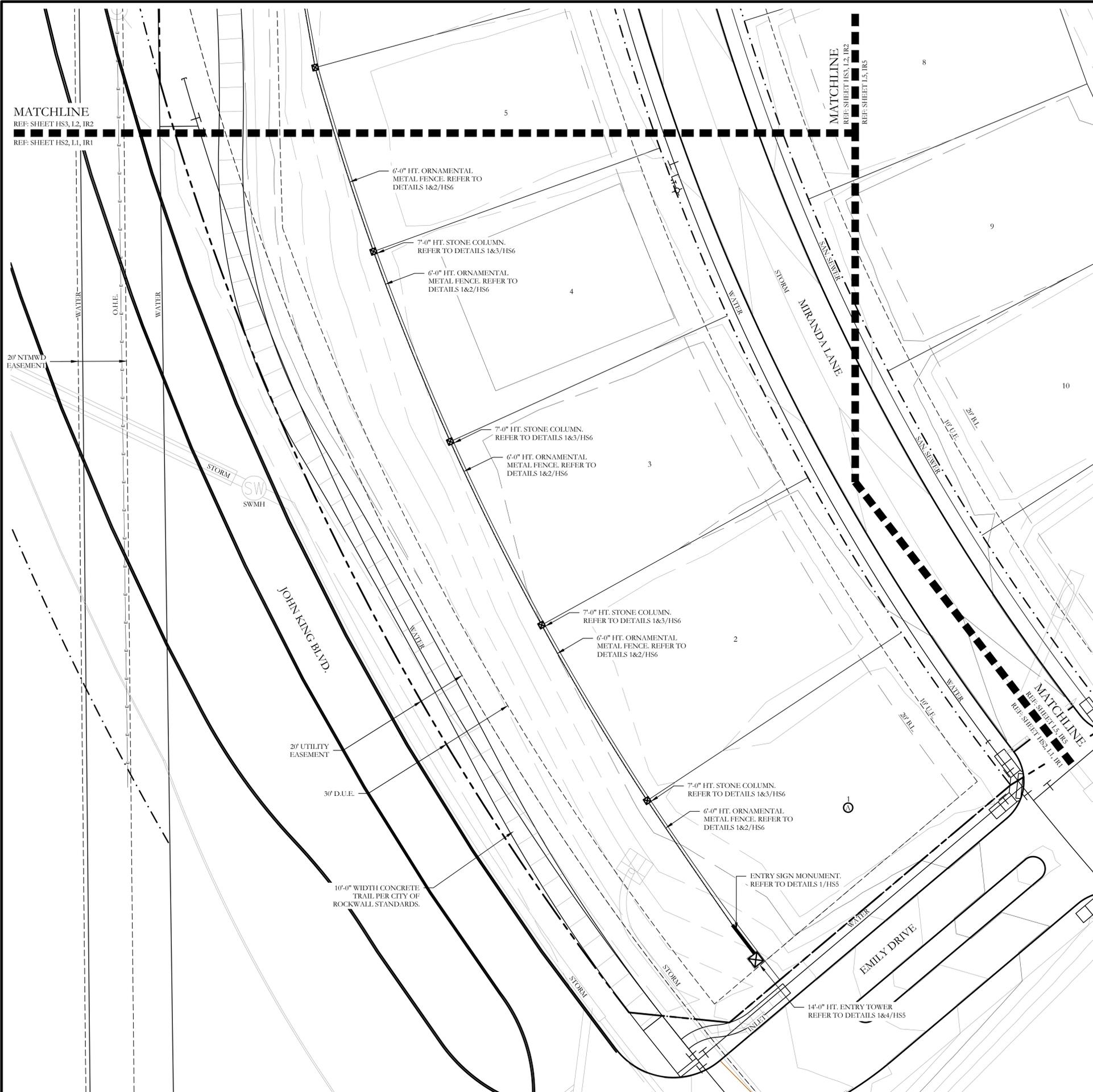
City of Rockwall, Rockwall County, Texas

CJS PROJECT NO.

PAD001C

SHEET NO.

HS1 of 6



HARDSCAPE LEGEND	
	6'-0" HT. ENTRY SIGN WALL. REFER TO DETAILS 1,2&3/HS5.
	14'-0" HT. STONE ENTRY TOWER REFER TO DETAILS 1&4/HS5.
	7'-0" HT. STONE COLUMN. REFER TO DETAILS 1&3/HS6.
	6'-0" HT. ORNAMENTAL METAL FENCE REFER TO DETAILS 1&2/HS6.

JOHNSON VOLK CONSULTING
 TPPELS Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
 701 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

REGISTERED LANDSCAPE ARCHITECT
 CODY L. JOHNSON
 STATE OF TEXAS
 2833
 AUGUST 24, 2022

NORTH

Scale: 1" = 20'-0"

Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.
 One Inch

SCREENING AND BUFFERING
 Hardscape Plans
 Saddle Star South - Phase 2
 City of Rockwall, Rockwall County, Texas

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 Planning & Zoning Commission, Chairman Director of Planning and Zoning

CJS PROJECT NO.
PAD001C

SHEET NO.
HS2 of 6

CITY PROJECT NO. SP2022-055

MATCHLINE
REF: SHEET HS4, L3, IR3
REF: SHEET HS3, L2, IR2

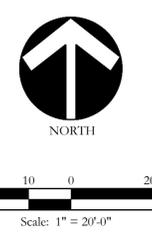
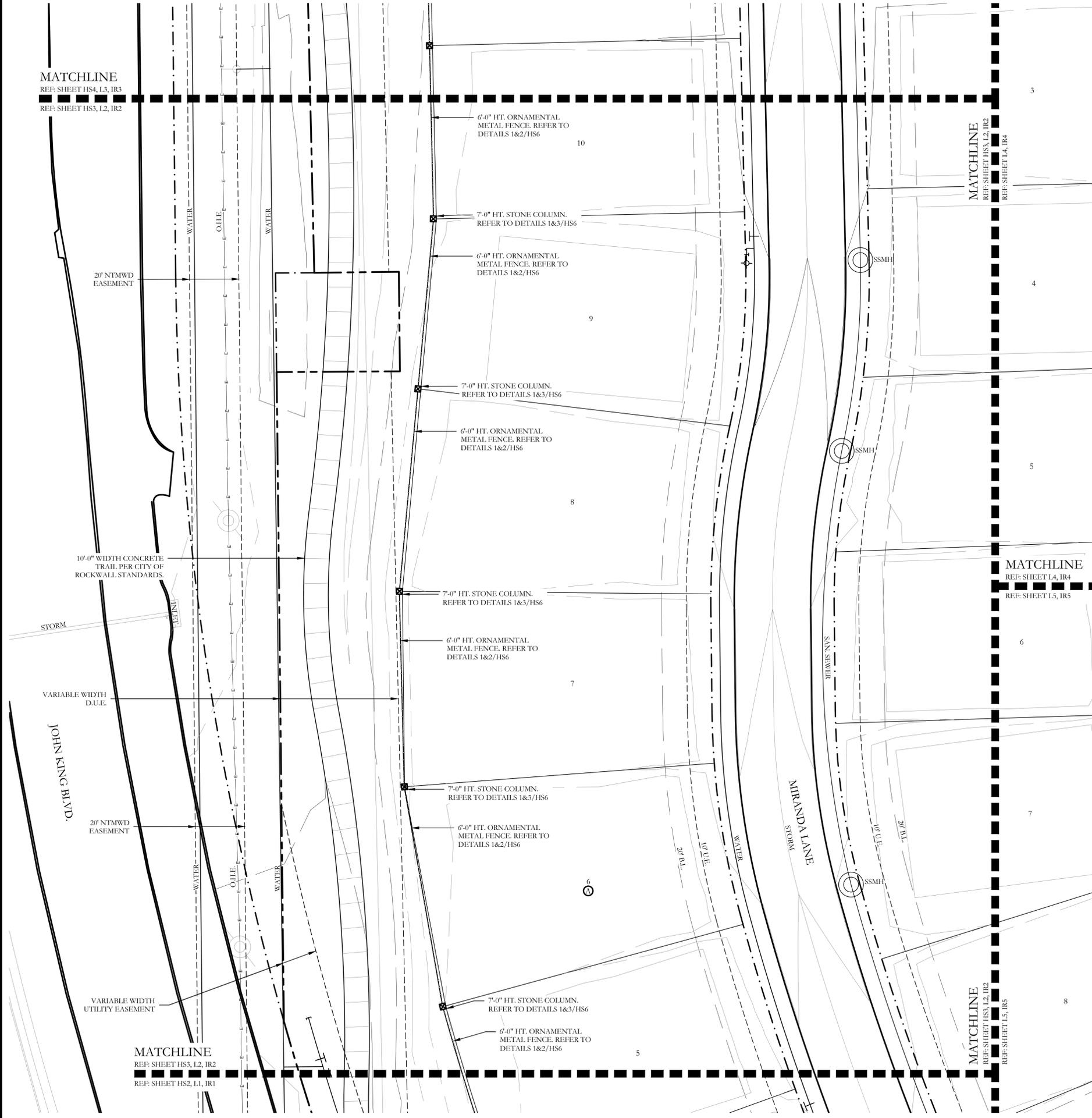
MATCHLINE
REF: SHEET HS3, L2, IR2
REF: SHEET L4, IR4

MATCHLINE
REF: SHEET L4, IR4
REF: SHEET L5, IR5

MATCHLINE
REF: SHEET HS3, L2, IR2
REF: SHEET HS2, L1, IR1

HARDSCAPE LEGEND

-  6'-0" HT. ENTRY SIGN WALL. REFER TO DETAILS 1,2&3/HS5.
-  14'-0" HT. STONE ENTRY TOWER. REFER TO DETAILS 1&4/HS5.
-  7'-0" HT. STONE COLUMN. REFER TO DETAILS 1&3/HS6.
-  6'-0" HT. ORNAMENTAL METAL FENCE. REFER TO DETAILS 1&2/HS6.



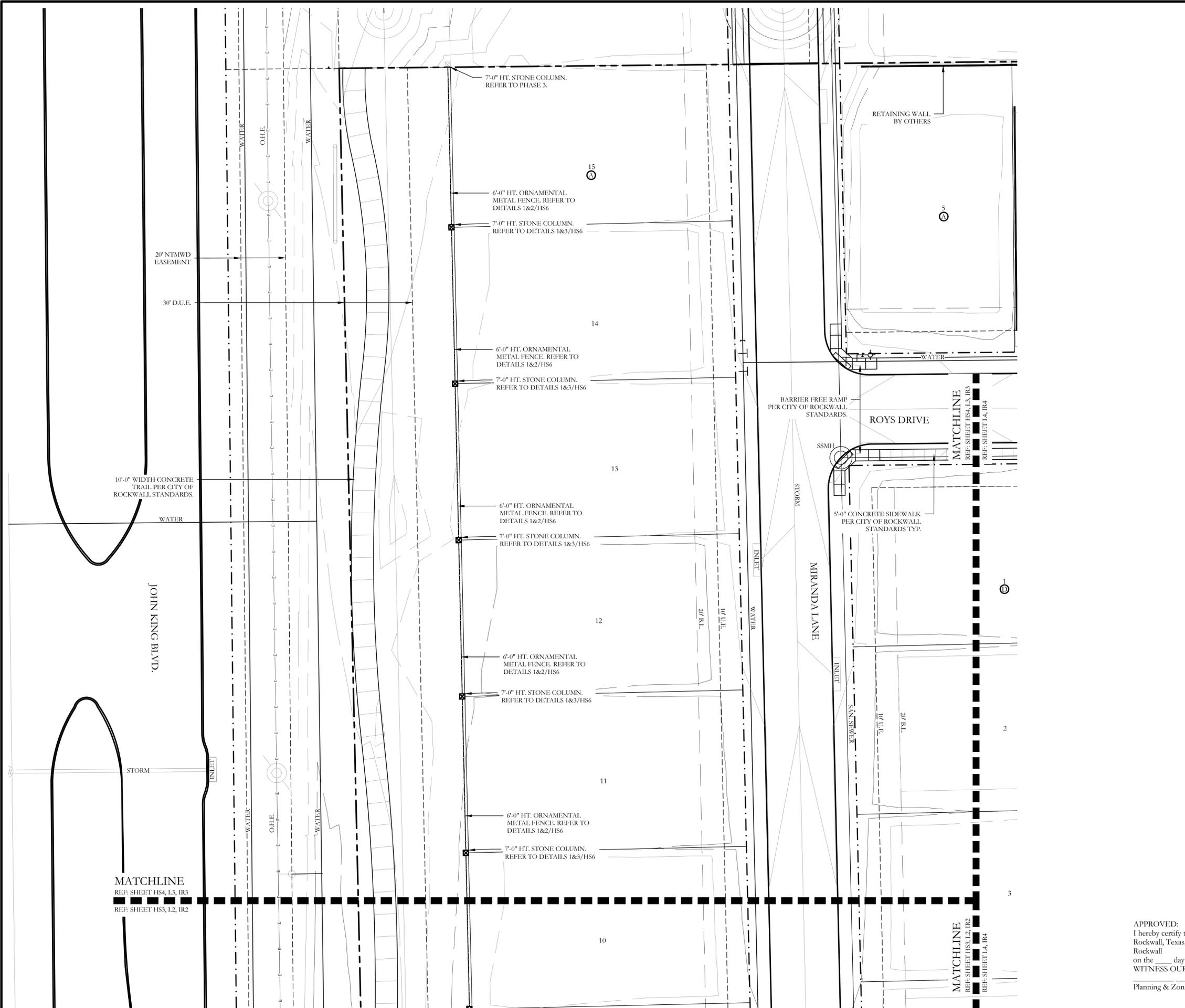
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One Inch

SCREENING AND BUFFERING
Hardscape Plans
Saddle Star South - Phase 2
City of Rockwall, Rockwall County, Texas

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WITNESS OUR HANDS, this ____ day of _____, _____.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

CJS PROJECT NO.
PAD001C
SHEET NO.
HS3 of 6



HARDSCAPE LEGEND	
	6'-0" HT. ENTRY SIGN WALL. REFER TO DETAILS 1,2&3/HS5.
	14'-0" HT. STONE ENTRY TOWER. REFER TO DETAILS 1&4/HS5.
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JOHNSON VOLK CONSULTING
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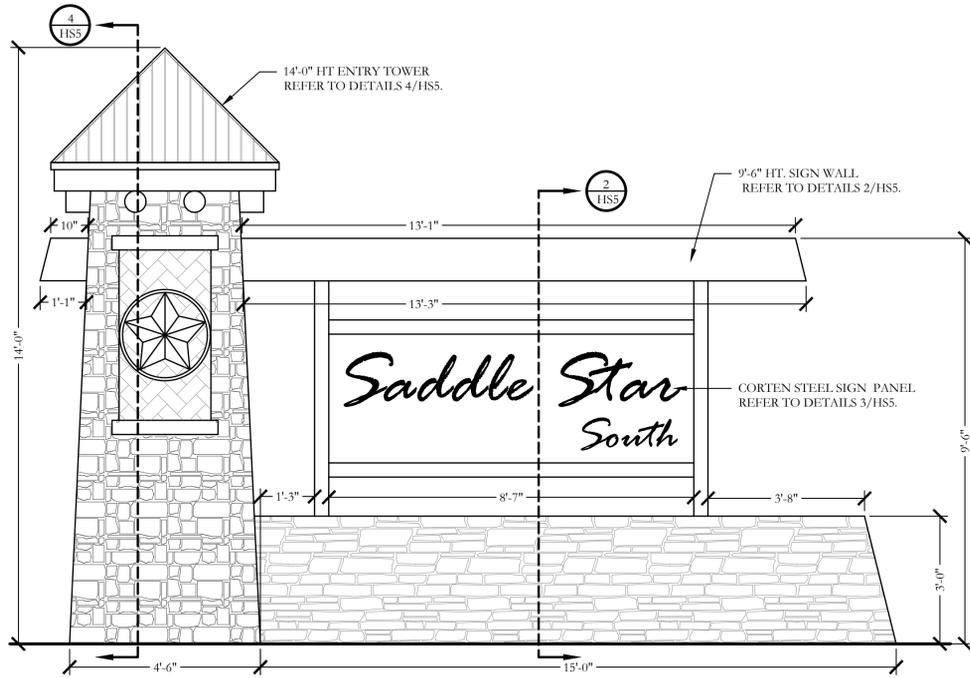
REGISTERED LANDSCAPE ARCHITECT
 CODY L. JOHNSON
 2833
 STATE OF TEXAS
 August 24, 2022

NORTH
 20 10 0 20
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 One Inch

SCREENING AND BUFFERING
 Hardscape Plans
 Saddle Star South - Phase 2
 City of Rockwall, Rockwall County, Texas

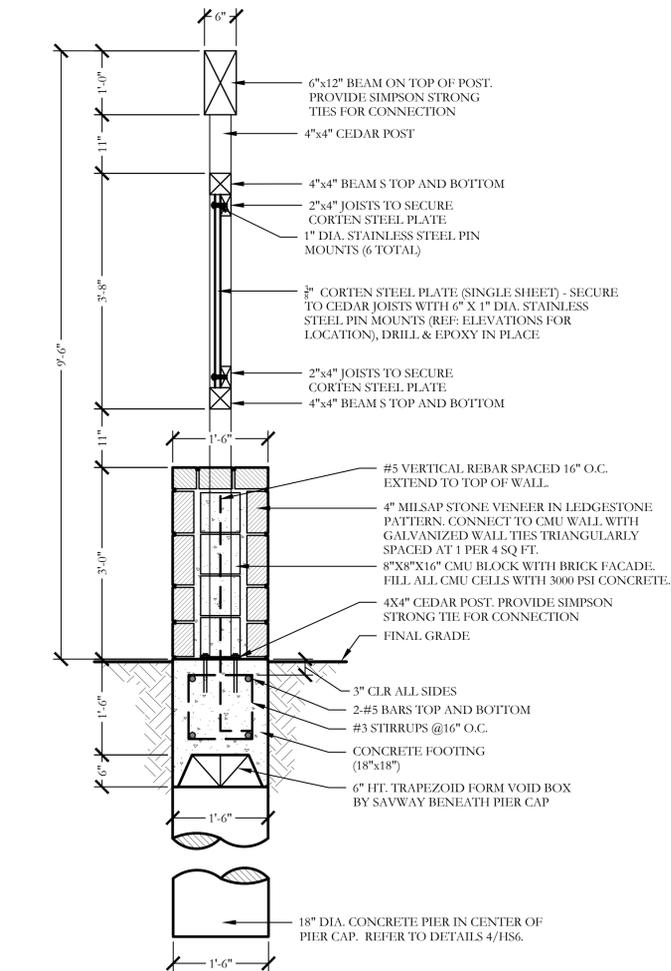
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CJS PROJECT NO.
PAD001C
 SHEET NO.
HS4 of 6



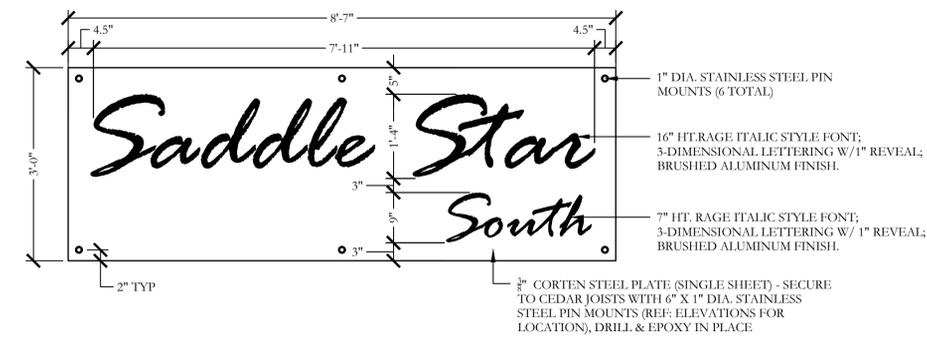
1 ENTRY SIGN MONUMENT
ELEVATION

SCALE: 1/2" = 1'-0"



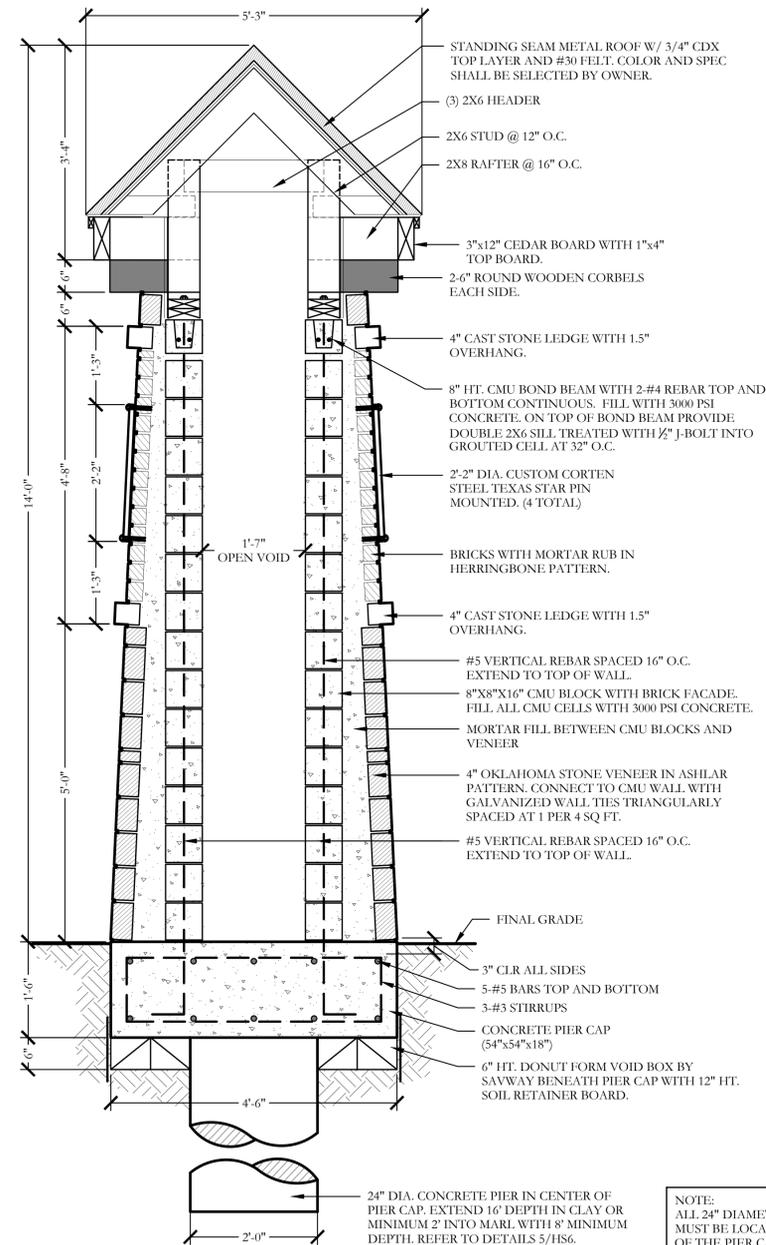
2 9'-6" HT. SIGN WALL
ELEVATION

SCALE: 3/4" = 1'-0"



3 CORTEN STEEL SIGN PANEL
ELEVATION

SCALE: 3/4" = 1'-0"



4 14'-0" HT. STONE ENTRY TOWER
SECTION

NOTE:
ALL 24" DIAMETER CONCRETE PIERS
MUST BE LOCATED IN THE CENTER
OF THE PIER CAP.

SCALE: 3/4" = 1'-0"

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WITNESS OUR HANDS, this _____ day of _____, 2022.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

THESE DOCUMENTS ARE FOR INTERIM REVIEW ONLY AND NOT INTENDED FOR CONSTRUCTION OR BIDDING PURPOSES.

August 24, 2022

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One Inch

SCREENING AND BUFFERING

Hardscape Details

Saddle Star South - Phase 2

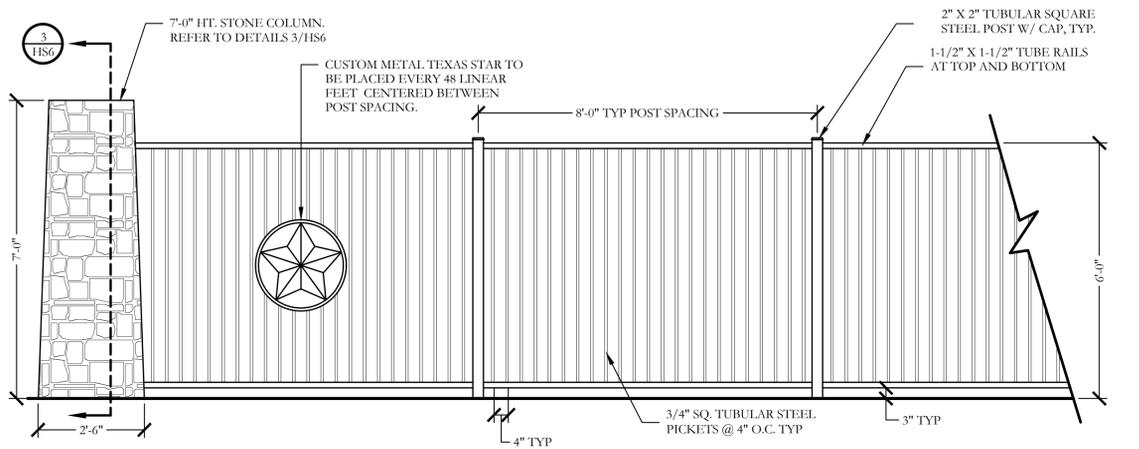
City of Rockwall, Rockwall County, Texas

CJS PROJECT NO.

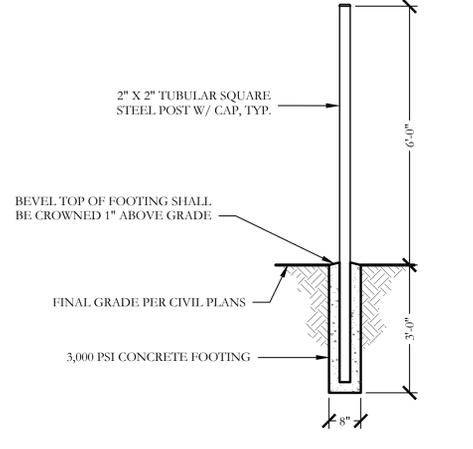
PAD001C

SHEET NO.

HS5 of 6



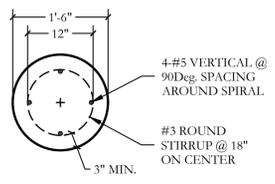
1 7'-0" STONE COLUMN AND 6'-0" ORNAMENTAL METAL FENCE ELEVATION SCALE: 1/2" = 1'-0"



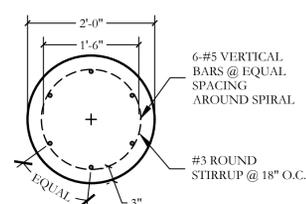
2 TYPICAL METAL POST FOOTING SECTION SCALE: 1/2" = 1'-0"

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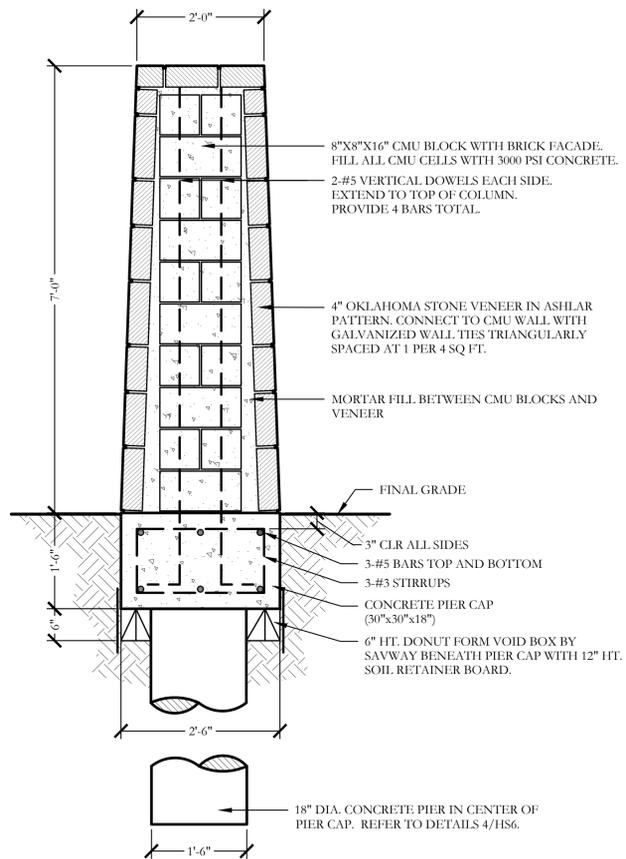
Planning & Zoning Commission, Chairman Director of Planning and Zoning



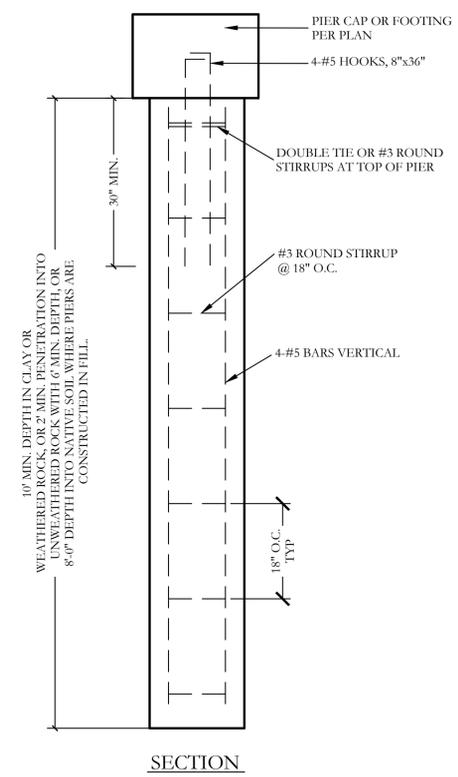
PLAN/SECTION



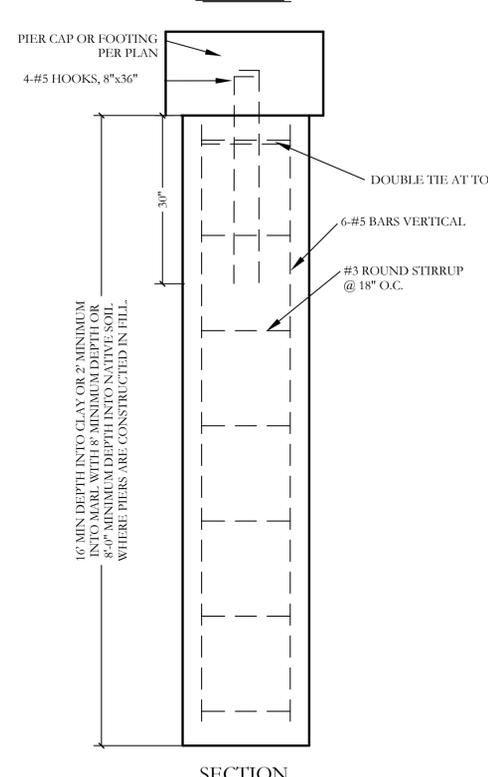
PLAN



3 7'-0" HT. STONE COLUMN SECTION SCALE: 3/4" = 1'-0"



4 PIER (18" DIA.) SECTION SCALE: 3/4" = 1'-0"



5 PIER (24" DIA.) SECTION SCALE: 3/4" = 1'-0"

GENERAL NOTES - HARDSCAPE CONSTRUCTION

- CAST-IN-PLACE CONCRETE**
- ALL CONCRETE SHALL BE 3000 PSI, NORMAL WEIGHT, 28 DAY STRENGTH WITH A 4 TO 6 INCH SLUMP. THE CEMENT SHALL BE TYPE I AND SHALL CONFORM TO ASTM C150. AGGREGATES SHALL CONFORM TO ASTM C33.
 - ALL MIXING, TRANSPORTING, PLACING, AND CURING OF CONCRETE SHALL COMPLY WITH ACI 318.
 - CONCRETE SHALL NOT BE PLACED IN RAINING OR FREEZING WEATHER.
 - CHLORIDES SHALL NOT BE USED.
 - MAXIMUM AGGREGATE SIZE = 1".
- CONCRETE REINFORCING STEEL**
- ALL REINFORCEMENT SHALL CONFORM TO ASTM A615 60 GRADE AND DEFORMED PER ASTM A305. PROVIDE 38 BAR DIAMETER LAP SPLICES FOR ALL CONTINUOUS BARS UNLESS NOTED OTHERWISE.
 - PROVIDE THE FOLLOWING MINIMUM COVER FOR CONCRETE CAST IN PLACE REINFORCEMENT:
 - CONCRETE CAST AGAINST EARTH AND PERMANENTLY EXPOSED TO EARTH: 3 INCHES
 - CONCRETE EXPOSED TO EARTH OR WEATHER:
 - (A) BARS LARGER THAN NO. 5: 2 INCHES
 - (B) BARS NO. 5 AND SMALLER: 1-1/2 INCHES
 - CONCRETE NOT EXPOSED TO EARTH OR WEATHER:
 - 2.3.1.1. (A) BARS, LARGER THAN NO. 11: 1-1/2 INCHES
 - 2.3.1.2. (B) BARS NO. 11 AND SMALLER: 3/4 INCHES
 - 2.3.2. BEAMS AND COLUMNS: 1-1/2 INCHES
 - 2.3.3. SHELLS AND FOLDED PLATES
 - 2.3.3.1. (A) BAR LARGER THAN NO. 5: 3/4 INCHES
 - 2.3.3.2. (B) BARS NO. 5 AND SMALLER: 1/2 INCHES
 - ALL REINFORCING STEEL SHALL BE CLEAN AND FREE OF GREASE.
- DRILLED PIERS**
- PIERS NOT SPECIFICALLY LOCATED ON THE PLAN SHALL BE CENTERED ON WALL OR BEAM.
 - PIER REINFORCING AND CONCRETE SHALL BE PLACED IMMEDIATELY OR TO WITHIN A MAXIMUM OF 8 HOURS AFTER DRILLING IS COMPLETE.
 - STEEL CASING IS REQUIRED WHEN MORE THAN 2 INCHES OF STANDING WATER IS PRESENT AT THE BOTTOM OF THE SHAFTS PRIOR TO PLACEMENT OF STEEL AND CONCRETE.
 - PROVIDE 60 BAR DIAMETER LAP SPLICES IN ALL VERTICAL PIER REINFORCING AS REQUIRED.
 - PROVIDE PIER TO GRADE BEAM DOWELS TO MATCH SIZE, QUANTITY, AND LOCATION OF LONGITUDINAL PIER REINFORCING. MIN DOWEL PROJECTION INTO PIER = 30 BAR DIA. MIN DOWEL PROJECTION INTO BEAM = TOP LONGITUDINAL GRADE BEAM REINFORCING. PROVIDE STANDARD HOOK AT TERMINAL END OF DOWEL IN GRADE BEAM.
- STRUCTURAL CONCRETE MASONRY UNIT**
- CONCRETE MASONRY UNITS SHALL BE HOLLOW LOAD-BEARING TYPE N-1 CONFORMING TO ASTM C90 AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 1900 PSI.
 - CONCRETE MASONRY UNITS SHALL HAVE A MINIMUM PRISM STRENGTH OF 1500 PSI AT 28 DAYS.
 - MORTAR SHALL BE ASTM C270, TYPE S, WITH A MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI IN ACCORDANCE WITH ASTM C780. MASONRY CEMENT IS PROHIBITED.
 - COARSE GROUT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AND A MAXIMUM AGGREGATE SIZE OF 1/2" IN ACCORDANCE WITH ASTM C476. REFER TO DETAILS FOR WALL REINFORCING BAR SIZE AND SPACING.
 - REINFORCE HORIZONTAL JOINTS WITH GALVANIZED LADDER-TYPE STEEL IN ACCORDANCE WITH ANSI/ASTM A82. SIDE AND CROSS RODS SHALL BE 9 GA MINIMUM.
 - HORIZONTAL REINFORCEMENT SHALL BE SPACED AT 16" MAXIMUM. PROVIDE A 16" LAP AT SPLICES.
 - JOINT REINFORCING SHALL BE DISCONTINUOUS AT CONTROL AND EXPANSION JOINTS.
 - LAP VERTICAL REINFORCING BARS AT 72 BAR DIAMETERS.
 - LAP HORIZONTAL REINFORCING BARS AT 48 BAR DIAMETERS.
 - PLACE GROUT USING LOW-LIFT METHOD, 6-8" MAXIMUM LIFTS.

WALL NOTES

- THESE DETAILS AND SPECIFICATIONS ARE APPLICABLE ONLY FOR THE SITE CONDITIONS AND HEIGHTS SHOWN HEREIN. IF CONDITIONS CHANGE FROM THOSE DESCRIBED HEREIN, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY TO DETERMINE THE EFFECT, IF ANY, ON THE STRUCTURAL DESIGN AND LAYOUT.
- THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
- ALL EARTHWORK SHALL BE PERFORMED AS INDICATED IN THE GEOTECHNICAL INVESTIGATION. PROPER EXECUTION OF EARTHWORK SHALL BE VERIFIED BY AN INDEPENDENT TESTING LAB.
- PRE-POUR OBSERVATION OF FOOTINGS, BEAMS, AND PIERS IS RECOMMENDED BY OR UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER.
- ALL CONCRETE USED IN FOOTINGS AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS. CONCRETE USED IN COLUMNS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
- ALL REINFORCING SHALL BE NEW BILLET STEEL, ASTM A615, GRADE 60 EXCEPT STIRRUPS SHALL BE GRADE 40 AND SPIRALS SHALL BE ASTM A82, GRADE 60.
- CONCRETE FOR DRILLED PIERS SHALL BE POURED WITHIN 8 HOURS OF DRILLING PIER HOLES. REFER TO DETAILS FOR TYPE AND SIZE OF STONING AND REINFORCEMENT.
- ALL MORTAR TO BE TYPE S; MORTAR COLOR TO BE SELECTED BY OWNER. MASONRY CEMENT WILL NOT BE ALLOWED.
- ALL MORTAR JOINTS ARE TO BE 3/8" CONCAVE TOOLED JOINTS.
- STONE AND BRICK VENEER MATERIAL SHALL BE SELECTED BY OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS, APPLICABLE FEES, AND CITY INSPECTIONS.
- LAYOUT OF THE PROPOSED SCREENING WALL SHALL BE PERFORMED IN THE FIELD BY THE OWNERS REPRESENTATIVE AND THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION.
- THE WALL STONE MATERIAL & PATTERN SHALL BE SELECTED BY OWNER AS NOTED ON LAY STONE COURSE LEVEL, AND SHARP EDGES, AND SHALL BE INSTALLED LEVEL, PLUMB, AND SQUARE.
- CLEAN STONEMWORK PROMPTLY AFTER COMPLETION WITH FIBER BRUSHES, CLEAN WATER OR APPROVED CLEANING AGENT. DO NOT USE WIRE BRUSHES OR ACID TYPE CLEANING AGENTS.
- THE CONTRACTOR SHALL PROVIDE A 4' X 4' MOCKUP OF THE STONE AND BRICK SCREEN WALL FOR THE OWNERS REVIEW PRIOR TO BEGINNING THE STONE WORK. THE APPROVED "MOCKUP" SHALL SERVE AS THE STANDARD FOR THE STONEMWORK ON THE PROJECT.
- THE CONTRACTOR SHALL OBTAIN A PERMIT FOR ALL WALL CONSTRUCTION AND SECURE ALL NECESSARY INSPECTIONS AND CERTIFICATIONS REQUIRED.

ORNAMENTAL METAL FENCE NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
- ALL CONCRETE USED IN FOOTING AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND TOWN INSPECTIONS.
- ALL ORNAMENTAL METAL TUBES, POSTS, RAILS AND PICKETS SHALL BE FLUSH AND FREE OF ALL DENTS, SPURS, AND SHARP EDGES, AND SHALL BE INSTALLED LEVEL, PLUMB, AND SQUARE.
- PROVIDE CONTINUOUS WELDS ALONG ALL EDGES OF FENCE MEMBERS.
- GRIND SMOOTH ALL WELDS.
- ALL METAL SURFACES SHALL BE PRIMED AND PAINTED WITH TWO COATS OF RUSTPROOF PAINT, COLOR TO BE FLAT BLACK. CONTRACTOR TO SUBMIT SAMPLES AS REQUIRED.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS BEFORE MANUFACTURING GATES AND FENCE. GATE LOCKING MECHANISM SHALL BE SELECTED BY OWNER.
- ALL ORNAMENTAL METAL FENCE MEMBERS ARE TO BE TUBULAR MEMBERS IN ACCORDANCE WITH ASTM 513 HOT ROLLED STRUCTURAL STEEL 50,000 PSI TENSILE STRENGTH, 60,000 PSI YIELD STRENGTH.
- FENCE MEMBER SIZES TO BE AS FOLLOWS:
 - 10.1. PICKETS, 3/4" SQUARE 16 GA.
 - 10.2. RAILS, 1-1/2" X 1/2" SQUARE 16 GA.
 - 10.3. POSTS, 2" SQUARE 11 GA.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL FENCE GATES AND OPENERS. SHOP DRAWINGS SHALL INCLUDE ALL PRODUCT CUT SHEETS AS WELL AS INSTALLATION AND MANUFACTURING DETAILS. CONTRACTOR TO BE RESPONSIBLE FOR STRUCTURAL DESIGN OF GATES.
- CONCRETE FOOTING FOR POSTS SHALL BE 3X POST WIDTH FOR 2" SQUARE POSTS AND 2X POST WIDTH FOR 6" SQUARE POSTS.
- POSTS SHALL BE PLACED AT A MINIMUM DISTANCE OF 6'-0" O.C. AND A MAXIMUM DISTANCE OF 8'-0" O.C.
- FENCE SHALL MEET LOCAL CODES AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE INCLUDING NECESSARY UPSIZING OF POSTS, PICKETS AND HORIZONTAL BARS AND INCREASING THE HEIGHT OF THE FENCE AS IT APPEARS IN THIS DETAIL AT NO ADDITIONAL COST TO THE OWNER FOR MATERIALS AND/OR LABOR.

THESE DOCUMENTS ARE FOR INTERIM REVIEW ONLY AND NOT INTENDED FOR CONSTRUCTION OR BIDDING PURPOSES.

August 24, 2022

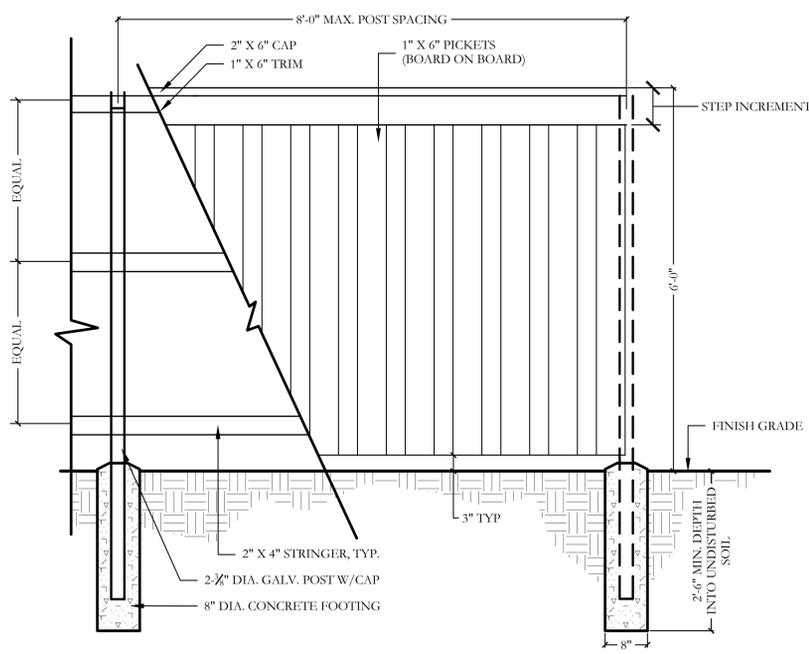
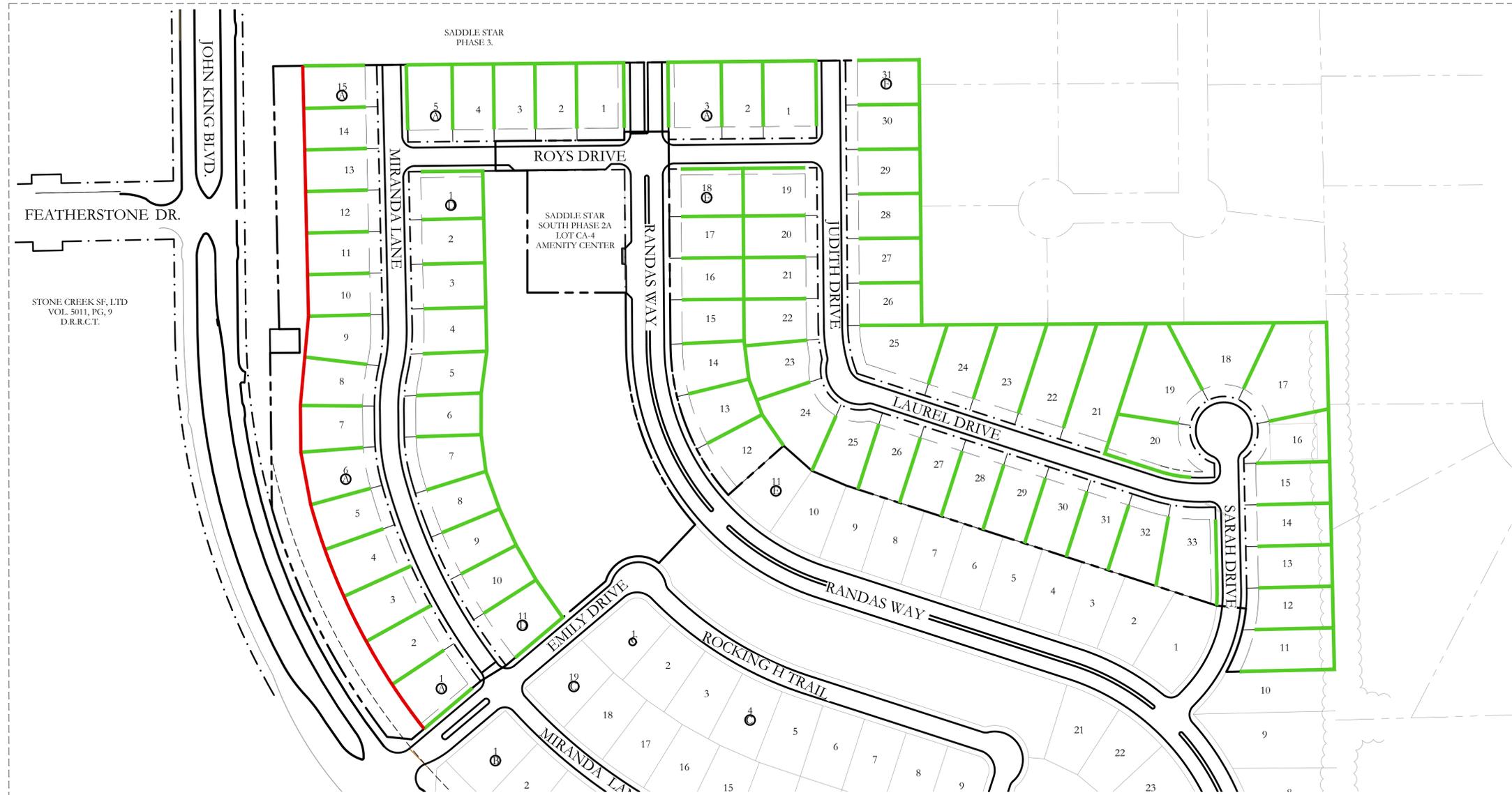
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SCREENING AND BUFFERING
Hardscape Details
Saddle Star South - Phase 2
City of Rockwall, Rockwall County, Texas

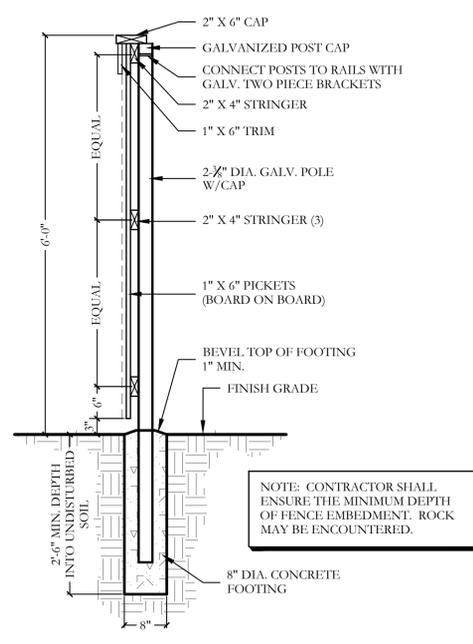
CJS PROJECT NO. PAD001C
SHEET NO. HS6 of 6

CALLOUTS LEGEND:

- 6'-0" HT. ORNAMENTAL METAL FENCE AND COLUMNS BY DEVELOPER.
- 6'-0" HT. WOOD FENCE BY HOME BUILDER.



1 PARTIAL 6'-0" HT. WOOD FENCE ELEVATION
SCALE: 3/4"=1'-0"



2 6'-0" HT. WOOD FENCE SECTION
SCALE: 3/4"=1'-0"

NOTE: CONTRACTOR SHALL ENSURE THE MINIMUM DEPTH OF FENCE EMBEDMENT. ROCK MAY BE ENCOUNTERED.

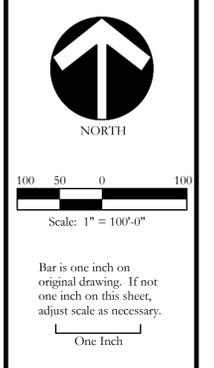
NOTE: FENCES IN THE REAR LOTS OF YARDS NOT ADJACENT TO OPEN SPACE OR RIGHT OF WAY CAN ELIMINATE THE TOP CAP.

WOOD FENCE NOTES

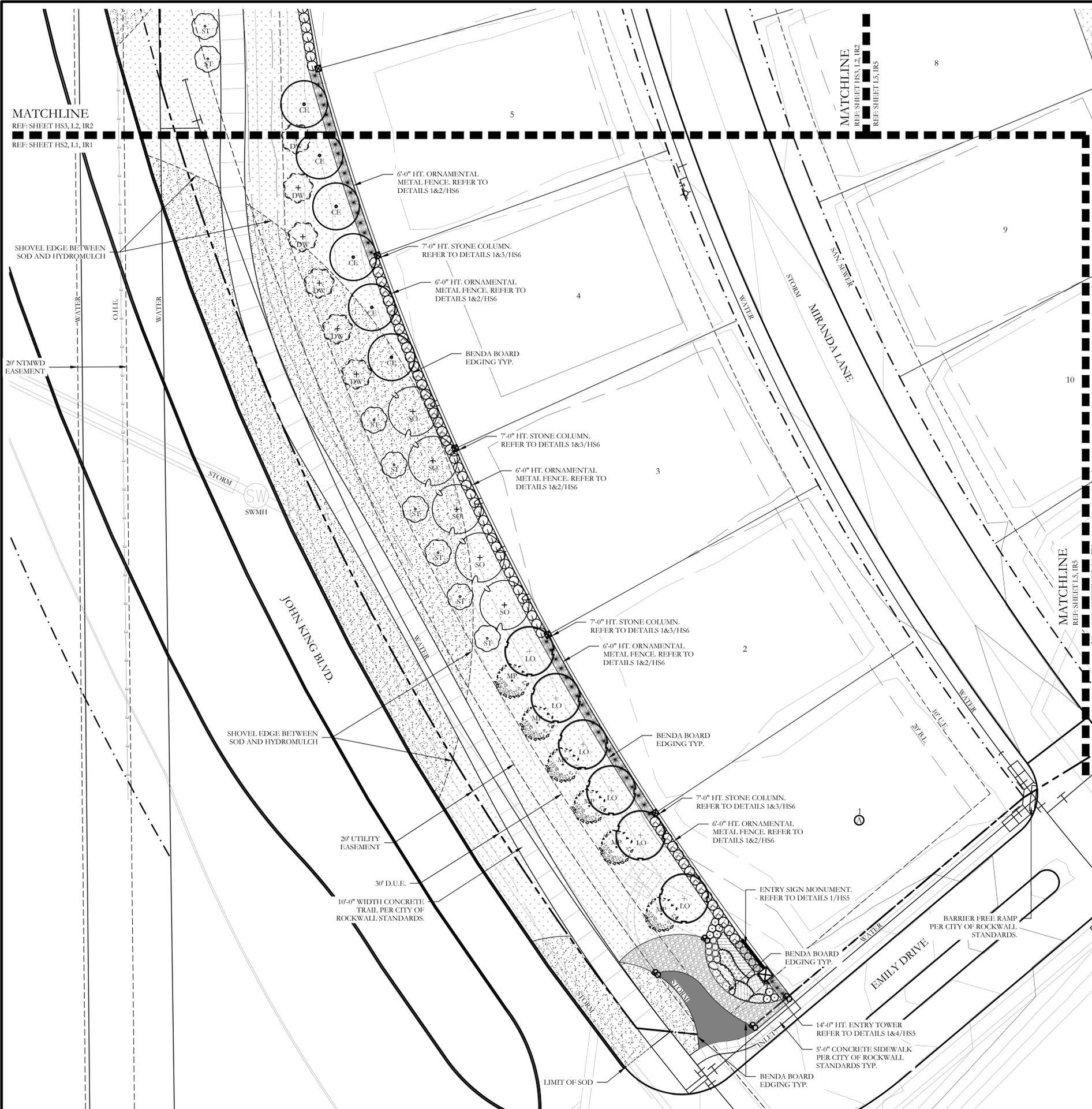
1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES VERIFY LOCATION OF ALL UTILITIES WITH THE TOWN AND VARIOUS UTILITY COMPANIES BEFORE DRILLING PIERS.
2. ALL CONCRETE USED IN FOOTINGS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI @ 28 DAYS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY AND REQUIRED PERMITS AND INSPECTIONS. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ROCKWALL CODES AND REQUIREMENTS.
4. WOOD MATERIAL FOR FENCE:
 - 4.1. STRINGERS-CEDAR, #2 GRADE OR BETTER.
 - 4.2. PICKETS-CEDAR, #2 GRADE OR BETTER.
 - 4.3. CAPS-CEDAR, #2 GRADE OR BETTER.
5. ALL FENCE POST TO BE SCHEDULE 40 - GALVANIZED.
6. ALL FASTENERS, NAILS, BRACKETS, STEEL POSTS, ETC. ARE TO BE HOT DIPPED GALVANIZED.
7. ALL PICKETS ARE TO BE FASTENED TO THE RAILS USING GALVANIZED SCREWS, STAPLES AND/OR NAILS WILL NOT BE ALLOWED. SCREW WITHOUT SPLITTING MEMBERS; DRILL PILOT HOLES IF NECESSARY. ALL SPLIT MEMBERS WILL BE REQUIRED TO BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
8. ACCURATELY CUT, FIT FASTEN MEMBERS, MAKE PLUMB, LEVEL, TRUE, AND RIGID. DO NOT SPLICE INDIVIDUAL FRAMING MEMBERS BETWEEN SUPPORTS. ERECT FACES OF FRAMING MEMBERS IN STRAIGHT EVEN PLANES TO RECEIVE FINISH MATERIALS. INSTALL STRINGERS WITH BOTTOM EDGES FREE OF DEFECTS. MITER ALL EXPOSED FINISHED JOINTS.
9. REMOVE ALL MARKS, STAMPS, DIRT, LOOSE FIBERS FROM ALL WOOD SURFACES.
10. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
11. ALL WOOD FENCE MEMBERS TO RECEIVE TWO COATS OF PREMIUM STAIN OR MARINE GRADE PAINT; FINISH AND COLOR TO BE SELECTED BY OWNER.
12. WHERE REQUIRED BY GRADE THE FENCE SHALL BE STEPPED IN INCREMENTS EQUAL TO THE FINISH DIMENSION OF THE TOP TRIM AND CAP.

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, ____.
WITNESS OUR HANDS, this ____ day of _____, ____.

Planning & Zoning Commission, Chairman Director of Planning and Zoning



SCREENING AND BUFFERING
Builder Fence Exhibit
Saddle Star South - Phase 2
City of Rockwall, Rockwall County, Texas



PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	MP	MEXICAN PLUM	PRUNUS MEXICANA	2" CALIPER	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
	ST	SMOKE TREE	COTINUS COGGYGRIA	2" CALIPER	AS SHOWN
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	5 GALLON	48" O.C.
		EDWARD GOUCHER ABELLA	ABELIA GRANDIFLORA 'EDWARD GOUCHER'	5 GALLON	48" O.C.
		'DALLAS BLUES' SWITCHGRASS	PANICUM VIRGATUM 'DALLAS BLUES'	5 GALLON	36" O.C.
		INDIAN HAWTHORN 'SNOW'	RHAPHIOLEPIS INDICA 'SNOW'	5 GALLON	36" O.C.
		'LITTLE SPIRE' RUSSIAN SAGE	PEROVSKIA 'LITTLE SPIRE'	5 GALLON	36" O.C.
		RED YUCCA	HESPERALOE PARVIFLORA	5 GALLON	36" O.C.
		QUEEN VICTORIA AGAVE	AGAVE VICTORIAE REGINAE	5 GALLON	36" O.C.
		MAUVE WALLFLOWER	ERYSIMUM 'BOWLES MAUVE'	1 GALLON	24" O.C.
		TAM JUNIPER	JUNIPERUS SABINA 'TAMARISCIFOLIA'	3 GALLON	36" O.C.
		WEEPING LOVE GRASS	ERAGROSTIS CURVULA	1 GALLON	18" O.C.
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		LAVENDER COTTON	SANTOLINA CHAMAECYPARISSUS	1 GALLON	24" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		COMMON BERMUDA HYDROMULCH	CYNODON DACTYLON	SQUARE FEET	HYDROMULCH
		BEE HAPPY MIX	BY NATIVE AMERICAN SEED CO	SQUARE FEET	HYDROMULCH
		BLACK STAR CRUSHED GRANITE	3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/4" DIAMETER
		TEXAS RIVER ROCK; MIX OF TANS, BROWNS, GRAYS, AND PINKS	3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1.2" AND 2.4"
		OKLAHOMA MOSS ROCK BOULDERS	BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED.	50 LB - 250 LB	FIELD LOCATE ALL BOULDER MASSES

NOTE:
REFER TO CIVIL GRADING PLANS FOR THE PROPOSED BERM HEIGHTS ALONG JOHN KING BOULEVARD.

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WITNESS OUR HANDS, this ____ day of _____, _____.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

JOHNSON VOLK CONSULTING
TBEPLS Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
701 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

CODY L. JOHNSON
2893
AUGUST 24, 2022

NORTH

Scale: 1" = 20'-0"

Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

One Inch

SCREENING AND BUFFERING

Landscape Plan

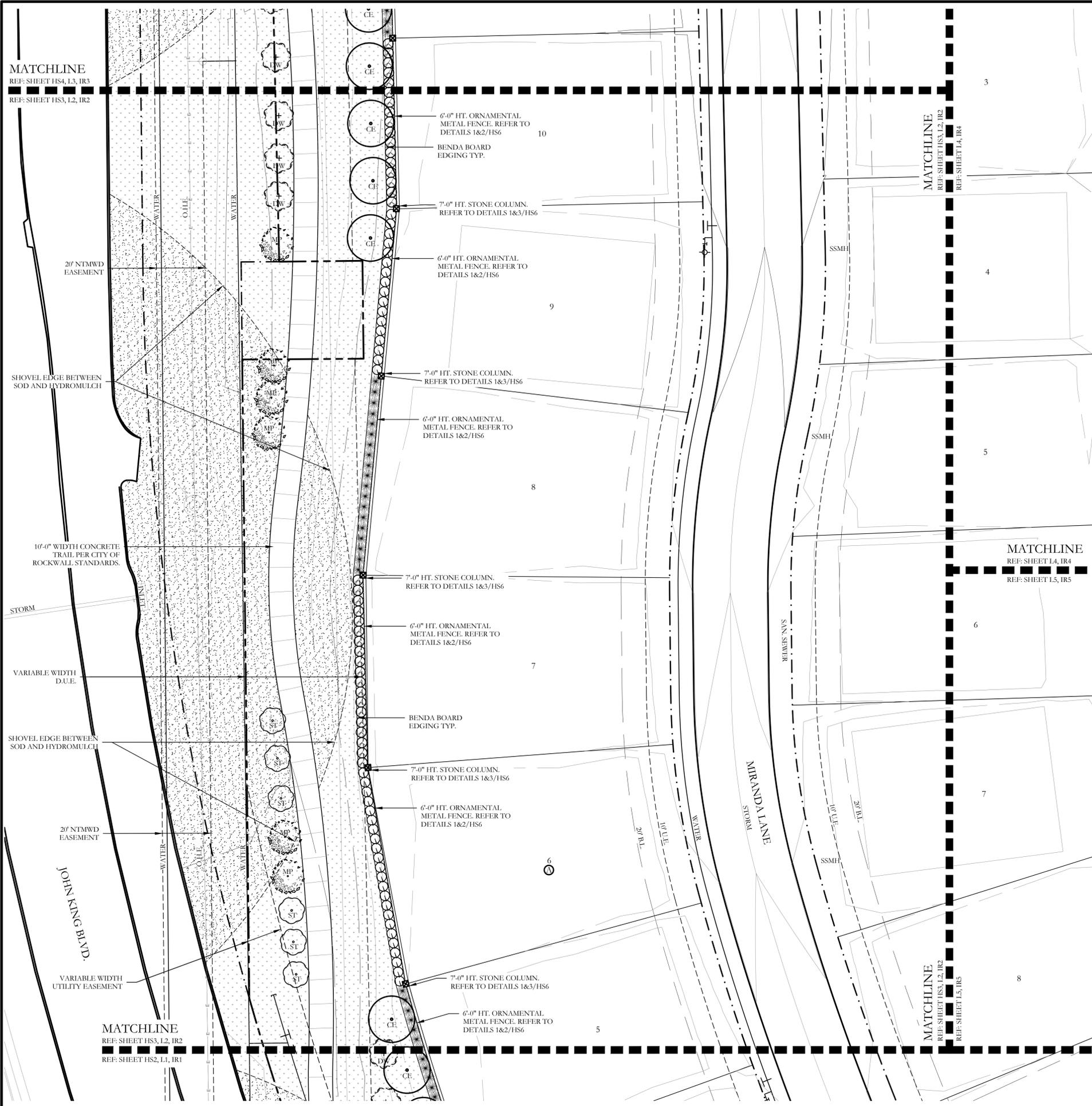
Saddle Star South - Phase 2

City of Rockwall, Rockwall County, Texas

CJS PROJECT NO. PAD001C

SHEET NO. L1 of 8

CITY PROJECT NO. SP2022-055

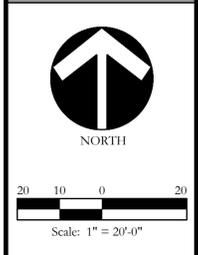


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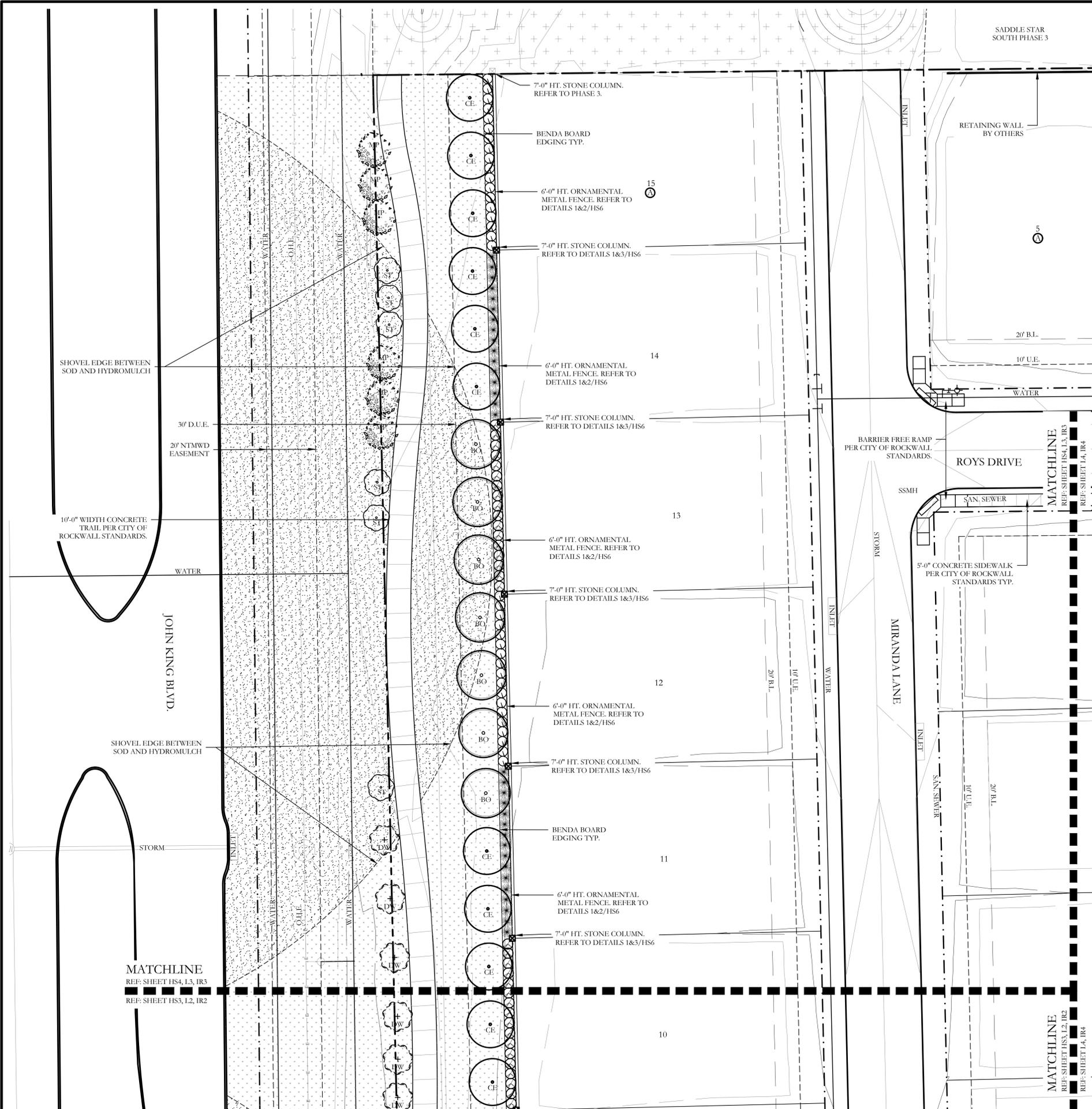
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		COMMON BERMUDA HYDROMULCH	CYNODON DACTYLON	SQUARE FEET	HYDROMULCH
		BEE HAPPY MIX	BY NATIVE AMERICAN SEED CO	SQUARE FEET	HYDROMULCH
		BLACK STAR CRUSHED GRANITE	3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/4" DIAMETER
		TEXAS RIVER ROCK, MIX OF TANS, BROWNS, GRAYS, AND PINKS	3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" AND 2-4"
		OKLAHOMA MOSS ROCK BOULDERS	BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED.	50 LB - 250 LB	FIELD LOCATE ALL BOULDER MASSES

NOTE:
REFER TO CIVIL GRADING PLANS FOR THE PROPOSED BERM HEIGHTS ALONG JOHN KING BOULEVARD.

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2022.
WITNESS OUR HANDS, this _____ day of _____, 2022.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

JOHNSON VOLK CONSULTING
 TBP&S Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
 701 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

August 24, 2022

NORTH

Scale: 1" = 20'-0"

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One Inch

SCREENING AND BUFFERING

Landscape Plan

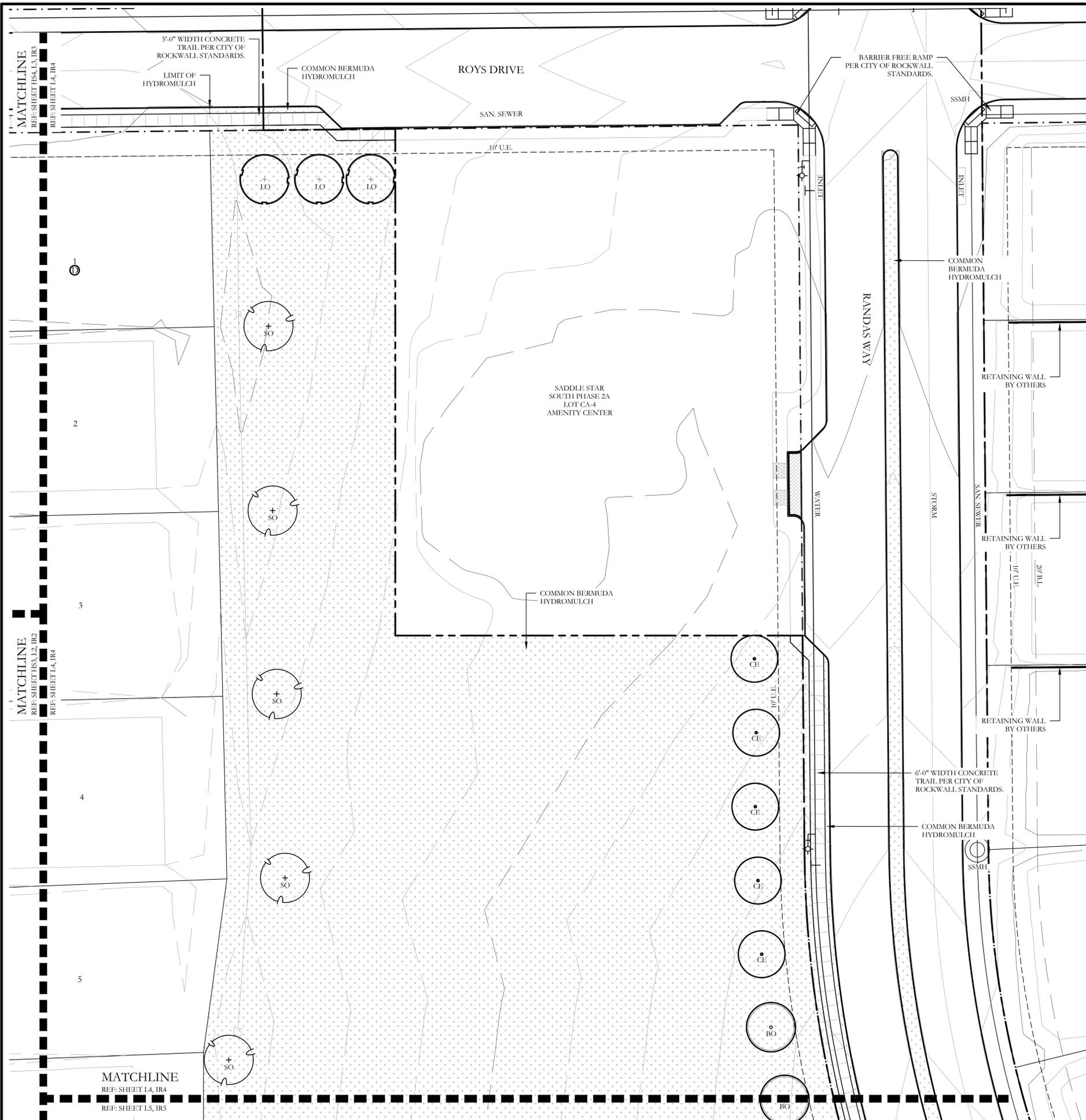
Saddle Star South - Phase 2

City of Rockwall, Rockwall County, Texas

CJS PROJECT NO. PAD001C

SHEET NO. L3 of 8

CITY PROJECT NO. SP2022-055



PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	MP	MEXICAN PLUM	PRUNUS MEXICANA	2" CALIPER	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
	ST	SMOKE TREE	COTINUS COGGYGRIA	2" CALIPER	AS SHOWN
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	5 GALLON	48" O.C.
		EDWARD GOUCHER ABELIA	ABELIA GRANDIFLORA 'EDWARD GOUCHER'	5 GALLON	48" O.C.
		'DALLAS BLUES' SWITCHGRASS	PANICUM VIRGATUM 'DALLAS BLUES'	5 GALLON	36" O.C.
		INDIAN HAWTHORN 'SNOW'	RHAPHIOLEPIS INDICA 'SNOW'	5 GALLON	36" O.C.
		'LITTLE SPIRE' RUSSIAN SAGE	PEROVSKIA 'LITTLE SPIRE'	5 GALLON	36" O.C.
		RED YUCCA	HESPERALOE PARVIFLORA	5 GALLON	36" O.C.
		QUEEN VICTORIA AGAVE	AGAVE VICTORIAE REGINAE	5 GALLON	36" O.C.
		MAUVE WALLFLOWER	ERYSIMUM 'BOWLES MAUVE'	1 GALLON	24" O.C.
		TAM JUNIPER	JUNIPERUS SABINA 'TAMARISCIFOLIA'	3 GALLON	36" O.C.
		WEEPING LOVE GRASS	ERAGROSTIS CURVULA	1 GALLON	18" O.C.
		DWARF SHASTA DAISY	LEUCANTHEMUM X SUPERBUM	1 GALLON	24" O.C.
		LAVENDER COTTON	SANTOLINA CHAMAECYPARISSUS	1 GALLON	24" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		COMMON BERMUDA HYDROMULCH	CYNODON DACTYLON	SQUARE FEET	HYDROMULCH
		BEE HAPPY MIX	BY NATIVE AMERICAN SEED CO	SQUARE FEET	HYDROMULCH
		BLACK STAR CRUSHED GRANITE	3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/4" DIAMETER
		TEXAS RIVER ROCK; MIX OF TANS, BROWNS, GRAYS, AND PINKS	3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" AND 2-4"
		OKLAHOMA MOSS ROCK BOULDERS	BURY BOTTOM THIRD OF BOULDER IN LANDSCAPE BED.	50 LB - 250 LB	FIELD LOCATE ALL BOULDER MASSES

NOTE:
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WITNESS OUR HANDS, this ____ day of _____, _____.

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JOHNSON VOLK CONSULTING
TBP&LS Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
701 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

REGISTERED LANDSCAPE ARCHITECT
CODY L. JOHNSON
2893
STATE OF TEXAS
August 24, 2022

NORTH

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One Inch

SCREENING AND BUFFERING

Landscape Plan

Saddle Star South - Phase 2

City of Rockwall, Rockwall County, Texas

CJS PROJECT NO. PAD001C

SHEET NO. L4 of 8

CITY PROJECT NO. SP2022-055

MATCHLINE
 REF: SHEET L4, IR4
 REF: SHEET L5, IR5

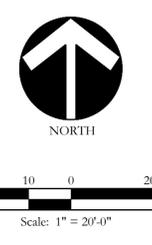


PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
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	ST	SMOKE TREE	COTINUS COGGYGRIA	2" CALIPER	AS SHOWN
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		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
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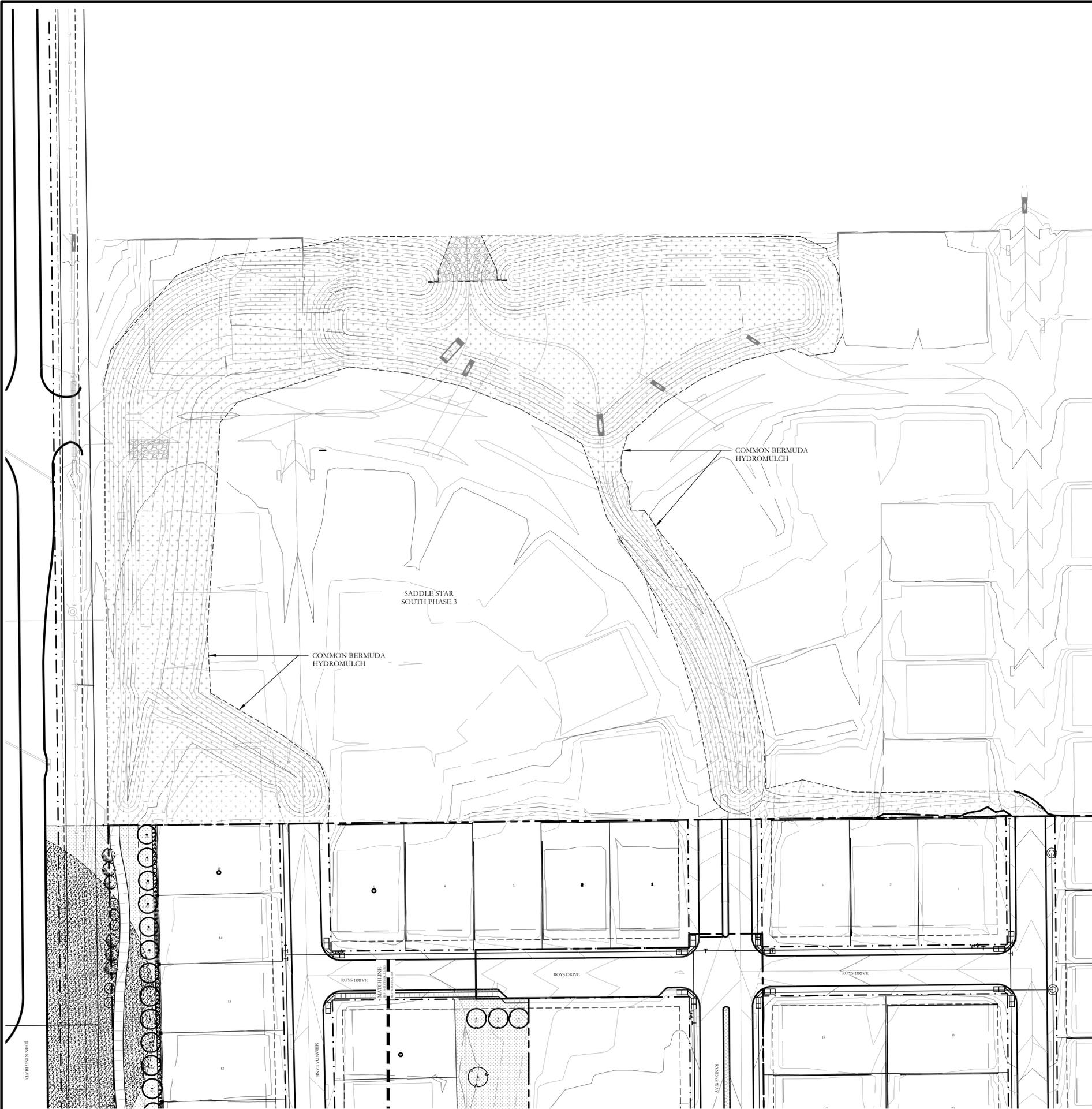


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SCREENING AND BUFFERING
 Landscape Plan
 Saddle Star South - Phase 2
 City of Rockwall, Rockwall County, Texas

CJS PROJECT NO.
PAD001C
 SHEET NO.
L5 of 8

CITY PROJECT NO. SP2022-055



PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
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		BEE HAPPY MIX	BY NATIVE AMERICAN SEED CO	SQUARE FEET	HYDROMULCH
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August 24, 2022

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SCREENING AND BUFFERING

Landscape Plan

Saddle Star South - Phase 2

City of Rockwall, Rockwall County, Texas

CJS PROJECT NO. PAD001C

SHEET NO. L6 of 8

CITY PROJECT NO. SP2022-055

LANDSCAPE PROVIDED

JOHN KING BOULEVARD
 MINIMUM TWENTY (50) FOOT LANDSCAPE EDGE PROVIDED
 10' SIDEWALK WITHIN LANDSCAPE BUFFER PROVIDED.
 3 - 4" CAL. CANOPY TREE & 4 ACCENT TREES / 100 LF OF LINEAR FRONTAGE
 1,200 LF OF FRONTAGE / 100 LF = 36 - 4" CAL. TREES & 48 ACCENT TREES REQUIRED.
 PROVIDED: 36 - 4" CALIPER CANOPY TREES & 48 ACCENT TREES PROVIDED
 MIN 30" HT. SHRUBBERY PROVIDED ALONG LENGTH OF STREET FRONTAGE.

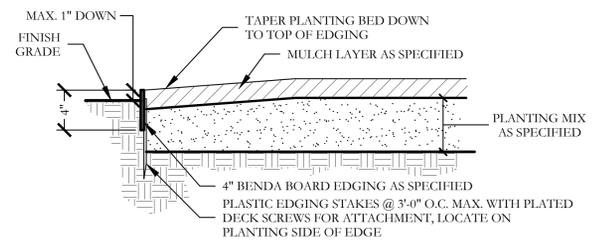
PRIVATE LOTS
 PER PD-79, EACH PRIVATE LOT MUST HAVE TWO LOT TREES IN THE FRONT
 YARD, AND CORNER LOTS MUST HAVE FOUR LOT TREES.

PLANT LIST

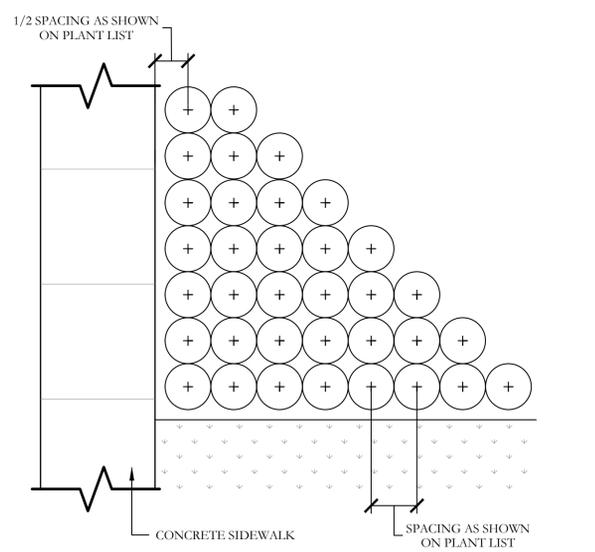
KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	15	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
SO	18	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
BO	12	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CE	23	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
MP	18	MEXICAN PLUM	PRUNUS MEXICANA	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 4'-0" OVERALL HEIGHT.
DW	12	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 4'-0" OVERALL HEIGHT.
ST	18	SMOKE TREE	COTINUS COGGYGRIA	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 4'-0" OVERALL HEIGHT.
	97	TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	5 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	89	EDWARD GOUCHER ABELIA	ABELIA GRANDIFLORA 'EDWARD GOUCHER'	5 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	93	DALLAS BLUE SWITCHGRASS	PANICUM VERGATUM 'DALLAS BLUES'	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	5	INDIAN HAWTHORN SNOW	RHAPHIOLEPIS INDICA 'SNOW'	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	7	LITTLE SPIRE RUSSIAN SAGE	PEROVSKIA 'LITTLE SPIRE'	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	8	RED YUCCA	HESPERALOE PARVIFLORA	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	3	QUEEN VICTORIA AGAVE	AGAVE VICTORIAE REGINAE	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	12	MAUVE WALLFLOWER	ERYSIMUM 'BOWLES MAUVE'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
	8	TAM JUNIPER	JUNIPERUS SABINA 'TAMARISCOFOLIA'	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	43	WEEPING LOVE GRASS	ERAGROSTIS CURVULA	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	13	DWARF SHASTA DAISY	LEUCANTHEMUM X SUPERBUM	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
	5	LAVENDER COTTOM	SANTOLINA CHAMAECYPARISSUS	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
	56,340	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	342,209	COMMON BERMUDA HYDROMULCH	CYNODON DACTYLON	SQUARE FEET	HYDROMULCH	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	36,384	BEE HAPPY MIX	BY NATIVE AMERICAN SEED CO.	SQUARE FEET	HYDROMULCH	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	556	BLACK STAR CRUSHED GRANITE	3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	1/2" DIAMETER	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	692	TEXAS RIVER ROCK, MIX OF TANS, BROWNS, GRAYS, AND PINKS	3" DEPTH MINIMUM WITH DEWITT 4.1 OZ FILTER FABRIC BENEATH ROCK	SQUARE FEET	EQUAL COMBINATION OF 1-2" AND 2-4"	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	4	OKLAHOMA MOSS ROCK BOULDERS	BURY BOTTOM 1/3RD OF BOULDER IN LANDSCAPE BED.	TONS	FIELD LOCATE	50 LB - 250 LB PER BOULDER

GENERAL LANDSCAPE NOTES

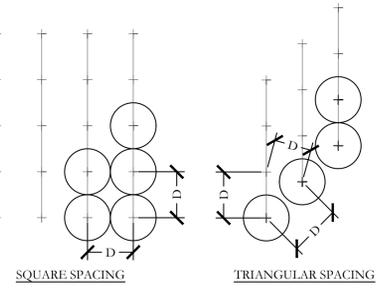
- INSPECTIONS:**
- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT-CONTACT THE PUBLIC WORKS DEPARTMENT.
 - THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
 - THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.
- LANDSCAPE STANDARDS:**
- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC ROW VISIBILITY REQUIREMENTS.
 - UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
 - A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
 - STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
 - THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
 - TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
 - A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
 - TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
 - ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
 - ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
 - NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.
- IRRIGATION STANDARDS:**
- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
 - CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
 - IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
 - MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
 - ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
 - VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
 - THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
 - IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES, SHALL BE FED FROM STUBBED LATERALS OR BULL-HEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
 - NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.
- MAINTENANCE STANDARDS:**
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
 - LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
 - NO PLANT MATERIAL SHALL BE ALLOWED TO ENCRONCH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
 - TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
 - TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).
- TREE PROTECTION NOTES:**
- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
 - ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4) TALL, BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
 - PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
 - NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
 - NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
 - VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
 - GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
 - NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
 - ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
 - ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



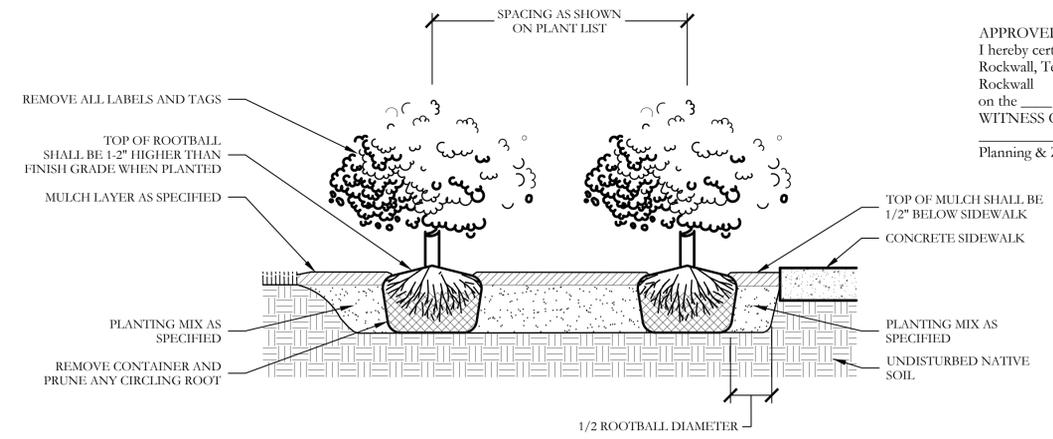
1 TYPICAL BED EDGING DETAIL SECTION
 NOT TO SCALE



2 TYPICAL SHRUB AND GROUNDCOVER PLANTING PLAN/SECTION
 NOT TO SCALE

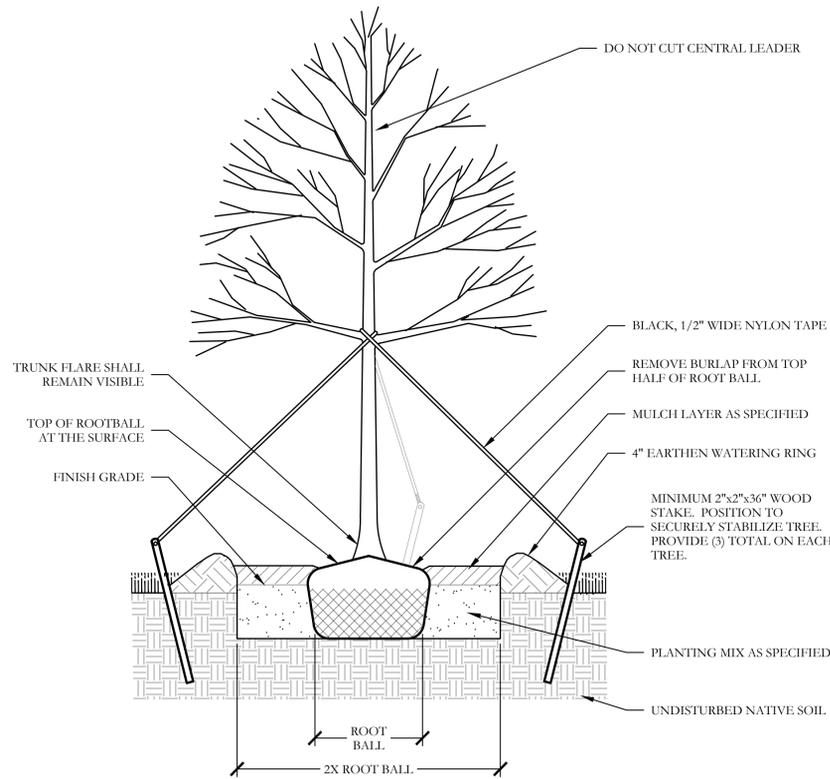


NOTE:
 1. TRIANGULAR SPACING IS PREFERRED. USE SQUARE SPACING ONLY IN SMALL RECTILINEAR AREAS.
 2. "D" EQUALS THE SPACING DISTANCE AS SPECIFIED ON THE PLANT LEGEND.

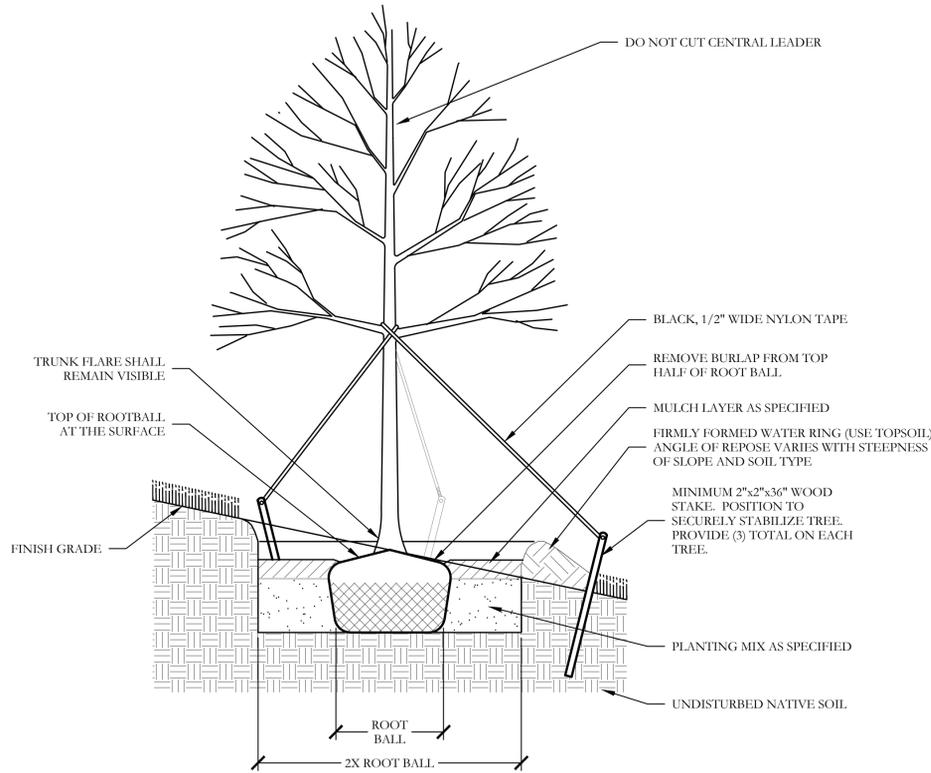


APPROVED:
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 WITNESS OUR HANDS, this ___ day of ___, 20__.

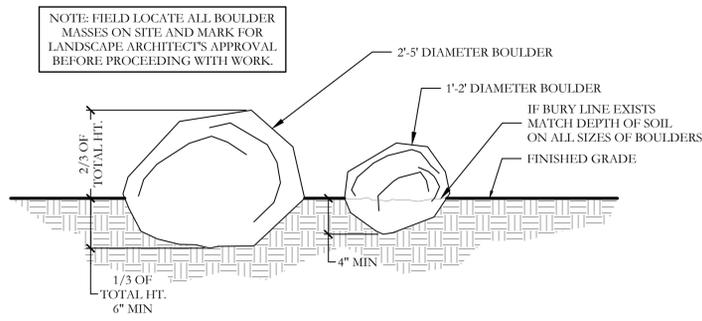
 Planning & Zoning Commission, Chairman Director of Planning and Zoning



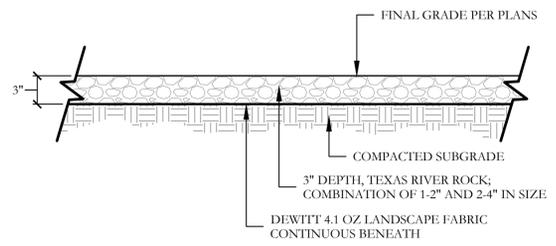
1 TYPICAL TREE PLANTING SECTION NOT TO SCALE



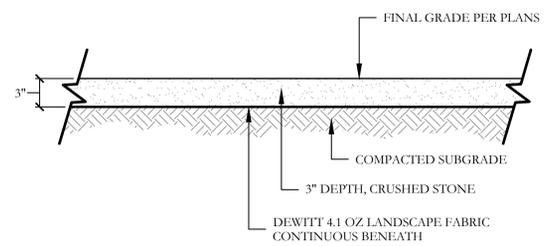
3 TYPICAL TREE PLANTING ON SLOPE SECTION NOT TO SCALE



2 LANDSCAPE BOULDER DETAIL SECTION NOT TO SCALE



4 TEXAS RIVER ROCK BED SECTION SCALE: 1\"/>



5 CRUSHED STONE DETAILS SECTION SCALE: 1\"/>

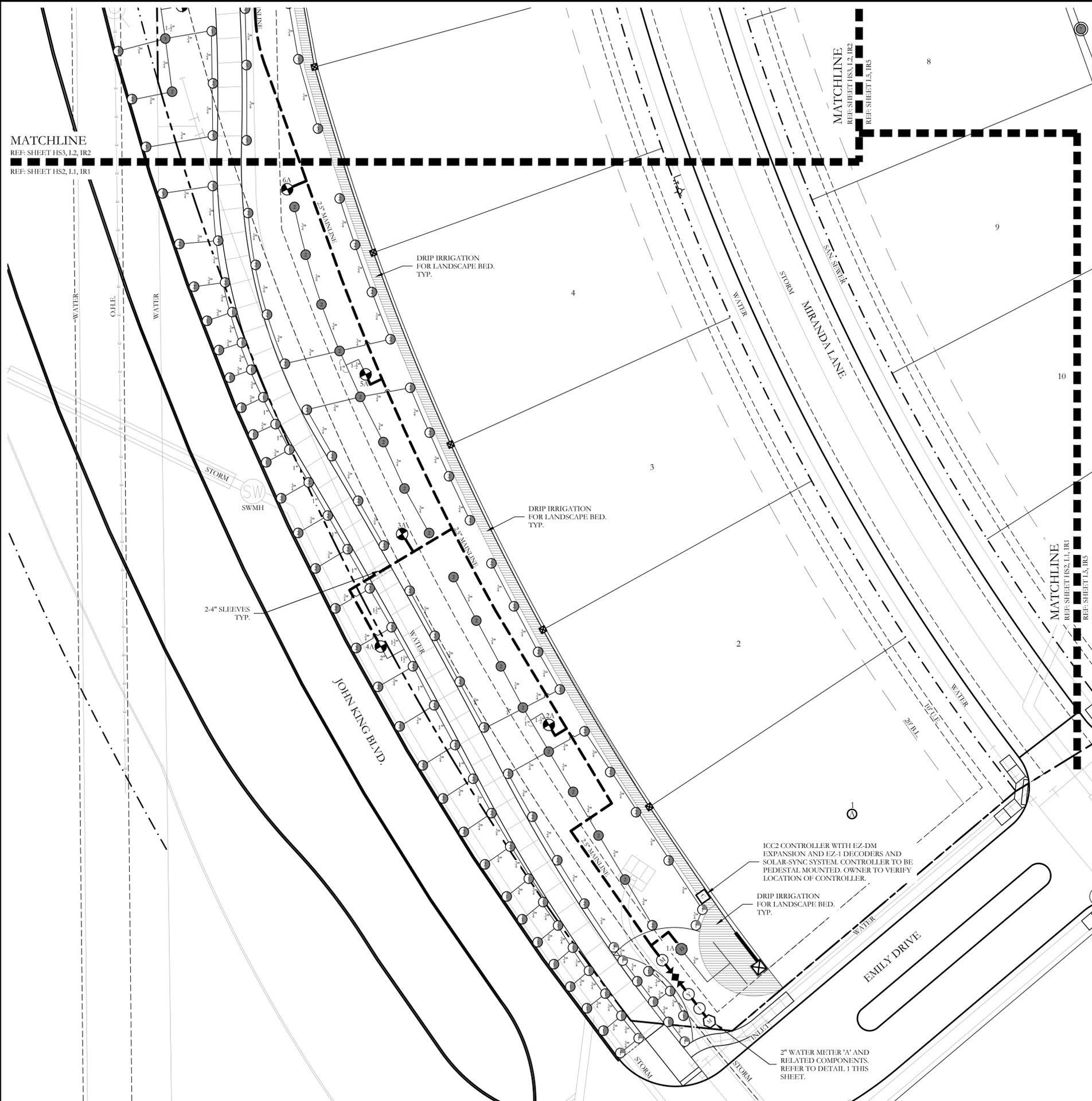
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 One Inch

SCREENING AND BUFFERING
 Landscape Details
 Saddle Star South - Phase 2
 City of Rockwall, Rockwall County, Texas

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 WITNESS OUR HANDS, this ____ day of _____, _____.

 Planning & Zoning Commission, Chairman Director of Planning and Zoning

CJS PROJECT NO.
PAD001C
 SHEET NO.
L8 of 8



IRRIGATION LEGEND AND SCHEDULE

SYM	DESCRIPTION	MANUFACTURER	MODEL	SIZE / NOZZLE
C	AUTOMATIC CONTROLLER	HUNTER	IC2 (TWO-WIRE)	N/A
CV	DRIP IRRIGATION CONTROL VALVE	HUNTER	ICZ-101	1"
PLD-06-18	DRIP IRRIGATION (LANDSCAPE BEDS)	HUNTER	PLD-06-18	N/A
PLD-06-12	DRIP IRRIGATION (TURF BEDS)	HUNTER	PLD-06-12	N/A
	TEMPORARY IRRIGATION	N/A	N/A	N/A
AFB-ADJ	DRIP IRRIGATION	HUNTER	AFB-ADJ BUBBLER (0.5 GPM EACH BUBBLER)	1/2"
ICV-101G / ICV-151G	REMOTE CONTROL VALVE	HUNTER	ICV-101G / ICV-151G	REFER TO PLAN FOR SIZE
MP ROTATOR	LAWN MP ROTATOR	HUNTER	MP ROTATOR	MP1000, MP2000, MP3000, MP3500
PGP SERIES	ROTOR HEAD	HUNTER	PGP SERIES	#5 NOZZLE QUARTER #7 NOZZLE HALF #10 NOZZLE FULL
PGP SERIES	ROTOR HEAD	HUNTER	PGP SERIES	#2 NOZZLE QUARTER #4 & 5 NOZZLE HALF #7 NOZZLE FULL
M	WATER METER	---	PER CITY	REFER TO PLAN FOR SIZE
FEBCO	DOUBLE CHECK VALVE	FEBCO	850-BV Series	REFER TO PLAN FOR SIZE
NIBCO	ISOLATION VALVE	NIBCO	*T-113	LINE SIZE
FEBCO	WYE STRAINER	FEBCO	*850	REFER TO PLAN FOR SIZE
HUNTER	MASTER VALVE	HUNTER	ICV-101G / ICV-151G	REFER TO PLAN FOR SIZE
---	IRRIGATION SLEEVE	---	SCH. 40 w/ 12 GA. PULL WIRE IN SLEEVE	REFER TO PLAN FOR SIZE
---	IRRIGATION MAIN LINE	---	SCH. 40	REFER TO PLAN FOR SIZE
---	IRRIGATION LATERAL LINE	---	CLASS 200	REFER TO PLAN FOR SIZE

- ← PROGRAM AND STATION NUMBER FOR AUTOMATIC CONTROLLER
- ← VALVE SIZE IN INCHES
- ← GALLONS PER MINUTE, PER VALVE

REFER TO SHEET IR7 FOR FULL IRRIGATION LEGEND AND SCHEDULE

NOTE: ALL LATERAL LINES SHALL BE 3/4" CLASS 200 PVC UNLESS OTHERWISE NOTED ON PLANS.

ZONE VALVES LABELED AS "OPEN" ARE INTENDED FOR THE USE OF SUPPLYING HUNTER AFB-ADJ TREE BUBBLERS ON EACH PROPOSED TREE. IRRIGATION CONTRACTOR SHALL FIELD VERIFY THAT THESE ZONES DO NOT EXCEED 20 GALLONS PER MINUTE. THE IRRIGATION CONTRACTOR SHALL STAKE EACH TREE BUBBLER HEAD LOCATION AND RECEIVE APPROVAL FROM THE OWNER AND/OR THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

VALVE LEGEND A

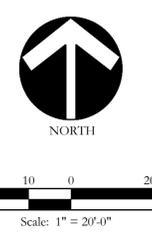
1A	2A	3A	4A	5A	6A
DRIP	1.5" V	OPEN	1.5" V	1.5" V	OPEN
2.56	28.72	<20.00	35.00	24.16	<20.00
7A	8A	9A	10A	11A	12A
1.5" V	1.5" V	1.5" V	DRIP	OPEN	1.5" V
35.62	23.80	28.96	19.36	<20.00	21.40
13A	14A	15A	16A	17A	18A
1.5" V	1.5" V	OPEN	1.5" V	2" V	OPEN
36.40	28.80	<20.00	27.20	41.76	<20.00
19A					
1.5" V					
26.60					

- ← 2" WATER METER BY OTHER TRADES
- ← 1.5" ISOLATION VALVE
- ← 1.5" WYE STRAINER
- ← 1.5" DOUBLE CHECK ASSEMBLY
- ← 2" MASTER VALVE
- ← 2.5" MAINLINE

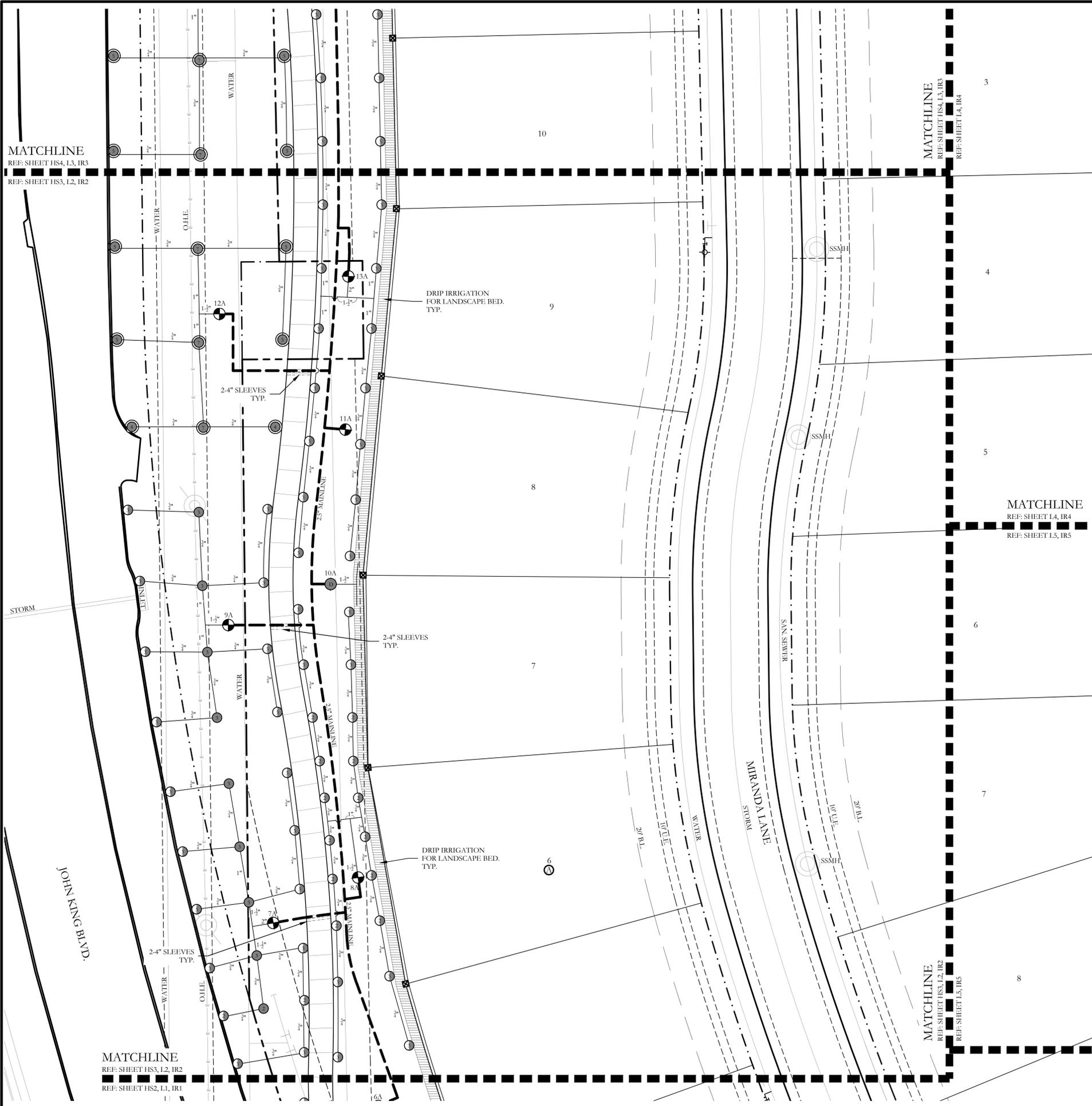
1 BACKFLOW AND RELATED COMPONENTS NOT TO SCALE

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WITNESS OUR HANDS, this ____ day of _____, 2022.

Planning & Zoning Commission, Chairman Director of Planning and Zoning



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One Inch



IRRIGATION LEGEND AND SCHEDULE

SYM	DESCRIPTION	MANUFACTURER	MODEL	SIZE / NOZZLE
[C]	AUTOMATIC CONTROLLER	HUNTER	IC2 (TWO-WIRE)	N/A
[V]	DRIP IRRIGATION CONTROL VALVE	HUNTER	ICZ-101	1"
[L]	DRIP IRRIGATION (LANDSCAPE BEDS)	HUNTER	PLD-06-18	N/A
[T]	DRIP IRRIGATION (TURF BEDS)	HUNTER	PLD-06-12	N/A
[TR]	TEMPORARY IRRIGATION	N/A	N/A	N/A
[B]	DRIP IRRIGATION	HUNTER	AFB-ADJ BUBBLER (0.5 GPM EACH BUBBLER)	1/2"
[RV]	REMOTE CONTROL VALVE	HUNTER	ICV-101G ICV-151G	REFER TO PLAN FOR SIZE
[R]	LAWN MP ROTATOR	HUNTER	MP ROTATOR	MP1000, MP2000, MP3000, MP3500
[RH1]	ROTOR HEAD	HUNTER	PGP SERIES	#5 NOZZLE QUARTER #7 NOZZLE HALF #10 NOZZLE FULL
[RH2]	ROTOR HEAD	HUNTER	PGP SERIES	#2 NOZZLE QUARTER #4 & 5 NOZZLE HALF #7 NOZZLE FULL
[M]	WATER METER	---	PER CITY	REFER TO PLAN FOR SIZE
[D]	DOUBLE CHECK VALVE	FEBCO	850-BV Series	REFER TO PLAN FOR SIZE
[I]	ISOLATION VALVE	NIBCO	*T-113	LINE SIZE
[Y]	WYE STRAINER	FEBCO	*850	REFER TO PLAN FOR SIZE
[MV]	MASTER VALVE	HUNTER	ICV-101G ICV-151G	REFER TO PLAN FOR SIZE
[S]	IRRIGATION SLEEVE	---	SCH. 40 w/ 12 GA. PULL WIRE IN SLEEVE	REFER TO PLAN FOR SIZE
[ML]	IRRIGATION MAIN LINE	---	SCH. 40	REFER TO PLAN FOR SIZE
[LL]	IRRIGATION LATERAL LINE	---	CLASS 200	REFER TO PLAN FOR SIZE

- PROGRAM AND STATION NUMBER FOR AUTOMATIC CONTROLLER
- VALVE SIZE IN INCHES
- GALLONS PER MINUTE, PER VALVE

REFER TO SHEET IR7 FOR FULL IRRIGATION LEGEND AND SCHEDULE

NOTE:
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VALVE LEGEND A

1A DRIP 2.56	2A 1.5" V 28.72	3A OPEN <20.00	4A 1.5" V 35.00	5A 1.5" V 24.16	6A OPEN <20.00
7A 1.5" V 35.62	8A 1.5" V 23.80	9A 1.5" V 28.96	10A DRIP 19.36	11A OPEN <20.00	12A 1.5" V 21.40
13A 1.5" V 36.40	14A 1.5" V 28.80	15A OPEN <20.00	16A 1.5" V 27.20	17A 2" V 41.76	18A OPEN <20.00
19A 1.5" V 26.60					

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Planning & Zoning Commission, Chairman Director of Planning and Zoning

JOHNSON VOLK CONSULTING
 TBPELS Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
 701 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

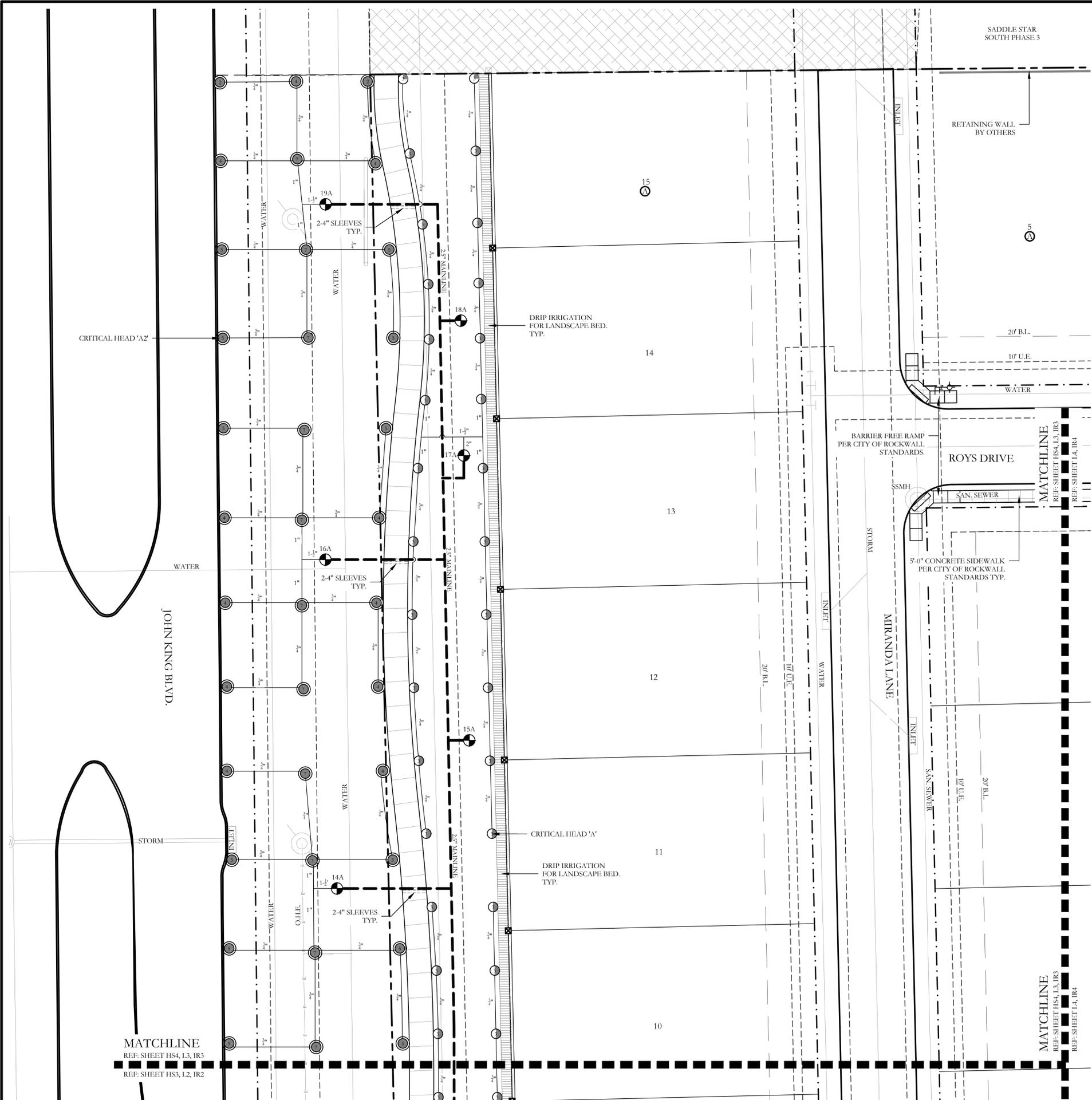
STATE OF TEXAS
 CODY L. JOHNSON
 17132
 REGISTERED LAND SURVEYOR
 August 24, 2022

NORTH
 20 10 0 20
 Scale: 1" = 20'-0"

Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.
 One Inch

SCREENING AND BUFFERING
 Irrigation Plan
 Saddle Star South - Phase 2
 City of Rockwall, Rockwall County, Texas

CJS PROJECT NO.
PAD001C
 SHEET NO.
IR2 of 8



IRRIGATION LEGEND AND SCHEDULE

SYM	DESCRIPTION	MANUFACTURER	MODEL	SIZE / NOZZLE
C	AUTOMATIC CONTROLLER	HUNTER	IC2 (TWO-WIRE)	N/A
D	DRIP IRRIGATION CONTROL VALVE	HUNTER	ICZ-101	1"
E	DRIP IRRIGATION (LANDSCAPE BEDS)	HUNTER	PLD-06-18	N/A
F	DRIP IRRIGATION (TURF BEDS)	HUNTER	PLD-06-12	N/A
G	TEMPORARY IRRIGATION	N/A	N/A	N/A
H	DRIP IRRIGATION	HUNTER	AFB-ADJ BUBBLER (0.5 GPM EACH BUBBLER)	1/2"
I	REMOTE CONTROL VALVE	HUNTER	ICV-101G ICV-151G	REFER TO PLAN FOR SIZE
J	LAWN MP ROTATOR	HUNTER	MP ROTATOR	MP1000, MP2000, MP3000, MP3500
K	ROTOR HEAD	HUNTER	PGP SERIES	#5 NOZZLE QUARTER #7 NOZZLE HALF #10 NOZZLE FULL
L	ROTOR HEAD	HUNTER	PGP SERIES	#2 NOZZLE QUARTER #4 & 5 NOZZLE HALF #7 NOZZLE FULL
M	WATER METER	---	PER CITY	REFER TO PLAN FOR SIZE
N	DOUBLE CHECK VALVE	FEBCO	850-BV Series	REFER TO PLAN FOR SIZE
O	ISOLATION VALVE	NIBCO	*T-113	LINE SIZE
P	WYE STRAINER	FEBCO	*850	REFER TO PLAN FOR SIZE
Q	MASTER VALVE	HUNTER	ICV-101G ICV-151G	REFER TO PLAN FOR SIZE
R	IRRIGATION SLEEVE	---	SCH 40 w/ 12 GA. PULL WIRE IN SLEEVE	REFER TO PLAN FOR SIZE
S	IRRIGATION MAIN LINE	---	SCH. 40	REFER TO PLAN FOR SIZE
T	IRRIGATION LATERAL LINE	---	CLASS 200	REFER TO PLAN FOR SIZE

- ← PROGRAM AND STATION NUMBER FOR AUTOMATIC CONTROLLER
- ← VALVE SIZE IN INCHES
- ← GALLONS PER MINUTE, PER VALVE

REFER TO SHEET IR7 FOR FULL IRRIGATION LEGEND AND SCHEDULE

NOTE:
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VALVE LEGEND A

1A DRIP 2.56	2A 1.5" V 28.72	3A OPEN <20.00	4A 1.5" V 35.00	5A 1.5" V 24.16	6A OPEN <20.00
7A 1.5" V 35.62	8A 1.5" V 23.80	9A 1.5" V 28.96	10A DRIP 19.36	11A OPEN <20.00	12A 1.5" V 21.40
13A 1.5" V 36.40	14A 1.5" V 28.80	15A OPEN <20.00	16A 1.5" V 27.20	17A 2" V 41.76	18A OPEN <20.00
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Planning & Zoning Commission, Chairman Director of Planning and Zoning

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704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

August 24, 2022

NORTH

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One Inch

SCREENING AND BUFFERING

Irrigation Plan

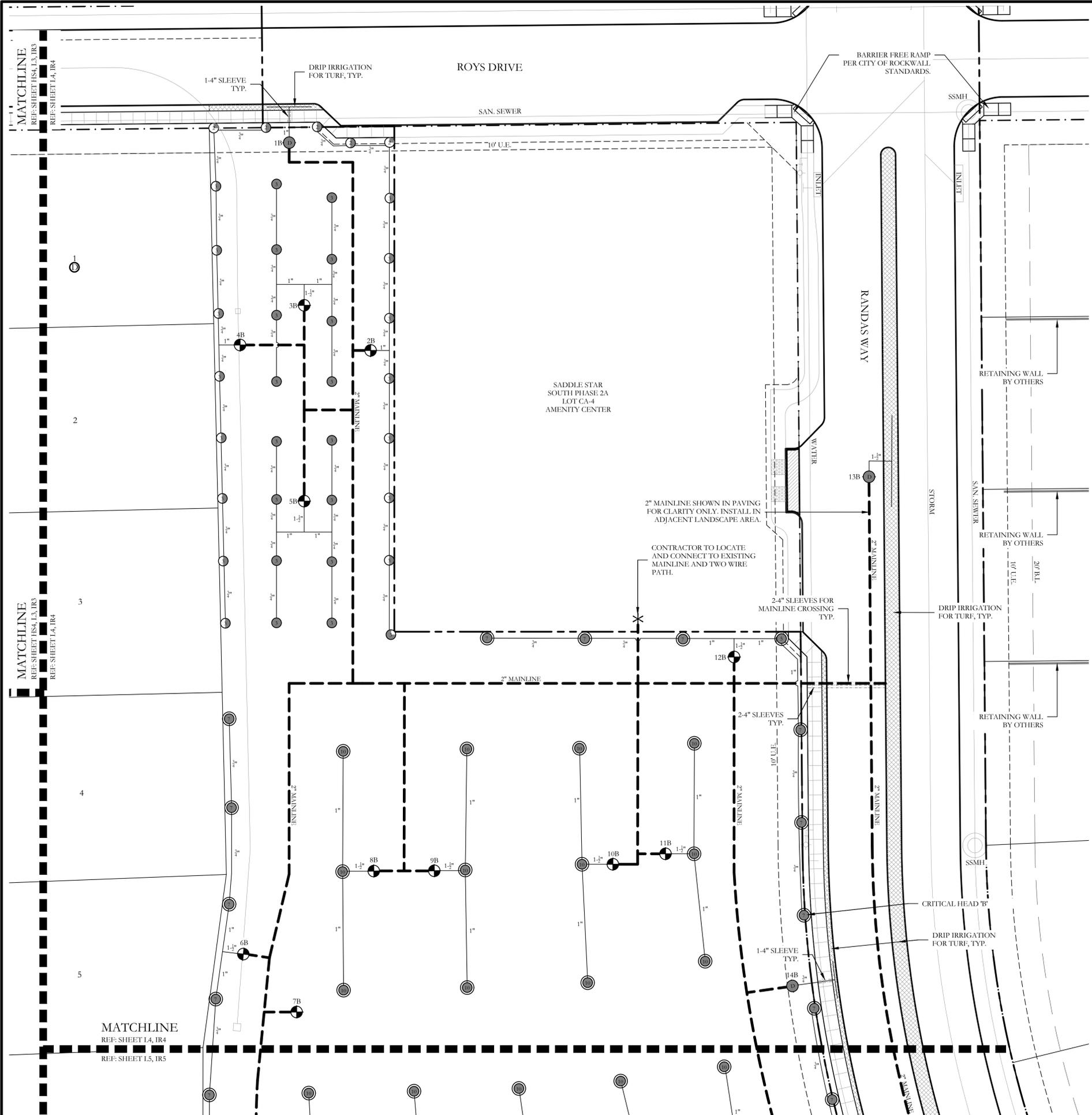
Saddle Star South - Phase 2

City of Rockwall, Rockwall County, Texas

CJS PROJECT NO. PAD001C

SHEET NO. IR3 of 8

CITY PROJECT NO. SP2022-055



IRRIGATION LEGEND AND SCHEDULE

SYM	DESCRIPTION	MANUFACTURER	MODEL	SIZE / NOZZLE
[C]	AUTOMATIC CONTROLLER	HUNTER	ICZ2 (TWO-WIRE)	N/A
[V]	DRIP IRRIGATION CONTROL VALVE	HUNTER	ICZ-101	1"
[L]	DRIP IRRIGATION (LANDSCAPE BEDS)	HUNTER	PLD-06-18	N/A
[T]	DRIP IRRIGATION (TURF BEDS)	HUNTER	PLD-06-12	N/A
[TR]	TEMPORARY IRRIGATION	N/A	N/A	N/A
[B]	DRIP IRRIGATION	HUNTER	AFB-ADJ BUBBLER (0.5 GPM EACH BUBBLER)	1/2"
[RV]	REMOTE CONTROL VALVE	HUNTER	ICV-101G ICV-151G	REFER TO PLAN FOR SIZE
[R]	LAWN MP ROTATOR	HUNTER	MP ROTATOR	MP1000, MP2000, MP3000, MP3500
[RH1]	ROTOR HEAD	HUNTER	PGP SERIES	#5 NOZZLE QUARTER #7 NOZZLE HALF #10 NOZZLE FULL
[RH2]	ROTOR HEAD	HUNTER	PGP SERIES	#2 NOZZLE QUARTER #4 & 5 NOZZLE HALF #7 NOZZLE FULL
[M]	WATER METER	---	PER CITY	REFER TO PLAN FOR SIZE
[D]	DOUBLE CHECK VALVE	FEBCO	850-BV Series	REFER TO PLAN FOR SIZE
[I]	ISOLATION VALVE	NIBCO	*T-113	LINE SIZE
[Y]	WYE STRAINER	FEBCO	*850	REFER TO PLAN FOR SIZE
[MV]	MASTER VALVE	HUNTER	ICV-101G ICV-151G	REFER TO PLAN FOR SIZE
[S]	IRRIGATION SLEEVE	---	SCH. 40 w/ 12 GA. PULL WIRE IN SLEEVE	REFER TO PLAN FOR SIZE
[ML]	IRRIGATION MAIN LINE	---	SCH. 40	REFER TO PLAN FOR SIZE
[LL]	IRRIGATION LATERAL LINE	---	CLASS 200	REFER TO PLAN FOR SIZE

- [C] PROGRAM AND STATION NUMBER FOR AUTOMATIC CONTROLLER
- [V] VALVE SIZE IN INCHES
- [R] GALLONS PER MINUTE, PER VALVE

REFER TO SHEET IR7 FOR FULL IRRIGATION LEGEND AND SCHEDULE

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VALVE LEGEND B

1B DRIP 1.05	2B 1" V 17.44	3B 1.5" V 21.84	4B 1" V 15.76	5B 1.5" V 21.84	6B 1.5" V 20.40	7B OPEN <20.00	8B 1.5" V 20.40
9B 1.5" V 20.40	10B 1.5" V 20.40	11B 1.5" V 20.40	12B 2" V 22.40	13B DRIP 19.89	14B DRIP 8.80	15B DRIP 19.89	16B 1.5" V 20.40
17B 1.5" V 20.40	18B 1.5" V 20.40	19B 1.5" V 20.40	20B OPEN <20.00	21B 1.5" V 20.40	22B 1.5" V 20.40	23B 1.5" V 21.00	24B 1.5" V 20.40
25B 1.5" V 20.40	26B 1.5" V 20.40	27B DRIP 5.38	28B 1.5" V 19.00	29B 1.5" V 20.40	30B 1.5" V 20.40	31B 1.5" V 20.40	32B 1.5" V 20.40

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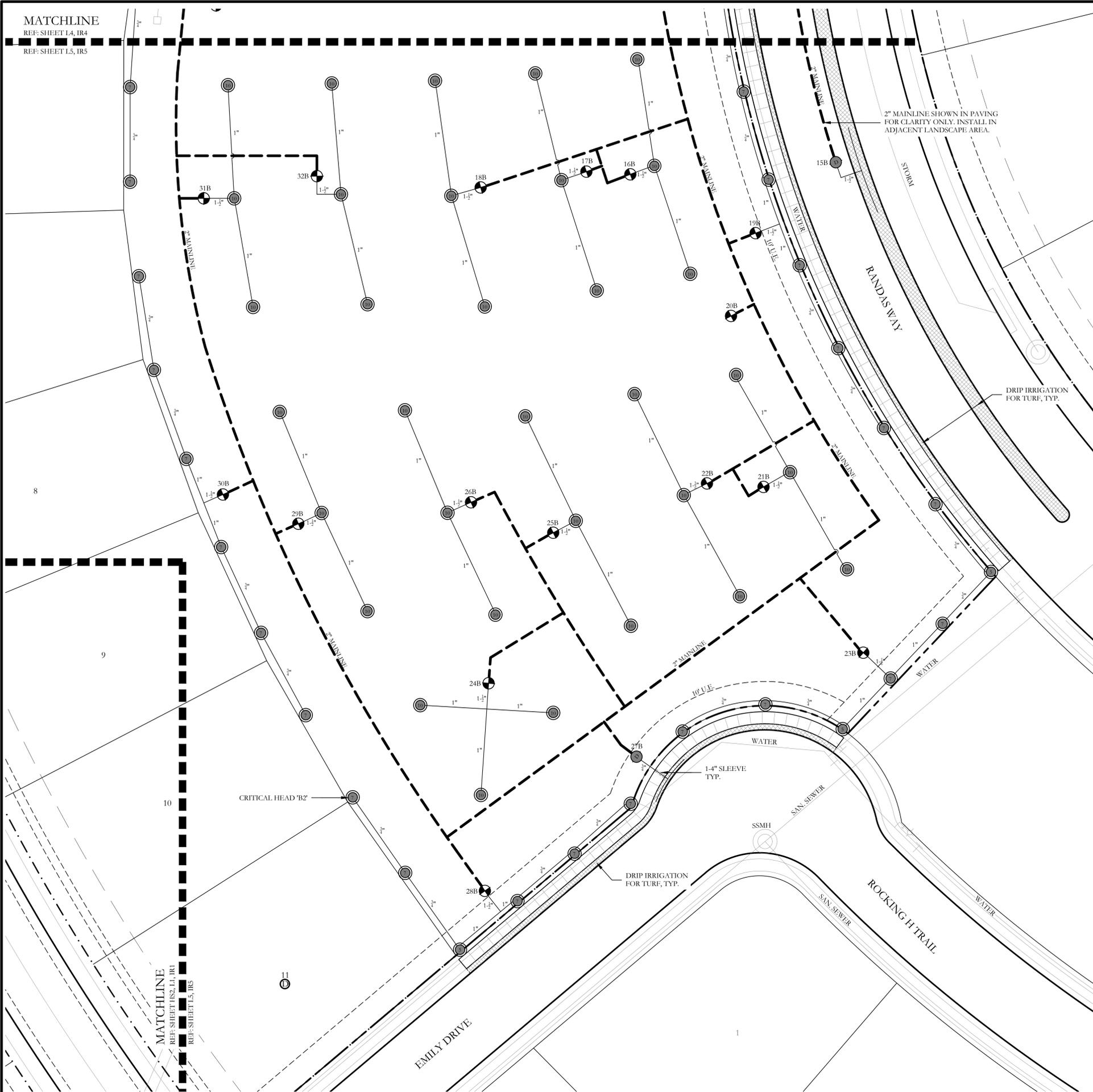


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One Inch

SCREENING AND BUFFERING
 Irrigation Plan
 Saddle Star South - Phase 2
 City of Rockwall, RockwallCounty, Texas

CJS PROJECT NO.
PAD001C
 SHEET NO.
IR4 of 8



IRRIGATION LEGEND AND SCHEDULE

SYM	DESCRIPTION	MANUFACTURER	MODEL	SIZE / NOZZLE
[C]	AUTOMATIC CONTROLLER	HUNTER	ICZ2 (TWO-WIRE)	N/A
[V]	DRIP IRRIGATION CONTROL VALVE	HUNTER	ICZ-101	1"
[L]	DRIP IRRIGATION (LANDSCAPE BEDS)	HUNTER	PLD-06-18	N/A
[T]	DRIP IRRIGATION (TURF BEDS)	HUNTER	PLD-06-12	N/A
[TR]	TEMPORARY IRRIGATION	N/A	N/A	N/A
[B]	DRIP IRRIGATION	HUNTER	AFB-ADJ BUBBLER (0.5 GPM EACH BUBBLER)	1/2"
[RV]	REMOTE CONTROL VALVE	HUNTER	ICV-101G ICV-151G	REFER TO PLAN FOR SIZE
[R]	LAWN MP ROTATOR	HUNTER	MP ROTATOR	MP1000, MP2000, MP3000, MP3500
[RH1]	ROTOR HEAD	HUNTER	PGP SERIES	#5 NOZZLE QUARTER #7 NOZZLE HALF #10 NOZZLE FULL
[RH2]	ROTOR HEAD	HUNTER	PGP SERIES	#2 NOZZLE QUARTER #4 & 5 NOZZLE HALF #7 NOZZLE FULL
[M]	WATER METER	---	PER CITY	REFER TO PLAN FOR SIZE
[D]	DOUBLE CHECK VALVE	FEBCO	850-BV Series	REFER TO PLAN FOR SIZE
[I]	ISOLATION VALVE	NIBCO	*T-113	LINE SIZE
[S]	WYE STRAINER	FEBCO	*850	REFER TO PLAN FOR SIZE
[MV]	MASTER VALVE	HUNTER	ICV-101G ICV-151G	REFER TO PLAN FOR SIZE
[SL]	IRRIGATION SLEEVE	---	SCH. 40 w/ 12 GA. PULL WIRE IN SLEEVE	REFER TO PLAN FOR SIZE
[ML]	IRRIGATION MAIN LINE	---	SCH. 40	REFER TO PLAN FOR SIZE
[LL]	IRRIGATION LATERAL LINE	---	CLASS 200	REFER TO PLAN FOR SIZE

- ← PROGRAM AND STATION NUMBER FOR AUTOMATIC CONTROLLER
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NOTE: ALL LATERAL LINES SHALL BE 3/4" CLASS 200 PVC UNLESS OTHERWISE NOTED ON PLANS.

ZONE VALVES LABELED AS "OPEN" ARE INTENDED FOR THE USE OF SUPPLYING HUNTER AFB-ADJ TREE BUBBLERS ON EACH PROPOSED TREE. IRRIGATION CONTRACTOR SHALL FIELD VERIFY THAT THESE ZONES DO NOT EXCEED 20 GALLONS PER MINUTE. THE IRRIGATION CONTRACTOR SHALL STAKE EACH TREE BUBBLER HEAD LOCATION AND RECEIVE APPROVAL FROM THE OWNER AND/OR THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

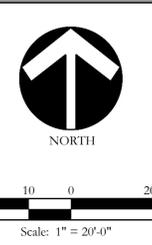
VALVE LEGEND B

1B DRIP 1.05	2B 1" V 17.44	3B 1.5" V 21.84	4B 1" V 15.76	5B 1.5" V 21.84	6B 1.5" V 20.40	7B OPEN <20.00	8B 1.5" V 20.40
9B 1.5" V 20.40	10B 1.5" V 20.40	11B 1.5" V 20.40	12B 2" V 22.40	13B DRIP 19.89	14B DRIP 8.80	15B DRIP 19.89	16B 1.5" V 20.40
17B 1.5" V 20.40	18B 1.5" V 20.40	19B 1.5" V 20.40	20B OPEN <20.00	21B 1.5" V 20.40	22B 1.5" V 20.40	23B 1.5" V 21.00	24B 1.5" V 20.40
25B 1.5" V 20.40	26B 1.5" V 20.40	27B DRIP 5.38	28B 1.5" V 19.00	29B 1.5" V 20.40	30B 1.5" V 20.40	31B 1.5" V 20.40	32B 1.5" V 20.40

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, _____.
WITNESS OUR HANDS, this ____ day of _____, _____.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

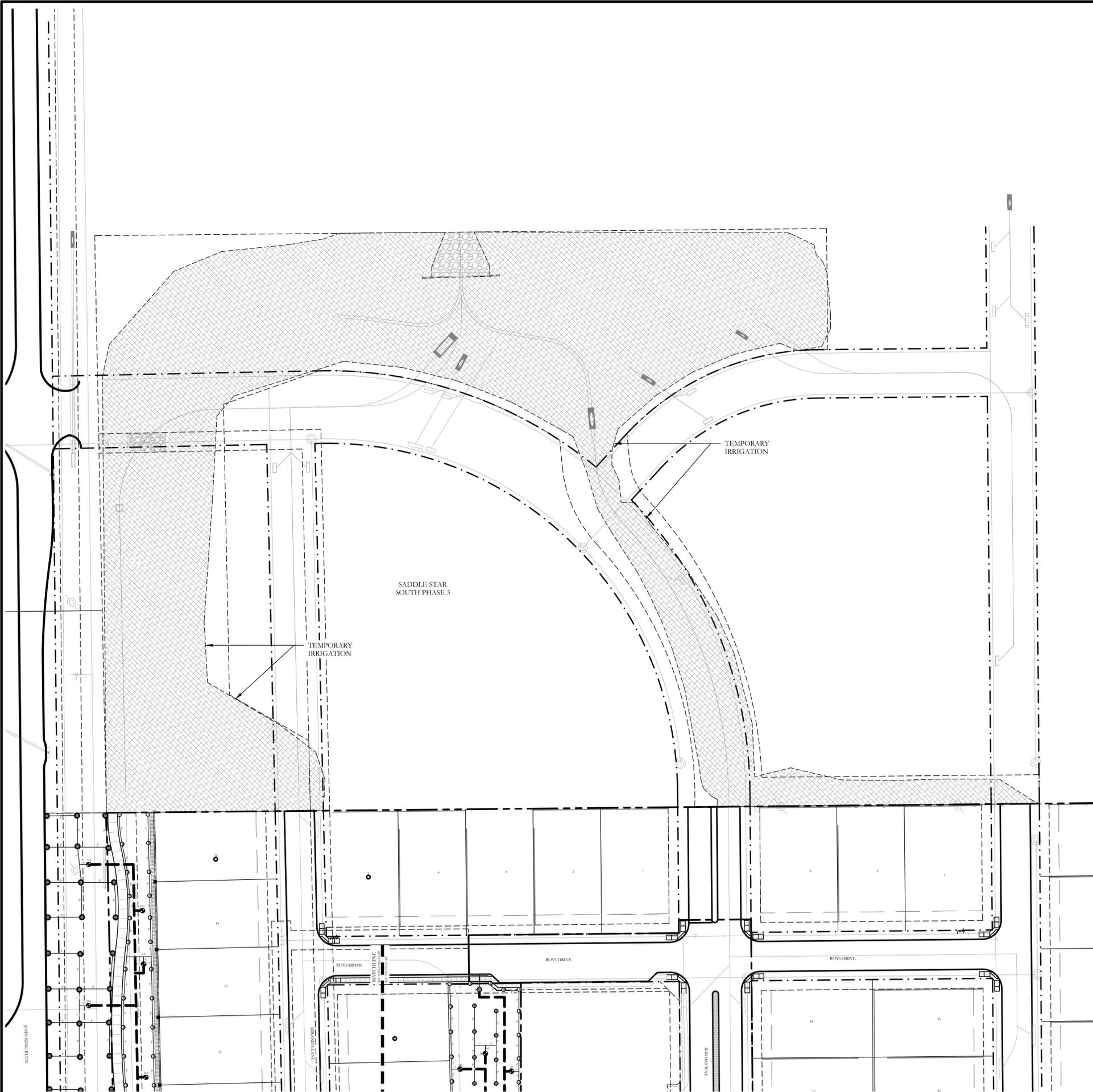
JOHNSON VOLK CONSULTING
 JBPELS Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
 701 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100



Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.
One Inch

SCREENING AND BUFFERING
 Irrigation Plan
 Saddle Star South - Phase 2
 City of Rockwall, Rockwall County, Texas

CJS PROJECT NO.
PAD001C
 SHEET NO.
IR5 of 8



IRRIGATION LEGEND AND SCHEDULE

SYM	DESCRIPTION	MANUFACTURER	MODEL	SIZE / NOZZLE
[C]	AUTOMATIC CONTROLLER	HUNTER	IC2 (TWO-WIRE)	N/A
[D]	DRIP IRRIGATION CONTROL VALVE	HUNTER	ICZ-101	1"
[L]	DRIP IRRIGATION (LANDSCAPE BEDS)	HUNTER	PLD-06-18	N/A
[T]	DRIP IRRIGATION (TURF BEDS)	HUNTER	PLD-06-12	N/A
[TI]	TEMPORARY IRRIGATION	N/A	N/A	N/A
[B]	DRIP IRRIGATION	HUNTER	AFB-ADJ BUBBLER (0.5 GPM EACH BUBBLER)	1/2"
[R]	REMOTE CONTROL VALVE	HUNTER	ICV-101G ICV-151G	REFER TO PLAN FOR SIZE
[MP]	LAWN MP ROTATOR	HUNTER	MP ROTATOR	MP1000, MP2000, MP3000, MP3500
[RH1]	ROTOR HEAD	HUNTER	PGP SERIES	#5 NOZZLE QUARTER #7 NOZZLE HALF #10 NOZZLE FULL
[RH2]	ROTOR HEAD	HUNTER	PGP SERIES	#2 NOZZLE QUARTER #4 & 5 NOZZLE HALF #7 NOZZLE FULL
[M]	WATER METER	---	PER CITY	REFER TO PLAN FOR SIZE
[DCK]	DOUBLE CHECK VALVE	FEBCO	850-BV Series	REFER TO PLAN FOR SIZE
[I]	ISOLATION VALVE	NIBCO	*T-113	LINE SIZE
[Y]	WYE STRAINER	FEBCO	*850	REFER TO PLAN FOR SIZE
[MV]	MASTER VALVE	HUNTER	ICV-101G ICV-151G	REFER TO PLAN FOR SIZE
[S]	IRRIGATION SLEEVE	---	SCH. 40 w/ 12 GA. PULL WIRE IN SLEEVE	REFER TO PLAN FOR SIZE
[ML]	IRRIGATION MAIN LINE	---	SCH. 40	REFER TO PLAN FOR SIZE
[LL]	IRRIGATION LATERAL LINE	---	CLASS 200	REFER TO PLAN FOR SIZE

- [C] PROGRAM AND STATION NUMBER FOR AUTOMATIC CONTROLLER
- [D] VALVE SIZE IN INCHES
- [B] GALLONS PER MINUTE, PER VALVE

REFER TO SHEET IR7 FOR FULL IRRIGATION LEGEND AND SCHEDULE

NOTE:
ALL LATERAL LINES SHALL BE 3/4" CLASS 200 PVC UNLESS OTHERWISE NOTED ON PLANS.

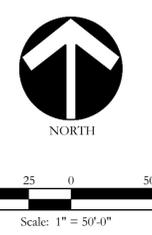
ZONE VALVES LABELED AS "OPEN" ARE INTENDED FOR THE USE OF SUPPLYING HUNTER AFB-ADJ TREE BUBBLERS ON EACH PROPOSED TREE. IRRIGATION CONTRACTOR SHALL FIELD VERIFY THAT THESE ZONES DO NOT EXCEED 20 GALLONS PER MINUTE. THE IRRIGATION CONTRACTOR SHALL STAKE EACH TREE BUBBLER HEAD LOCATION AND RECEIVE APPROVAL FROM THE OWNER AND/OR THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

VALVE LEGEND B

1B	2B	3B	4B	5B	6B	7B	8B
DRIP	1" V	1.5" V	1" V	1.5" V	1.5" V	OPEN	1.5" V
1.05	17.44	21.84	15.76	21.84	20.40	<20.00	20.40
9B	10B	11B	12B	13B	14B	15B	16B
1.5" V	1.5" V	1.5" V	2" V	DRIP	DRIP	DRIP	1.5" V
20.40	20.40	20.40	22.40	19.89	8.80	19.89	20.40
17B	18B	19B	20B	21B	22B	23B	24B
1.5" V	1.5" V	1.5" V	OPEN	1.5" V	1.5" V	1.5" V	1.5" V
20.40	20.40	20.40	<20.00	20.40	20.40	21.00	20.40
25B	26B	27B	28B	29B	30B	31B	32B
1.5" V	1.5" V	DRIP	1.5" V				
20.40	20.40	5.38	19.00	20.40	20.40	20.40	20.40

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, _____.
WITNESS OUR HANDS, this ____ day of _____, _____.

Planning & Zoning Commission, Chairman Director of Planning and Zoning



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One Inch

IRRIGATION LEGEND AND SCHEDULE

SYM	DESCRIPTION	MANUFACTURER	MODEL	SIZE / NOZZLE	NOTES
	AUTOMATIC CONTROLLER	HUNTER	IC2 (TWO-WIRE)	N/A	INSTALL PER MANUFACTURER'S STANDARDS. IN ADDITION, INSTALL SOLAR-SYNC SYSTEM BY HUNTER.
	DRIP IRRIGATION CONTROL VALVE	HUNTER	ICZ-101	1"	INSTALL PER DETAIL IN 10" ROUND BOX w/ BOLT DOWN LID. ROUT AND PAINT VALVE NUMBER ON LID.
	DRIP IRRIGATION (LANDSCAPE BEDS)	HUNTER	PLD-06-18	N/A	INSTALL PER DETAIL w/ 40 PSI AT OUTFLOW OF DRIP ZONE VALVE.
	DRIP IRRIGATION (TURF BEDS)	HUNTER	PLD-06-12	N/A	INSTALL PER DETAIL w/ 40 PSI AT OUTFLOW OF DRIP ZONE VALVE.
	TEMPORARY IRRIGATION	N/A	N/A	N/A	INSTALL PER MANUFACTURER'S STANDARDS. TO BE REMOVED ONCE AREA IS ESTABLISHED.
	DRIP IRRIGATION	HUNTER	AFB-ADJ BUBBLER (0.5 GPM EACH BUBBLER)	1/2"	INSTALL PER DETAIL w/ 40 PSI AT BASE OF HEAD. INSTALL 1.0 GPM/LARGE SHADE TREE AND 0.5 GPM/ORN. TREES. INSTALL ON ALL PROPOSED TREES, SEE LANDSCAPE PLANS.
	REMOTE CONTROL VALVE	HUNTER	ICV-101G ICV-151G	Refer to Plan for Size	INSTALL PER DETAIL IN 10" ROUND PENTEK VALVE BOX WITH BOLT DOWN LID. ROUT AND PAINT VALVE NUMBER ON LID.
	LAWN MP ROTATOR	HUNTER	MP ROTATOR	MP1000, MP2000, MP3000, MP3500	INSTALL PER DETAIL w/ 40 PSI AT BASE OF HEAD. INSTALL ON IPS FLEX PIPE ALL SPRAY BODIES. INSTALL NOZZLES ON 4" PRS40 SPRAY BODIES.
	ROTOR HEAD	HUNTER	PGP SERIES	#5 NOZZLE QUARTER #7 NOZZLE HALF #10 NOZZLE FULL	INSTALL PER DETAIL w/ 50 PSI AT BASE OF HEAD. INSTALL LASCO T732-212 SWING JOINTS (OR APPROVED EQUAL) ON ALL ROTORS.
	ROTOR HEAD	HUNTER	PGP SERIES	#2 NOZZLE QUARTER #4 NOZZLE HALF #7 NOZZLE FULL	INSTALL PER DETAIL w/ 50 PSI AT BASE OF HEAD. INSTALL LASCO T732-212 SWING JOINTS (OR APPROVED EQUAL) ON ALL ROTORS.
	WATER METER	---	PER CITY	REFER TO PLAN FOR SIZE	INSTALLED BY GENERAL CONTRACTOR
	DOUBLE CHECK VALVE	FEBCO	850-BV Series	REFER TO PLAN FOR SIZE	FURNISH AND INSTALL PER LOCAL CODE BY LICENSED IRRIGATION CONTRACTOR.
	ISOLATION VALVE	NIBCO	*T-113	LINE SIZE	INSTALL PER DETAIL IN 12"x17" PENTEK VALVE BOX WITH BOLT DOWN LID.
	WYE STRAINER	FEBCO	*850	REFER TO PLAN FOR SIZE	INSTALL PER DETAIL IN 12"x17" PENTEK VALVE BOX WITH BOLT DOWN LID.
	MASTER VALVE	HUNTER	ICV-101G ICV-151G	REFER TO PLAN FOR SIZE	INSTALL PER DETAIL IN 12"x17" PENTEK VALVE BOX WITH BOLT DOWN LID.
	IRRIGATION SLEEVE	---	SCH. 40 w/ 12 GA. PULL WIRE IN SLEEVE	REFER TO PLAN FOR SIZE	DRIVEWAY SLEEVES INSTALLED BY GENERAL CONTRACTOR. SIDEWALK SLEEVES INSTALLED BY IRRIGATION CONTRACTOR.
	IRRIGATION MAIN LINE	---	SCH. 40	REFER TO PLAN FOR SIZE	18" INSTALLATION DEPTH
	IRRIGATION LATERAL LINE	---	CLASS 200	REFER TO PLAN FOR SIZE	12" INSTALLATION DEPTH STANDARD. 18" INSTALLATION DEPTH UNDER PAVING.

- PROGRAM AND STATION NUMBER FOR AUTOMATIC CONTROLLER
- VALVE SIZE IN INCHES
- GALLONS PER MINUTE, PER VALVE

TWO-WIRE IRRIGATION NOTES

- PROVIDE A COMPLETE, FUNCTIONING AUTOMATIC IRRIGATION SYSTEM INCLUDING LABOR, MATERIALS, FEES, TAXES, EQUIPMENT, AND OTHER COSTS INCIDENTAL TO ACCOMPLISHING WORK.
- ACQUIRE WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT OR LICENSED IRRIGATOR FOR MATERIAL SUBSTITUTES PRIOR TO BEGINNING INSTALLATION.
- FORTY EIGHT (48) HOURS BEFORE IRRIGATION CONSTRUCTION BEGINS, IRRIGATION CONTRACTOR MUST CALL (800) DIG-TESS AND IS RESPONSIBLE FOR LOCATING EXISTING UNDERGROUND UTILITIES AND/OR OBSTACLES PRIOR TO BEGINNING WORK. ANY DAMAGE TO UTILITIES AND/OR FINISHES FROM INFERIOR WORKMANSHIP BY THE IRRIGATION CONTRACTOR SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- PIPING IS DIAGRAMMATIC AND SHOWN FOR CLARITY ONLY. ADJUST AS REQUIRED FOR EXISTING UTILITIES, OBSTRUCTIONS, TREE ROOT BALLS, ETC. PIPING AND VALVES SHOWN IN PAVING FOR CLARITY ONLY AND SHALL BE INSTALLED IN ADJACENT LANDSCAPE AREA. COORDINATE WITH THE CITY OR ENTITY INSPECTING THE IRRIGATION SYSTEM AND DETERMINE THE LOCAL RULES AND CODES TO ABIDE BY REGARDING MAINLINE AND LATERAL PIPING LOCATIONS.
- COORDINATE SLEEVE AND CONDUIT REQUIREMENTS WITH GENERAL CONTRACTOR. IRRIGATION SLEEVES SHALL BE AS FOLLOWS:
 - SLEEVES INTENDED FOR LATERAL LINES ARE TO BE ONE-FOUR INCH SLEEVE AND ARE TO BE NO MORE THAN A DEPTH OF TWO FEET BELOW TOP OF CURB. SLEEVES SHOULD EXTEND A MINIMUM OF 2'-0" BEYOND BACK OF CURB.
 - SLEEVES INTENDED FOR THE 2" MAINLINE ARE TO BE TWO-FOUR INCH SLEEVES SIDE BY SIDE AND ARE TO BE NO MORE THAN A DEPTH OF TWO FEET BELOW TOP OF CURB. SLEEVES SHOULD EXTEND A MINIMUM OF 2'-0" BEYOND BACK OF CURB.
- LOCATE EACH END OF IRRIGATION SLEEVES DIMENSIONALLY ON THE RECORD "AS BUILT" DRAWINGS.
- THE IRRIGATION CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE IRRIGATION SYSTEM WITH THE LANDSCAPE CONTRACTOR TO ENSURE ALL PLANT MATERIAL WILL BE WATERED IN ACCORDANCE WITH THE INTENT OF THE PLANS AND SPECIFICATIONS.
- THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO PLANT MATERIAL DUE TO SYSTEM FAILURE FROM INFERIOR WORKMANSHIP FOR THE DURATION OF THE INSTALLATION OF PLANT MATERIAL AND MAINTENANCE PERIOD FOLLOWING INSTALLATION.
- THE IRRIGATION CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIAL NECESSARY TO HAND DIG WITHIN ALL EXISTING TREE DRIPLINE ZONES AT NO ADDITIONAL COST TO THE OWNER. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE TO STAKE AND RECEIVE APPROVAL FROM ALL DISCIPLINES PRIOR TO AN TRENCHING AND HAND DIGGING IN AREAS OF EXISTING TREE COVERAGE OR ANY ADDITIONAL AREAS THAT MIGHT BE QUESTIONABLE.
- EXTEND EXTRA WIRE AND MAINLINE PAST THE FARTHEST VALVE, ROUTED PARALLEL AND PLACE IN 12"x17" PENTEK VALVE BOX WERE NOTED ON PLANS FOR FUTURE EXPANSION OF IRRIGATION SYSTEM AT A LATER DATE.
- TWO WIRE PATH SHALL BE DIRECT BURIAL, 14 AWG OR STANDARD DECODER CABLE BY HUNTER WITH YELLOW JACKET (DY1LW), RATED FOR DIRECT BURIAL APPLICATIONS, UF, UL, APPROVED. HUNTER ICD DECODERS SHALL BE USED ON ALL ZONE VALVE CONNECTIONS TO TWO WIRE PATH. CONTRACTOR TO USE MANUFACTURER'S RECOMMENDATIONS OF WIRE SPLICING AND BURIAL TECHNIQUES AS DETAILED AT WWW.HUNTERINDUSTRIES.COM.
- THE OWNER AND/OR LANDSCAPE ARCHITECT SHALL DETERMINE THE FINAL CONTROLLER LOCATION. THE IRRIGATION CONTRACTOR SHALL MAKE FINAL ELECTRICAL CONNECTION OF CONTROLLER PER LOCAL ELECTRICAL CODE. PROVIDE ALL NECESSARY FUSE BOXES, CONDUIT, FITTINGS, CONNECTORS OR OTHER ELECTRICAL DEVICES TO MAKE CONNECTION. OWNER SHALL PROVIDE ELECTRICAL SERVICE WITHIN 10 FEET OF CONTROLLER LOCATION UNLESS NOTED OTHERWISE ON DRAWINGS.
- CONNECT REMOTE SENSORS TO CONTROLLER WITH GROUND WIRE IN SERIES PRIOR TO CONNECTING TO REMOTE CONTROL VALVES.
- ALL P.V.C. MAINLINES AND LATERAL LINES SHALL RECEIVE AS FOLLOWS:
 - 18" MINIMUM COVER FOR MAIN LINES
 - 18" MINIMUM COVER FOR PIPING LOCATED UNDER PAVING
 - 12" MINIMUM COVER FOR LATERAL LINES
- THE MINIMUM DISTANCE BETWEEN THE MAINLINE AND LATERAL LINE FITTINGS (EXCEPT FOR REDUCER BUSHINGS) SHALL BE 18".
- THE MINIMUM HORIZONTAL DISTANCE OF 36" SHALL BE MAINTAINED BETWEEN ANY VALVES THAT ARE INSTALLED SIDE BY SIDE.
- WHERE SERVICE TREES ARE INSTALLED ON THE MAINLINE FOR INSTALLATION OF THE ELECTRIC VALVES AND/OR QUICK COUPLING VALVES, THE CONTRACTOR SHALL LIMIT THE NUMBER OF THESE PER SERVICE TEE. DO NOT INSTALL MORE THAN A TOTAL OF EITHER THREE ELECTRIC VALVES OR A COMBINATION OF TWO ELECTRIC VALVES AND ONE QUICK COUPLER VALVE AT EACH TEE. THE MINIMUM DISTANCE BETWEEN FITTINGS SHALL BE 18" AS REFERENCED IN THE ABOVE NOTES.
- ALL PVC PIPE AND FITTINGS ARE TO BE PRIMED WITH PURPLE PVC PRIMER SOLVENT BEFORE APPLYING PVC CEMENT IN ACCORDANCE WITH THE UNIFORM PLUMBING CODE.
- INSTALL QUICK COUPLING VALVES IN 12"x17" PENTEK VALVE BOXES PER DETAIL SHOWN. CONNECT QUICK COUPLING VALVES TO MAINLINE PIPE WITH LASCO UNITIZED, O-RING SWING JOINTS PER DETAIL SHOWN, #1722-22. SUPPLY OWNER WITH THREE COUPLER KEYS WITH SWIVEL HOSE BIBB EACH, #33DK-10 AND #SH-0 RESPECTIVELY. VALVES TO BE INSTALLED SO THAT THE TOP OF THE QUICK COUPLER IS 2" BELOW BOTTOM OF VALVE BOX LID. PURPLE LID SHALL READ "NON-POTABLE, NOT SAFE FOR DRINKING" IN ENGLISH AND SPANISH.
- ALL LATERAL LINES SHALL BE 3/4" CLASS 200 PVC UNLESS OTHERWISE NOTED ON PLANS.
- ZONE VALVES LABELED AS "OPEN" ARE INTENDED FOR THE USE OF SUPPLYING HUNTER AFB-ADJ TREE BUBBLERS ON EACH PROPOSED TREE. IRRIGATION CONTRACTOR SHALL FIELD VERIFY THAT THESE ZONES DO NOT EXCEED 20 GALLONS PER MINUTE. THE IRRIGATION CONTRACTOR SHALL STAKE EACH TREE BUBBLER HEAD LOCATION AND RECEIVE APPROVAL FROM THE OWNER AND/OR THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
- ALL STATE OF TEXAS LAWS/RULES AND ALL LOCAL CODES/ORDINANCES AREA MADE PART OF THESE PLANS AND SPECIFICATIONS WHETHER SHOWN OR NOT. THESE LAWS AND ORDINANCES WILL SUPERCEDE THE PLANS, DETAILS, AND/OR SPECIFICATIONS FOR THIS PROJECT. THE IRRIGATION CONTRACTOR IS CAUTIONED THAT HE/SHE IS TO INCLUDE ANY AND ALL COST NECESSARY TO MEET OR EXCEED THE LAWS OF THE STATE OF TEXAS AND LOCAL CODES CONCERNING LANDSCAPE IRRIGATION.
- INCLUDE THE FOLLOWING ALLOWANCES FOR PROVIDING AND INSTALLING AIR RELIEF VALVES AND FLUSH VALVES FOR THE DRIP SYSTEM. EXACT QUANTITY AND LOCATION OF THESE DEVICES WILL BE DETERMINED AT THE TIME OF INSTALLATION. IN GENERAL, ALL AIR RELIEF VALVES WILL BE INSTALLED AT THE HIGH POINTS AND FLUSH VALVES WILL BE INSTALLED AT THE LOW POINTS OF EXHAUST HEADER. ALLOW FOR APPROXIMATELY (1) AIR RELIEF AND APPROXIMATELY ONE (1) FLUSH VALVE FOR EACH DRIP ZONE KIT.
- INCLUDE THE FOLLOWING ALLOWANCE FOR PROVIDING AND INSTALLING DRIP INDICATOR FOR THE DRIP SYSTEM. LOCATION OF DRIP INDICATOR SHOULD BE CENTERED IN DRIP ZONE.

JOHNSON VOLK CONSULTING
 TBEELS Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
 700 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100



August 24, 2022

Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.
 One Inch

HYDRAULIC CALCULATION NOTES

TEN DAYS PRIOR TO COMMENCING WORK, VERIFY STATIC PRESSURE. IF STATIC PRESSURE IS LESS THAN THE ASSUMED STATIC PRESSURE DO NOT START WORK UNTIL NOTIFIED IN WRITING TO PROCEED BY OWNER. IF CONTRACTOR PROCEEDS WITH WORK WITHOUT AUTHORIZATION FROM OWNER, THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE TO CORRECT, MODIFY OR REPAIR ANY ITEMS OR MATERIALS THAT MAY BE REQUIRED TO PROVIDE A FULLY FUNCTIONING AND OPERATIONAL IRRIGATION SYSTEM IN COMPLIANCE WITH THE PLANS AND SPECIFICATIONS. HYDRAULIC CALCULATIONS FOR THIS SYSTEM ARE BASED ON THE STATIC PRESSURE AS STATED ABOVE. THE STATIC PRESSURE SHOWN IS AN ASSUMED PRESSURE, A PRESSURE MEASURED AT THE SITE, OR AN ESTIMATED PRESSURE PROVIDED BY THE COUNTY OR CITY. THE OWNER UNDERSTANDS THIS PROJECT MAY NOT PROVIDE 100% COVERAGE AT ALL TIMES.

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, _____.
 WITNESS OUR HANDS, this ____ day of _____, _____.

 Planning & Zoning Commission, Chairman Director of Planning and Zoning

ITEM	SIZE	PSI	NOTES
SERVICE	2"	0.37	TYPE "K" COPPER 20 LN. FT. (41.76 GPM)
WATER METER	2"	1.40	(41.76 GPM)
BALL VALVE	1.5"	1.00	(41.76 GPM)
WYE FILTER	1.5"	0.30	(41.76 GPM)
BACKFLOW PREVENTER	1.5"	4.00	(41.76 GPM)
MASTER VALVE	2"	0.80	(41.76 GPM)
MAIN LINE	2.5"	6.25	1,117 LINEAR FEET (41.76 GPM)
ZONE VALVE (17A)	2"	1.20	(41.76 GPM)
LATERAL PIPING	N/A	3.27	
CRITICAL HEAD 'A'	N/A	40.00	
TOTAL LOSS		58.59	
ASSUMED STATIC PRESSURE		70.00	
PRESSURE DIFFERENTIAL		-11.41	

ITEM	SIZE	PSI	NOTES
SERVICE	2"	0.17	TYPE "K" COPPER 20 LN. FT. (26.60 GPM)
WATER METER	2"	0.70	(26.60 GPM)
BALL VALVE	1.5"	1.00	(26.60 GPM)
WYE FILTER	1.5"	0.30	(26.60 GPM)
BACKFLOW PREVENTER	1.5"	4.00	(26.60 GPM)
MASTER VALVE	2"	0.80	(26.60 GPM)
MAIN LINE	2.5"	2.97	1,146 LINEAR FEET (26.60 GPM)
ZONE VALVE (19A)	1.5"	1.80	(26.60 GPM)
LATERAL PIPING	N/A	0.91	
CRITICAL HEAD 'A2'	N/A	50.00	
TOTAL LOSS		62.65	
ASSUMED STATIC PRESSURE		70.00	
PRESSURE DIFFERENTIAL		-7.35	

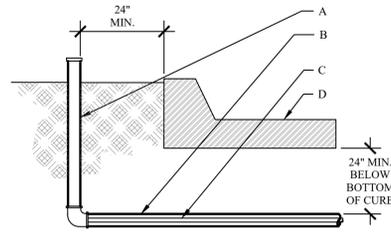
ITEM	SIZE	PSI	NOTES
SERVICE	1.5"	0.51	TYPE "K" COPPER 20 LN. FT. (22.40 GPM)
WATER METER	1.5"	1.20	(22.40 GPM)
BALL VALVE	1.5"	1.00	(22.40 GPM)
WYE FILTER	1.5"	0.30	(22.40 GPM)
BACKFLOW PREVENTER	1.5"	4.00	(22.40 GPM)
MASTER VALVE	1.5"	1.50	(22.40 GPM)
MAIN LINE	2"	0.91	194 LINEAR FEET (22.40 GPM)
MAIN LINE LOOPED	2"	0.05	40 LINEAR FEET (11.20 GPM)
ZONE VALVE (12B)	1.5"	1.60	(22.40 GPM)
LATERAL PIPING	N/A	1.90	
CRITICAL HEAD 'B'	N/A	50.00	
TOTAL LOSS		62.97	
ASSUMED STATIC PRESSURE		70.00	
PRESSURE DIFFERENTIAL		-7.03	

ITEM	SIZE	PSI	NOTES
SERVICE	1.5"	0.36	TYPE "K" COPPER 20 LN. FT. (19.00 GPM)
WATER METER	1.5"	0.70	(19.00 GPM)
BALL VALVE	1.5"	1.00	(19.00 GPM)
WYE FILTER	1.5"	0.30	(19.00 GPM)
BACKFLOW PREVENTER	1.5"	4.00	(19.00 GPM)
MASTER VALVE	1.5"	1.50	(19.00 GPM)
MAIN LINE	2"	0.60	184 LINEAR FEET (19.00 GPM)
MAIN LINE LOOPED	2"	0.56	628 LINEAR FEET (9.50 GPM)
ZONE VALVE (28B)	1.5"	1.40	(19.00 GPM)
LATERAL PIPING	N/A	1.28	
CRITICAL HEAD 'B2'	N/A	50.00	
TOTAL LOSS		61.70	
ASSUMED STATIC PRESSURE		70.00	
PRESSURE DIFFERENTIAL		-8.30	

SCREENING AND BUFFERING
 Irrigation Plan
 Saddle Star South - Phase 2
 City of Rockwall, Rockwall County, Texas

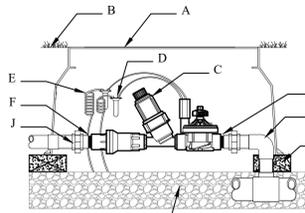
CJS PROJECT NO.
PAD001C
 SHEET NO.
IR7 of 8

CITY PROJECT NO. SP2022-055



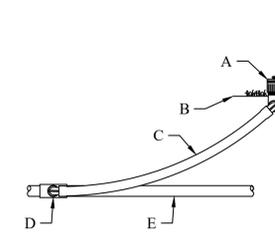
- GENERAL NOTES:**
- NO DIRECT CONNECTION TO SLEEVE SHALL BE ALLOWED. SLEEVE SIZE SHALL BE TWO (2) SIZES LARGER THAN THE PIPE TO BE SLEEVED.
 - MARK HARDSCAPE WITH SYMBOL "SS" TO INDICATE THAT A SLEEVE IS BELOW.
 - INSTALL WIRING IN SEPARATE SLEEVE FROM LATERAL AND MAINLINE PIPING.
- CONSTRUCTION NOTES:**
- TEMPORARY RISER AND CAP.
 - SCH 40 PVC IRRIGATION SLEEVE - SEE PLAN.
 - PVC MAINLINE, LATERAL OR WIRING - SEE PLAN.
 - PAVING.

IRRIGATION SLEEVES
NOT TO SCALE



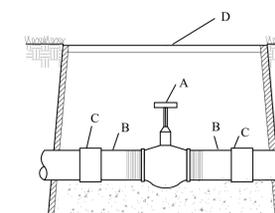
- CONSTRUCTION NOTES:**
- JUMBO VALVE BOX
 - FINISH GRADE
 - DRIP ZONE KIT, MODEL ICZ-101
 - WATERPROOF CONNECTORS (2)
 - 18-24" COILED WIRE
 - SCH. 80 T.O.W. NIPPLE
 - MAINLINE PIPING AND FITTINGS
 - BRICK SUPPORTS (4)
 - 3/4" MINUS WASHED GRAVEL
 - PVC SLIP UNIONS (2)

DRIP CONTROL ZONE
NOT TO SCALE



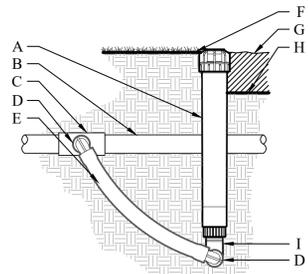
- CONSTRUCTION NOTES:**
- MODEL AFB BUBBLER
 - FINISH GRADE
 - SWING JOINT: HUNTER "PRO-FLEX" TUBING 24"-36", HSBE-050 ELBOWS (2), & MARLEX STREET ELBOW (1)
 - LATERAL TEE OR ELL
 - LATERAL PIPE

AFB BUBBLER
NOT TO SCALE



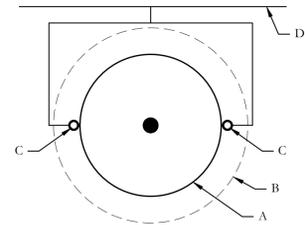
- CONSTRUCTION NOTES:**
- GATE VALVE
 - SCH 80 TOE NIPPLE
 - COUPLING
 - 11x17 VALVE BOX

GATE VALVE
NOT TO SCALE



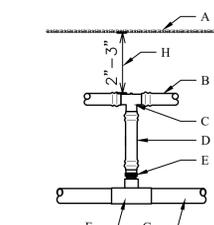
- CONSTRUCTION NOTES:**
- ECO INDICATOR - ECOID
 - LATERAL PIPE PER PLAN
 - FPT CONNECTIONS FROM LATERAL
 - SPIRAL BARB ELBOW - HSBE-XXX
 - FLEX-TUBING - FLEXSG
 - FINISHED GRADE IN TURF
 - ADJACENT MULCH
 - FINISHED GRADE IN PLANTER BED
 - MARLEX STREET ELBOW

ECO INDICATOR WITH FLEX TUBING
NOT TO SCALE



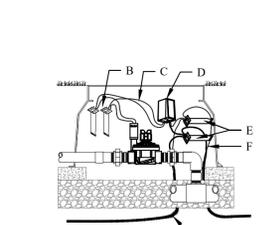
- GENERAL NOTES:**
- TREE BUBBLERS TO BE ALIGNED PARALLEL WITH MEDIAN CURBS.
 - NO TRENCHING ALLOWED WITHIN THE TREE'S ROOTBALL.
 - TREE BUBBLERS TO BE ON UPHILL SIDE OF THE TREE IN THE RETENTION BASIN OR AS SHOWN.
 - COORDINATE THE LOCATION OF THE BUBBLERS WITH THE PROPOSED TREE LOCATIONS AS SHOWN ON THE LANDSCAPE PLANTING PLANS.
- CONSTRUCTION NOTES:**
- TREE ROOTBALL
 - EDGE OF TREE PFT (RETENTION BASIN)
 - TREE BUBBLER, NOZZLE AFB
 - LATERAL LINE (SIZED AS SPEC'D.)

TREE BUBBLER PLAN
NOT TO SCALE



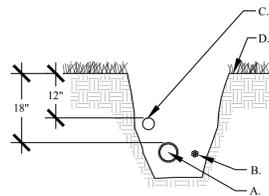
- CONSTRUCTION NOTES:**
- FINISH GRADE
 - HUNTER PLD 06-18
 - PLD-TEE 17MM BARB&BARB
 - PLD-BLNK
 - PLD-075 3/4" MPT&BARB
 - 3/4" MPT TEE
 - LATERAL PIPE
 - MINIMUM DRIPLINE DEPTH

BELOW GRADE START CONNECTION
NOT TO SCALE



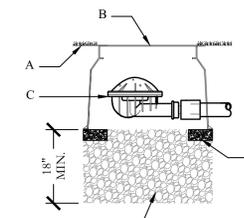
- CONSTRUCTION NOTES:**
- JACKETED ID WIRE PATH TWISTED TO NEXT DECODER
 - DBY-2
 - TWO BLACK WIRES TO VALVE SOLENOID/ UP TO 100 FT/30M
 - MODEL DUAL-1 DECODER
 - DBR(T-6 (2)
 - JACKETED ID: WIRE PATH FROM CONTROLLER ALLOW 5 FT/1.5M SLACK PER DECODER/1/3 ON EITHER SIDE OF DECODER.

DUAL-1 DECODER
NOT TO SCALE



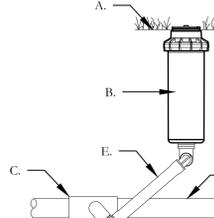
- GENERAL NOTES:**
- REST PIPE FIRMLY ON TRENCH BOTTOM.
 - SNAKE PIPE FROM SIDE TO SIDE.
 - DO NOT STACK PIPE IN TRENCH. PROVIDE HORIZONTAL SEPARATION.
 - MAINTAIN 2" MINIMUM SEPARATION BETWEEN MAINLINE AND LATERAL LINE PIPING.
 - BUNDLE WIRE(S) AT 20 FT. INTERVALS.
- CONSTRUCTION NOTES:**
- MAINLINE PIPING - 18" MINIMUM COVER
 - WIRE BUNDLE - TAPE PER SPECIFICATIONS
 - LATERAL LINE PIPING - 12" MINIMUM COVER
 - FINISH GRADE

IRRIGATION TRENCH
NOT TO SCALE



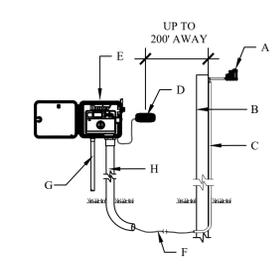
- CONSTRUCTION NOTES:**
- FINISH GRADE
 - 10" ROUND VALVE BOX
 - LINE FLUSHING VALVE
 - PLD-450 OR 1/2" FPT ADAPTER
 - BRICK SUPPORTS (3)
 - 3/4" GRAVEL SUMP

DRIP IRRIGATION - FLUSH VALVE
NOT TO SCALE



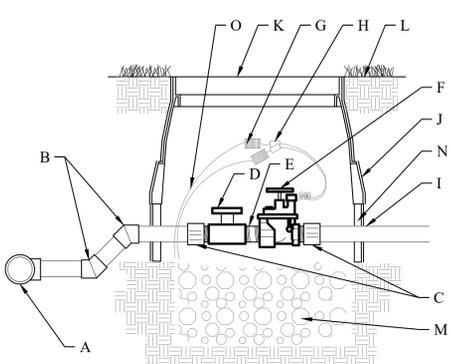
- GENERAL NOTES:**
- REST PIPE FIRMLY ON TRENCH BOTTOM.
 - SNAKE PIPE FROM SIDE TO SIDE.
 - DO NOT STACK PIPE IN TRENCH. PROVIDE HORIZONTAL SEPARATION BETWEEN MAINLINE AND LATERAL LINE PIPING.
 - MAINTAIN 2" MINIMUM SEPARATION BETWEEN MAINLINE AND LATERAL LINE PIPING.
 - BUNDLE WIRE(S) AT 20 FT. INTERVALS.
- CONSTRUCTION NOTES:**
- FINISHED GRADE
 - ROTOR HEAD
 - LATERAL TEE OR ELL
 - LATERAL PIPE
 - LASCO SWING JOINT

ROTOR HEAD
NOT TO SCALE



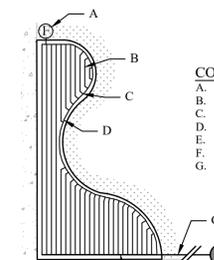
- CONSTRUCTION NOTES:**
- MODEL: SOLAR SYNC SENSOR
 - SUITABLE POST, POLE, OR GUTTER MOUNT. MOUNT IN LOCATION WHERE SENSOR CAN RECEIVE FULL SUN, IS OPEN TO RAINFALL AND OUT OF SPRINKLER SPRAY PATTERN
 - CONDUIT FROM SOLAR SYNC SENSOR TO CONTROLLER OR TO A POINT 12" BELOW GRADE
 - MODEL SOLAR SYNC MODULE. MOUNT LESS THAN 6" AWAY FROM CONTROLLER. MODULE CAN BE MOUNTED INTERNALLY WHEN PAIRED WITH THE PCC CONTROLLER.*
 - HUNTER ICC2 CONTROLLER
 - COMMUNICATION WIRE. 18-2 WIRE TYPE TO MEET INSTALLATION CODE REQUIREMENTS, FROM MODULE TO SENSOR. MAXIMUM TOTAL WIRE DISTANCE, 200 FEET.
 - POWER SOURCE
 - CONDUIT FOR VALVE CONTROL WIRE AND SOLAR SYNC COMMUNICATION WIRE

SOLAR SYNC SYSTEM (ICC2 CONTROLLER)
NOT TO SCALE



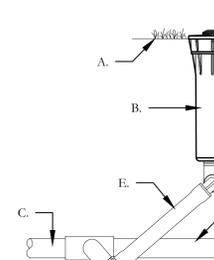
- GENERAL NOTES:**
- INSTALL PEA GRAVEL FLUSH WITH BOTTOM OF PIPE AND VALVE.
 - MAINLINE SHALL HAVE A MINIMUM OF 18" COVER AND LATERAL LINE SHALL HAVE A MINIMUM OF 12" COVER.
 - PROVIDE A 24" WIRE EXPANSION COIL AT EACH DRY SPlice WIRE CONNECTION.
 - CENTER VALVE ASSEMBLY IN VALVE BOX.
- CONSTRUCTION NOTES:**
- PVC SERVICE TEE
 - SCH 40 45° BEND
 - SCH 40 MALE ADAPTER
 - SCH 40 BALL VALVE
 - GRAY SCH 80 SHORT NIPPLE (TBE)
 - AUTOMATIC VALVE
 - WIRE COIL
 - WATERPROOF WIRE CONNECTORS
 - LATERAL PIPE
 - 10 ML BLACK PLASTIC
 - ARMOR 12" STANDARD VALVE BOX WITH COVER AND PENTAGON LOCK. ROUT AND PAINT VALVE NUMBER ON TOP OF LID. SET 1/4" ABOVE FINISH GRADE.
 - FINISH GRADE
 - WASHED PEA GRAVEL - 6" DEPTH MIN
 - 6" VALVE BOX EXTENSIONS AS REQUIRED
 - VALVE WIRING

ELECTRIC VALVE
NOT TO SCALE



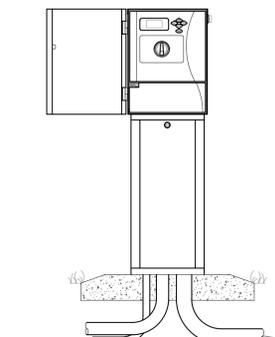
- CONSTRUCTION NOTES:**
- FLUSH VALVE
 - HUNTER PLD 06-18
 - HUNTER PLD TEE
 - TUBING STAKE
 - LATERAL TO PLD CONNECTION
 - DRIP CONTROL VALVE, MODEL ICZ-101
 - LATERAL PIPE TO PLANTING BED

DRIP IRRIGATION - BED
NOT TO SCALE



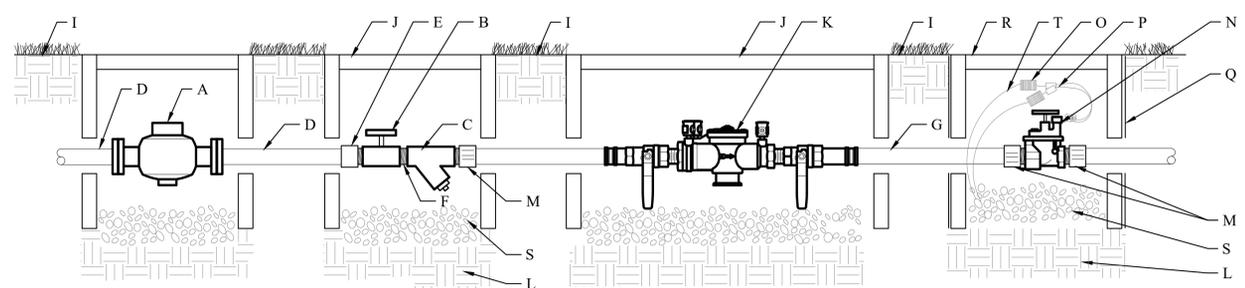
- GENERAL NOTES:**
- REST PIPE FIRMLY ON TRENCH BOTTOM.
 - SNAKE PIPE FROM SIDE TO SIDE.
 - DO NOT STACK PIPE IN TRENCH. PROVIDE HORIZONTAL SEPARATION BETWEEN MAINLINE AND LATERAL LINE PIPING.
 - MAINTAIN 2" MINIMUM SEPARATION BETWEEN MAINLINE AND LATERAL LINE PIPING.
 - BUNDLE WIRE(S) AT 20 FT. INTERVALS.
- CONSTRUCTION NOTES:**
- FINISHED GRADE
 - ROTOR HEAD PER PLANS
 - LATERAL TEE OR ELL
 - LATERAL PIPE
 - IPS FLEX PIPE

PRS40-CV - MP ROTATOR SPRAY HEAD
NOT TO SCALE



- CONSTRUCTION NOTES:**
- IRRIGATION CONTROLLER (ICC-PED) PER PLAN
 - ELECTRICAL SUPPLY CONDUIT, CONNECT TO POWER SOURCE, J-BOX INSIDE CONTROLLER
 - GROUND WIRE CONDUIT GROUND PER ASIC GUIDELINES
 - IRRIGATION CONTROL WIRE IN CONDUIT SIZE AND TYPE PER LOCAL CODES
 - PEDESTAL BASE PER PLAN, ENSURE POSITIVE DRAINAGE AWAY FROM PEDESTAL
- NOTES:**
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
 - SEE PLAN LEGEND FOR MODEL NUMBER AND SPECIFICATIONS
 - ALWAYS REFER TO PRODUCT INSTALLATION NOTES PRIOR TO INSTALLATION
 - CONTROLLER SHALL BE HARD WIRE TO GROUNDED 110 VAC POWER SOURCE

ICC2 CONTROLLER - PEDESTAL MOUNT
(NOT TO SCALE)



- CONSTRUCTION NOTES:**
- WATER METER (SIZE PER PLAN)
 - BALL VALVE (SIZE PER LINE)
 - WYE STRAINER (SIZE PER LINE)
 - TYPE "K" COPPER PIPE
 - COPPER SXT COUPLING
 - TBE NIPPLE
 - PIPE PER CITY CODE
 - COUPLING
 - FINISH GRADE
 - 12"x17" VALVE BOX. SET FLUSH WITH FINISH GRADE
 - DOUBLE CHECK VALVE ASSEMBLY
 - COMPACTED SUBGRADE
 - MALE ADAPTER
 - MASTER ELECTRIC VALVE
 - WIRE COIL
 - WATERPROOF WIRE CONNECTORS
 - 10 ML BLACK PLASTIC
 - 10" RD VALVE BOX. SET 1/4" ABOVE FINISH GRADE
 - WASHED PEA GRAVEL - 6" DEPTH MIN
 - VALVE WIRING

- GENERAL NOTES:**
- INSTALL WASHED PEA GRAVEL BELOW DCA TO ALLOW ACCESS TO TEST COCKS AND OPERATION OF BALL VALVES
 - INSTALL PEA GRAVEL FLUSH WITH ELECTRIC VALVE.
 - PROVIDE A 24" WIRE EXPANSION COIL AT EACH DRY SPlice WIRE CONNECTION.
 - CENTER VALVE ASSEMBLY IN VALVE BOX.

BACKFLOW PREVENTER CONNECTION
NOT TO SCALE

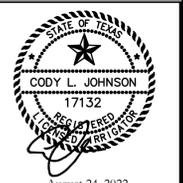
APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2022.
WITNESS OUR HANDS, this _____ day of _____, 2022.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

SCREENING AND BUFFERING
Irrigation Plan
Saddle Star South - Phase 2
City of Rockwall, RockwallCounty, Texas

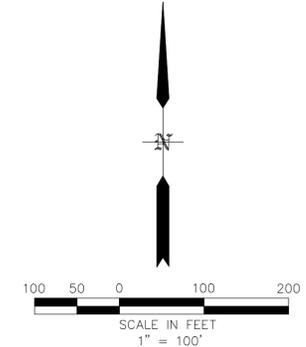
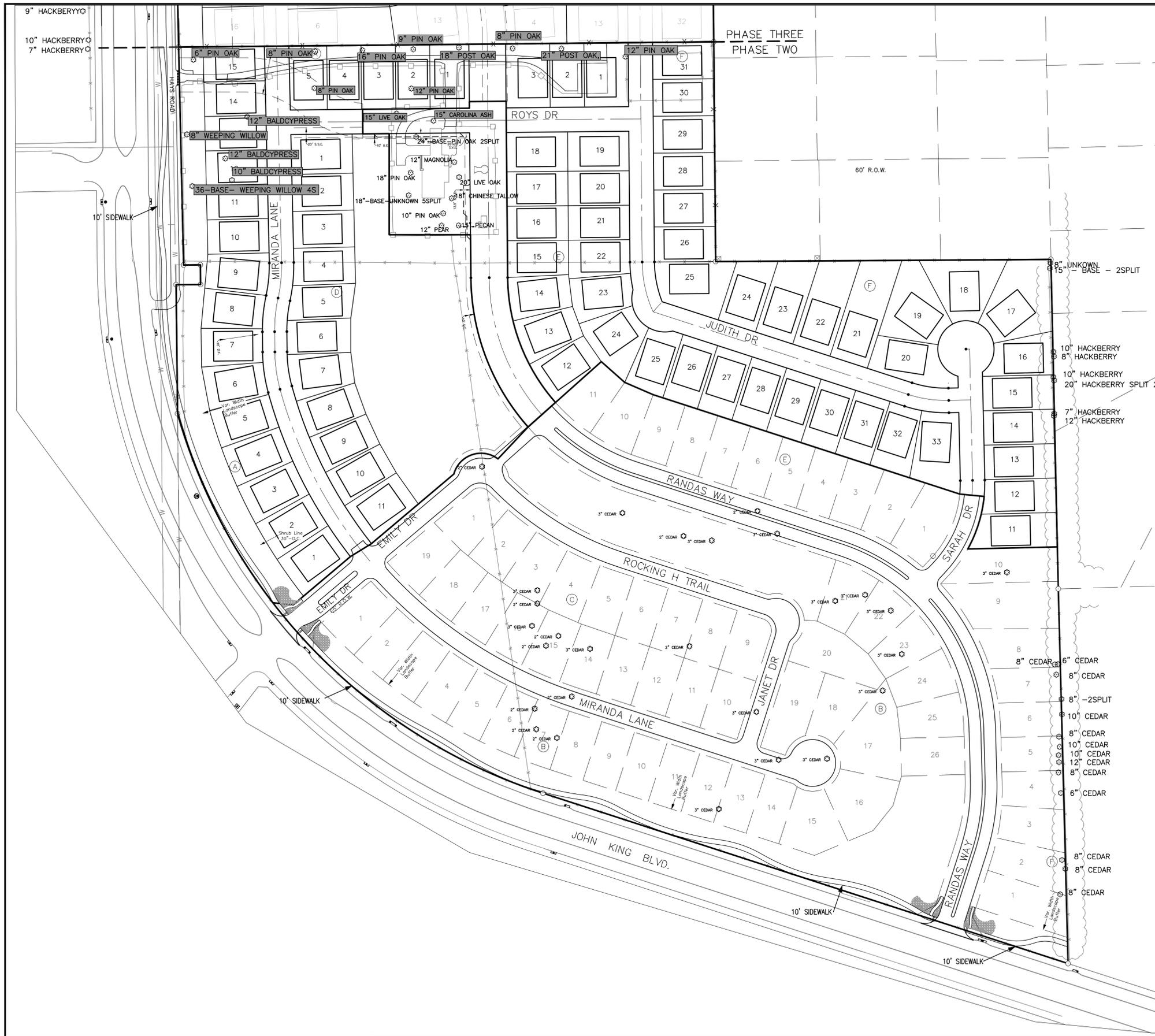
CJS PROJECT NO.
PAD001C
SHEET NO.
IR8 of 8

JOHNSON VOLK CONSULTING
17132
August 24, 2022



Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.
One Inch

CITY PROJECT NO. SP2022-055



LEGEND	
	EXISTING TREE
	TREE TO BE REMOVED

SADDLE STAR SOUTH TREES to be REPLACED

- 82 - 4" CANOPY TREE
 - 316 - 3" CANOPY TREE
 - 112 - 6' ACCENT TREE
- 1260 CALIPER INCHES

SADDLE STAR SOUTH TREES to be REMOVED

#	TYPE	Health	Mitigation
1	6" PIN OAK	Healthy	6"
3	8" PIN OAK	Healthy	24"
1	9" PIN OAK	Healthy	9"
2	12" PIN OAK	Healthy	24"
1	16" PIN OAK	Healthy	16"
1	15" LIVE OAK	Healthy	15"
1	18" POST OAK	Healthy	18"
1	21" POST OAK	Healthy	21"
1	15" CAROLINA ASH	Healthy	15"
1	8" WEEPING WILLOW	Healthy	NONE
1	36" WEEPING WILLOW	Healthy	NONE
1	10" BALDCYPRESS	Healthy	10"
2	12" BALDCYPRESS	Healthy	24"

TOTAL 182"

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of ___, 2022.

WITNESS OUR HANDS, this ___ day of ___, 2022.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

OWNER SADDLE STAR SOUTH HOLDINGS, LLC. 2200 ROSS AVE., STE. 4200W DALLAS, TX 75201	DEVELOPER HINES 2200 ROSS AVE., SUITE 4200W DALLAS, TX 75201
---	--

SP2022-055

CAUTION! EXISTING UTILITIES
CONTRACTOR SHOULD CALL 1-800-DIG-TESS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES FOR EXISTING UTILITY LOCATIONS. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION AND TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

BENCHMARK:
BM#1 (#102)
CIRS "ASC SURVEYING COMPANY" BEING IN THE NORTH MEDIAN OF JOHN KING BLVD. AND TO THE WEST OF THE MAIN ENTRANCE OF THE SUBJECT PROPERTY, AND BEING NORTH OF THE MEDIAN POINT 55'.
ELEVATION = 531.58

BM#3 (#106)
CIRS "ASC SURVEYING COMPANY" BEING IN THE MEDIAN OF JOHN KING BLVD. TO THE SOUTHEAST OF THE SUBJECT PROPERTY, AND BEING LOCATED 72.5' TO THE SOUTHEAST OF THE SOUTHEAST CORNER OF THE HEADWALL WITH AN 8'X8' BOX CULVERT.
ELEVATION = 557.33'

ENGINEERINGCONCEPTS & DESIGN, L.P.
ENGINEERING / PROJECT MANAGEMENT / CONSTRUCTION SERVICES - FIRM REG. #F-001145
201 WINDCO CIR, STE 200, WYLIE, TX 75098
972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

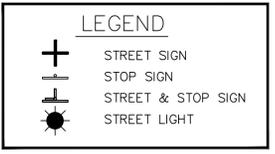
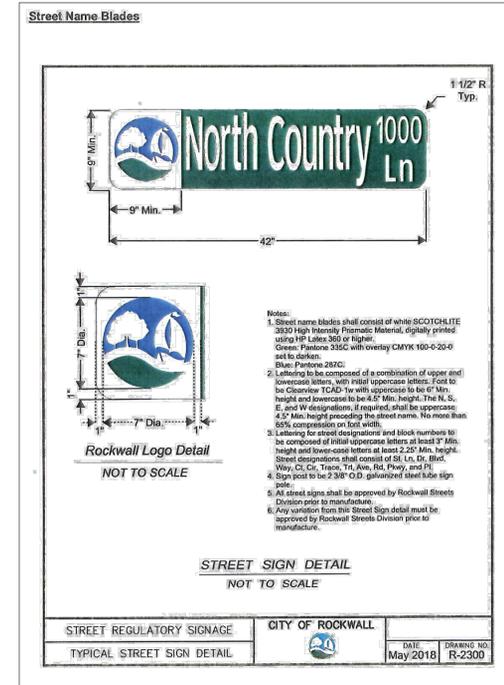
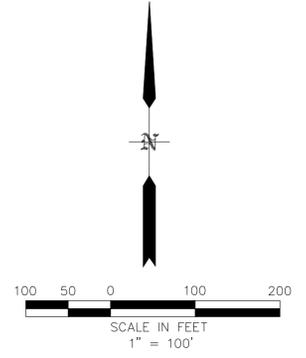
REVISIONS:	
DRAWN: RCK	DATE:
CHECKED: RKH	DATE: 10/26/2022
PROJECT NO.: 06824-2	
DWG FILE NAME: SADDLE STAR PHASE 2 TREESCAPE PLAN.DWG	

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF RYAN C. KING, P.E. (123635) ON 10/26/2022. IT IS NOT TO BE USED FOR CONSTRUCTION.

TREE PLAN

SADDLE STAR SOUTH
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET
1
OF
1



Street Sign Blade Submittal and Final Inspection Prior to Acceptance

(Submittal Example)

- A sample production street sign blade shall be submitted for review and approval. The sample blade shall be directed to the attention of Technical Operations Supervisor, Streets Division, City of Rockwall Service Center, 1600 Airport Road, Rockwall Texas 75087. The sample sign must be submitted for review at least 10 days prior to the scheduled installation date.
- All street and regulatory signage shall be installed, inspected and approved, prior to final acceptance of the project. This inspection typically takes place as part of the engineering department's final walkover. Any sign related issue/issues will be noted on the projects final punch list.

Standard Street Sign - Pole and Fixtures (Maintained By the City of Rockwall)

- Standard Street Sign Post - shall be 12' long - minimum (2-3/8") galvanized steel round post with a minimum of 60 mil wall thickness.
- Standard Post Installation Depth - sign post shall be installed into solid ground to a minimum depth of 24-inches and anchored with a minimum of 60lbs of concrete.
- Standard Post Bracket - shall be (18") cast aluminum round post bracket street sign mount for bottom street blade.
- Standard Top Crossing Bracket - shall be (12") cast aluminum top crossing street sign bracket mount for top street blade.
- Standard Mounting Bracket Assemblies - shall be (2-2/8") diameter aluminum round post interlocking bracket x 2 per pole.

A SAMPLE SIGN MUST BE SUBMITTED FOR APPROVAL BY THE CITY PRIOR TO FABRICATION OF ALL STREET SIGNS.

NOTE:
 IF THE DEVELOPER ELECTS TO INSTALL DECORATIVE SIGN POLES AND FIXTURES:
 -HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR ALL CARE AND MAINTENANCE FOR ANY DECORATIVE SIGN POLES INSTALLED.
 -PLAT SHALL HAVE ITEM NOTE "HOA MUST MAINTAIN, REPAIR, AND REPLACE ALL NON-STANDARD STREET AND REGULATORY SIGN POLES AND FIXTURES OR OTHER APPROVED NON-STANDARD ITEMS."
 -THE CITY OF ROCKWALL WILL NOT BE RESPONSIBLE TO STORE OR HANDLE AND DECORATIVE SIGN POST OR FIXTURES.
 -THE CITY OF ROCKWALL RESERVES THE RIGHT TO APPROVE OR DISAPPROVE ANY DECORATIVE NON-STANDARD STREET SIGN AND REGULATES SIGN POLES/POSTS AND FIXTURES.
 -STANDARD STREET AND REGULATORY 2' x 8" GALVANIZED STEEL ROUND POST WITH ASSOCIATED FIXTURES TO BE USED.

*ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

CAUTION! EXISTING UTILITIES
 CONTRACTOR SHOULD CALL 1-800-HIG-TESTS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES FOR EXISTING UTILITY LOCATIONS. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION AND TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

CAUTION! EXISTING UTILITIES
 THE CONTRACTOR SHALL CONTACT NTRWD LINE LOCATES AT (469) 626-4569 AT LEAST 72 HOURS PRIOR TO PERFORMING ANY WORK IN THE VICINITY OF THE NTRWD FACILITIES.

BENCHMARK:
 BM#1 (#102)
 CIRS "ASC SURVEYING COMPANY" BEING IN THE NORTH MEDIAN OF JOHN KING BLVD. AND TO THE WEST OF THE MAIN ENTRANCE OF THE SUBJECT PROPERTY, AND BEING NORTH OF THE MEDIAN POINT 55'.
 ELEVATION = 531.58

BM#3 (#106)
 CIRS "ASC SURVEYING COMPANY" BEING IN THE MEDIAN OF JOHN KING BLVD. TO THE SOUTHEAST OF THE SUBJECT PROPERTY, AND BEING LOCATED 72.5' TO THE SOUTHEAST OF THE SOUTHEAST CORNER OF THE HEADWALL WITH AN 8'x8' BOX CULVERT.
 ELEVATION = 557.33'

ENGINEERING / PROJECT MANAGEMENT /
 CONSTRUCTION SERVICES - FIRM REG. #F-001145
 201 WINDCO CIR, STE 200, WYLIE, TX 75098
 972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

REVISIONS:	
DRAWN: MJH	DATE:
CHECKED: RCK	DATE: 8/22/2022
PROJECT NO.: 06824-2	
DWG FILE NAME: 06824-2.SL.DWG	

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERNAL REVIEW UNDER THE AUTHORITY OF RYAN C. KING, P.E. (123635) ON 8/22/2022. IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING, OR PERMITTING.

STREET LIGHT AND SIGNAGE PLAN

SADDLE STAR SOUTH PHASE 2

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: November 15, 2022
APPLICANT: Javier Silva; *JMS Custom Homes, LLC*
CASE NUMBER: Z2022-047; *Zoning Change from Agricultural (AG) District to General Retail (GR) District*

SUMMARY

Hold a public hearing to discuss and consider a request by Javier Silva and JMS Custom Homes, LLC for the approval of a Zoning Change from Agricultural (AG) District to a General Retail (GR) District for a 1.837-acre tract of land identified as Tract 6 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located on the east side of FM-1141 south of the intersection of Waters Edge Drive and FM-1141, and take any action necessary.

BACKGROUND

The City Council approved *Ordinance No. 86-37* annexing part of the subject property into the City on May 19, 1986 [Case No. A1986-005]. The remainder of the property was annexed into the City on March 16, 1998 by *Ordinance No. 98-10* [Case No. A1998-001]. At the time of annexation, the subject property was zoned Agricultural (AG) District. No changes have occurred on the subject property since it was annexed and rezoned in 1998.

PURPOSE

On October 14, 2022, the applicant -- *Javier Silva with JMS Custom Homes, LLC* -- submitted an application requesting to change the zoning of the *subject property* from an Agricultural (AG) District to a General Retail (GR) District. The purpose of this request is to accommodate the future construction of a commercial office on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 880 FM-1141. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is one (1) lot zoned General Retail (GR) District (*i.e. Tract 9 of the M. B. Jones Survey, Abstract No. 122*). North of this FM-1141, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are two (2) tracts of land (*i.e. Tracts 29 & 29-1 of the S. S. McCurry Survey, Abstract No. 146*), zoned Agricultural (AG) District. Situated on one (1) of the tracts of land is an existing single-family home. North of this is Phase 6 of the Caruth Lakes Subdivision, which is zoned Planned Development District 5 (PD-5) and consists of 158 single-family residential lots on 47.93 acres. Beyond this is Phase 7B of the Caruth Lakes Subdivision, which is zoned Planned Development District 5 (PD-5) and consists of 66 residential lots on 17.13-acres.

South: Directly east of the subject property is one (1) lot, which is part of a 9.894-acre tract of land (*i.e. Lot 1, Block B, Ladera Rockwall Addition*) zoned Planned Development District 85 (PD-85) for General Retail (GR) District land uses. Beyond this is SH-66, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is one (1) lot which is part of a 9.894-acre tract of land (*i.e. Lot 1, Block A, Ladera Rockwall Addition*) zoned Planned Development District 85 (PD-85) for Single-Family 7 (SF-7) District land uses.

Beyond this is N. John King Boulevard., which is identified as a P6D (*i.e. principal arterial, six (6) lane, divided roadway*) on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is a 60.277-acre tract of land (*i.e. Tract 2-3 of the M. B. Jones Survey, Abstract No. 122 and S. S. McCurry Survey, Abstract No. 146*) zoned Planned Development District 5 (PD-5). Beyond this is Phase 5 of the Caruth Lakes Subdivision, which is zoned Planned Development District 5 (PD-5) and consists of 137 residential lots on 37.53-acres.

CHARACTERISTICS OF THE REQUEST

The applicant is requesting to rezone the 1.837-acre parcel of land from an Agricultural (AG) District to a General Retail (GR) District for the purpose of constructing a commercial office on the subject property.

CONFORMANCE WITH THE CITY’S CODES

According to Subsection 04.04, *General Retail (GR) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(t)he General Retail (GR) District is a zoning district intended to provide limited retail and service uses ... [*that*] include most types of retail and office activity, and are typically located on/at the intersections of major thoroughfares.” This section goes on to state that “(s)ince the General Retail (GR) District will be located close to residential areas, the development standards are stringent and require high standards of development ...” These standards are defined in Subsection 07.03, *Non-Residential District Development Standards*, of the Unified Development Code (UDC) and are summarized as follows:

TABLE 1: GENERAL RETAIL (GR) DISTRICT STANDARDS

<i>Minimum Lot Area</i>	6,000 SF
<i>Minimum Lot Width</i>	60’
<i>Minimum Lot Depth</i>	100’
<i>Minimum Front Yard Setback</i> ^{(1) & (2)}	15’
<i>Minimum Side Yard Setback</i> ⁽³⁾	10’
<i>Minimum Rear Yard Setback</i> ⁽³⁾	10’
<i>Minimum Between Buildings</i> ⁽³⁾	10’
<i>Maximum Building Height</i> ⁽⁴⁾	36’
<i>Maximum Building Size</i> ⁽⁵⁾	25,000 SF
<i>Maximum Lot Coverage</i>	40%
<i>Minimum Landscaping</i>	20%

General Notes:

- 1: From future right-of-way as shown on the adopted Master Thoroughfare Plan or as actually exists, whichever is greater.
- 2: Parking should not be located between the front façade and the property line.
- 3: The setback can be reduced to zero (0) feet with a fire rated wall.
- 4: Building height may be increased up to 60-feet if approved through a Specific Use Permit (SUP) by the Planning and Zoning Commission and City Council.
- 5: A maximum building size of 25,000 SF in area, unless otherwise approved through a Specific Use Permit (SUP) by the Planning and Zoning Commission and City Council.

Based on this, the requested zoning change does appear to conform to the surrounding area. In addition, both the properties to the north and south of the subject property are zoned for General Retail (GR) District land uses. If this zoning change is approved and when the subject property is developed, the development will be required to conform to all the requirements of the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, and any other applicable local, state or federal requirements.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the Northwest Residential District and is designated for Commercial/Retail land uses. The *Land Use Designations* section of the plan states that, “(t)he Commercial/Retail land use category is characterized by single to multi-tenant commercial retail centers along major

arterials at key intersection ...". Additionally, the General Retail (GR) District is one (1) of the permitted zoning designations for the Commercial/Retail designation. Based on this the proposed zoning change meets the intent of the Comprehensive Plan.

NOTIFICATIONS

On October 20, 2022, staff notified 56 property owners and occupants within 500-feet of the subject property. Staff also notified the Caruth Lakes (*Caruth Ridge Estates*) Homeowners Association (HOA), which is the only Homeowner's Association (HOA) or Neighborhood Group within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was written, staff had received two (2) notices from two (2) property owners opposed to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to rezone the subject property from an Agricultural (AG) District to a General Retail (GR) District, then staff would propose the following conditions of approval:

- (1) Any construction resulting from the approval of this Zoning Change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 880 FM 1141 Rockwall TX 75087

SUBDIVISION _____ LOT _____ BLOCK _____

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING AG CURRENT USE Empty
 PROPOSED ZONING Commercial I PROPOSED USE OFFICE spaces
 ACREAGE 1.83 LOTS [CURRENT] _____ LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER JMS CustomHomes LLC APPLICANT
 CONTACT PERSON Javier Silva CONTACT PERSON _____
 ADDRESS 58 windsor DR. ADDRESS _____
 CITY, STATE & ZIP Rockwall TX 75032 CITY, STATE & ZIP _____
 PHONE 972-8149462 PHONE _____
 E-MAIL Support@JmsCustomHomes.net E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

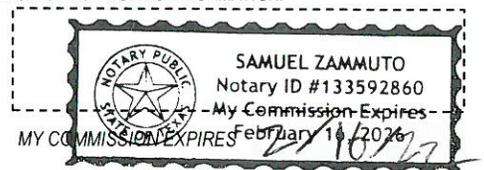
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Javier Silva [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 30 DAY OF September, 2022

OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____





Z2022-047: Zoning Change from AG to GR at 880 FM 1141

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

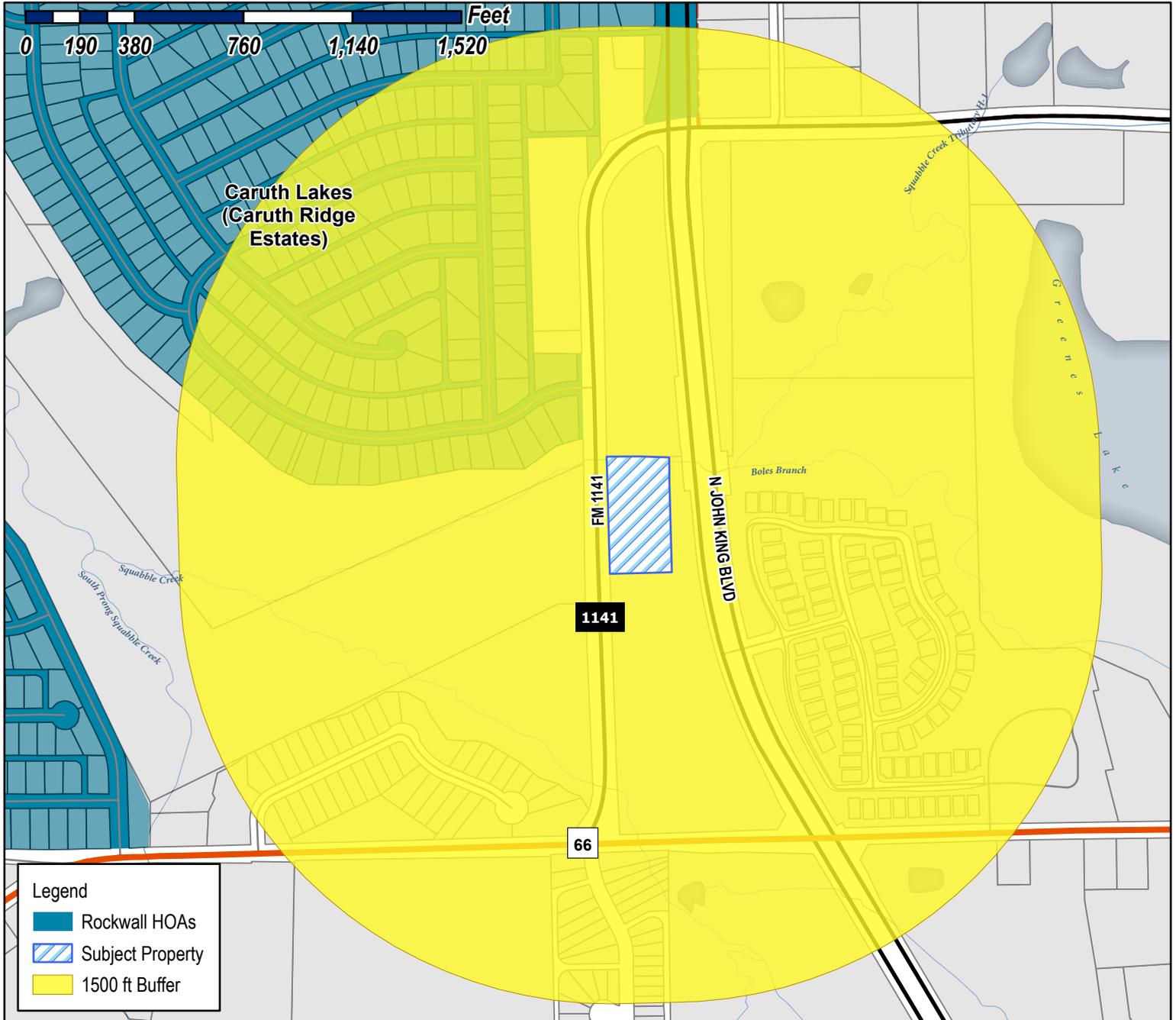




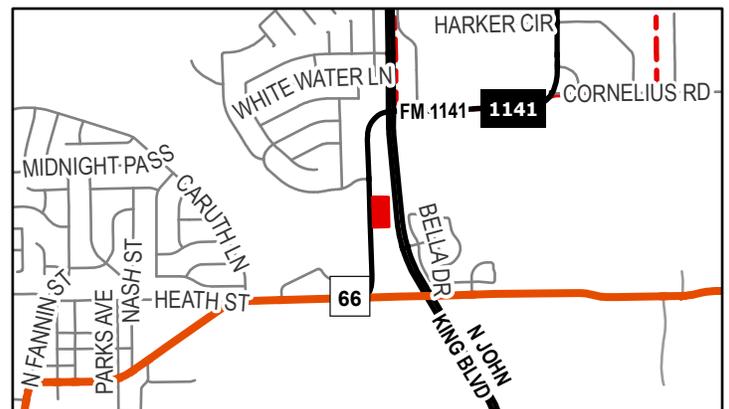
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2022-047
Case Name: Zoning Change from AG to GR
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: 883 FM 1141



Date Saved: 10/14/2022
 For Questions on this Case Call (972) 771-7745

From: [Guevara, Angelica](#)
Cc: [Miller, Ryan](#); [Ross, Bethany](#); [Lee, Henry](#)
Bcc: [REDACTED]
Subject: Neighborhood Notification Program [Z2022-047]
Date: Thursday, October 20, 2022 9:05:12 AM
Attachments: [HOA Map \(10.14.2022\).pdf](#)
[Public Notice \(Z2022-047\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on October 21, 2022. The Planning and Zoning Commission will hold a public hearing on Tuesday, November 15, 2022 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 21, 2022 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2022-047: Zoning Change from Agricultural (AG) District to General Retail (GR) District
Hold a public hearing to discuss and consider a request by Javier Silva and JMS Custom Homes, LLC for the approval of a Zoning Change from Agricultural (AG) District to a General Retail (GR) District for a 1.837-acre tract of land identified as Tract 6 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located on the east side of FM-1141 south of the intersection of Waters Edge Drive and FM-1141, and take any action necessary.

Thank you,

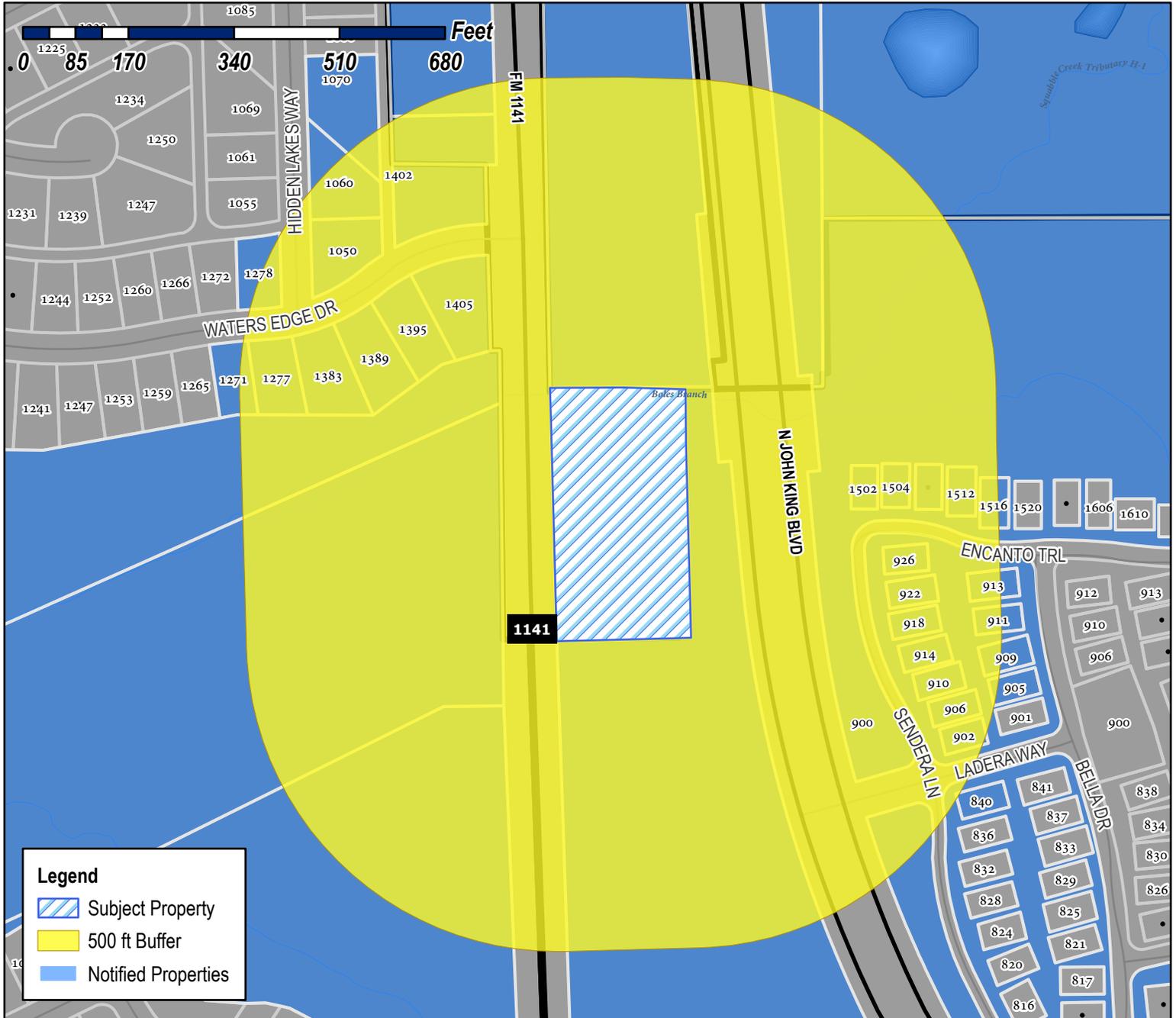
Angelica Guevara
Planning Technician
City of Rockwall Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087
Office: 972-771-7745
Direct: 972-772-6438



City of Rockwall

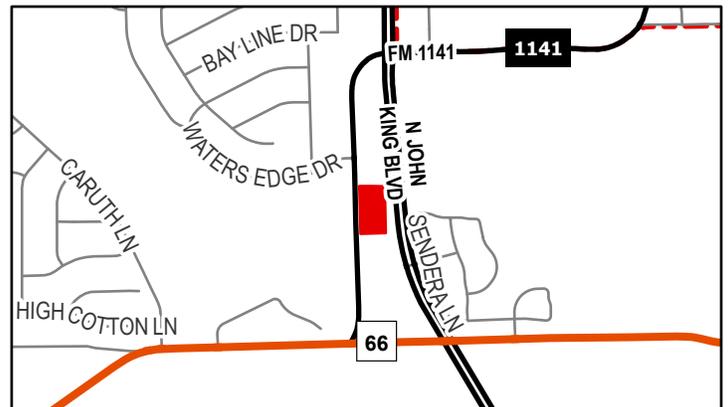
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2022-047
Case Name: Zoning Change from AG to GR
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: 883 FM 1141

Date Saved: 10/14/2022
 For Questions on this Case Call (972) 771-7745



KEHM NATALIE & DONAVON
1050 HIDDEN LAKES WAY
ROCKWALL, TX 75087

TAYLOR STEVEN MURRY & ANITA
1060 HIDDEN LAKES WAY
ROCKWALL, TX 75087

LEAHY ANDERSON C AND KAITLIN A
1070 HIDDEN LAKES WAY
ROCKWALL, TX 75087

SEE BETTY
110 WESTMINISTER
ROCKWALL, TX 75032

SEE BETTY
110 WESTMINISTER
ROCKWALL, TX 75032

SEE BETTY
110 WESTMINISTER
ROCKWALL, TX 75032

HUNTER JAMES DARL & SUSAN BAILEY
1271 WATERS EDGE DRIVE
ROCKWALL, TX 75087

JACKSON BEAU MICHAEL AND AMANDA
1277 WATERS EDGE
ROCKWALL, TX 75087

BUCHHOLZ RON AND PENNY FAMILY
REVOCABLE TRUST
1278 WATERS EDGE DR
ROCKWALL, TX 75087

RYDER HEATH JAMES AND MELANIE ANN
1383 WATER EDGE DRIVE
ROCKWALL, TX 75087

WOODUL NETA J
1389 WATERS EDGE DR
ROCKWALL, TX 75087

ELLIOTT CHRISTOPHER ANDREW & HEATHER R
1395 WATERS EDGE DRIVE
ROCKWALL, TX 75087

CARUTH RIDGE ESTATES HOMEOWNERS
ASSOCIATION INC
C/O VISION COMMUNITIES MANAGEMENT INC
1402 WATERS EDGE DR
ROCKWALL, TX 75087

GROGAN DANIEL R
1405 WATERS EDGE DRIVE
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC
1502 ENCANTO TRL
ROCKWALL, TX 75087

DANIEL M YOUNG & TERYL H YOUNG JOINT
DECLARATION OF TRUST
DANIEL M YOUNG & TERYL H YOUNG AS
TRUSTEES
1504 ENCANTO TRL
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC
1508 ENCANTO TRL
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC
1512 ENCANTO TRL
ROCKWALL, TX 75087

JENSEN JOYCE
1516 ENCANTO TRAIL
ROCKWALL, TX 75087

CTDIGLAND LLC
361 W BYRON NELSON BLVD SUITE 104
ROANOKE, TX 76262

RW LADERA LLC
361 W BYRON NELSON BLVD SUITE 104
ROANOKE, TX 76262

RW LADERA LLC
361 W BYRON NELSON BLVD SUITE 104
ROANOKE, TX 76262

INTEGRITY RETIREMENT GROUP LLC
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ROANOKE, TX 76262

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ROANOKE, TX 76262

INTEGRITY RETIREMENT GROUP LLC
361 W BYRON NELSON BLVD SUITE 104
ROANOKE, TX 76262

CITY OF ROCKWALL
385 S GOLIAD ST
ROCKWALL, TX 75087

CITY OF ROCKWALL
ATTN;MARY SMITH
385 S GOLIAD ST
ROCKWALL, TX 75087

CITY OF ROCKWALL
385 S GOLIAD ST
ROCKWALL, TX 75087

CITY OF ROCKWALL
385 S GOLIAD ST
ROCKWALL, TX 75087

HONZELL DAVID AND PATRICIA
414 E. COACHLIGHT TRAIL
ROCKWALL, TX 75087

BUCHHOLZ RON AND PENNY FAMILY
REVOCABLE TRUST
5035 PINE DR
BOYNTON BEACH, FL 33437

CARUTH RIDGE ESTATES HOMEOWNERS
ASSOCIATION INC
C/O VISION COMMUNITIES MANAGEMENT INC
5757 ALPHA RD STE 680
DALLAS, TX 75240

RW LADERA LLC
840 SENDERA LN
ROCKWALL, TX 75087

SEE BETTY
880 FM1141
ROCKWALL, TX 75087

SEE BETTY
880 FM1141
ROCKWALL, TX 75087

CAMPBELL EDWARD E
902 SENDERA LANE
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC
905 BELLA DR
ROCKWALL, TX 75087

MOORE MARVI AND MARIE B AND
DEANNE PHILLIPS MOORE
906 SENDERA LN
FATE, TX 75132

RW LADERA LLC
909 BELLA DR
ROCKWALL, TX 75087

LANDERS NANCY
910 SENDERA LN
ROCKWALL, TX 75087

SMITH JOHN AND CATHERINE AND
CHRISTINE WILSON
911 BELLA DR
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC
913 BELLA DR
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC
914 SENDERA LN
ROCKWALL, TX 75087

LILYHORN PAULA AND GREG
918 SENDERA LN
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC
922 SENDERA LN
ROCKWALL, TX 75087

INTEGRITY RETIREMENT GROUP LLC
926 SENDERA LN
ROCKWALL, TX 75087

FOERSTER ELWYNNE ANN
323 ELM DR
927 FM1141
ROCKWALL, TX 75087

DANIEL M YOUNG & TERYL H YOUNG JOINT
DECLARATION OF TRUST
DANIEL M YOUNG & TERYL H YOUNG AS
TRUSTEES
9600 NE COUNTY LINE RD
COSBY, MO 64436

WHITTLE ROBERT S
PO BOX 369
ROCKWALL, TX 75087

FOERSTER ELWYNNE ANN
323 ELM DR
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2022-047: Zoning Change from Agricultural (AG) District to General Retail (GR) District

Hold a public hearing to discuss and consider a request by Javier Silva and JMS Custom Homes, LLC for the approval of a Zoning Change from Agricultural (AG) District to a General Retail (GR) District for a 1.837-acre tract of land identified as Tract 6 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located on the east side of FM-1141 south of the intersection of Waters Edge Drive and FM-1141, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 15, 2022 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 21, 2022 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 21, 2022 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2022-047: Zoning Change from Agricultural (AG) District to General Retail (GR) District

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

[PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE](#)

Case No. Z2022-047: Zoning Change from Agricultural (AG) District to General Retail (GR) District

Please place a check mark on the appropriate line below:

 I am in favor of the request for the reasons listed below. I am opposed to the request for the reasons listed below.

When I bought my home, I thought it would be in a quiet & single family neighborhood. I do not want commercial or retail in my neighborhood. It will add more traffic & noise. Thanks

Name: Neta Woodul

Address: 1389 WATERS EDGE DR. ROCKWALL, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

Neta Woodul

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2022-047: Zoning Change from Agricultural (AG) District to General Retail (GR) District

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Too much traffic congestion in this area.

This change would not be beneficial to the community.

Name: Joyce Jensen

Address: 1516 Encanto Trail Rockwall TX 57087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

The City of Rockwall, Texas

Called 10.942 Acres

2007-00389123

"DRAINAGE EMT."
CITY OF ROCKWALL, TEXAS
vs.
JOHN CULLINS AND WIFE, JANE CULLINS
AND BURNS T. PAYNE, JR.
CAUSE NO. 180-633
CALLED 0.151 ACRES
INST. NO. 2009-00410863

"DRAINAGE EMT."
CITY OF ROCKWALL, TEXAS
vs.
JOHN CULLINS AND WIFE, JANE CULLINS
AND BURNS T. PAYNE, JR.
CAUSE NO. 180-633
CALLED 0.302 ACRES
INST. NO. 2009-00410863

BETTY BOSARD
TRACT 1
CALLED 1.837 ACRES
INST. NO. 2005-00396742

RE LADERA, LLC
CALLED 26.011 ACRES
2017000022704

JOHN H. CULLINS
TRACT 1
CALLED 10.942 ACRES
INST. NO. 2008-00396743

"HIGHWAY 205 BYPASS R.O.W."
CITY OF ROCKWALL, TEXAS
vs.
JOHN CULLINS AND WIFE, JANE CULLINS
AND BURNS T. PAYNE, JR.
CAUSE NO. 180-633
CALLED 3.983 ACRES
INST. NO. 2009-00410863

CTDIO LAND, LLC
CALLED 9.894 ACRES
2017000022708

LEGAL DESCRIPTION
1.837 Acres
M. Jones Survey, Abstract No. 122
City of Rockwall
Rockwall County, Texas

BEING all that certain lot, tract or parcel of land situated in the M. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, and being all of that called 1.837 acres of land described in Tract 1, it being duly begun recorded in Instrument No. 2005-00396742, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

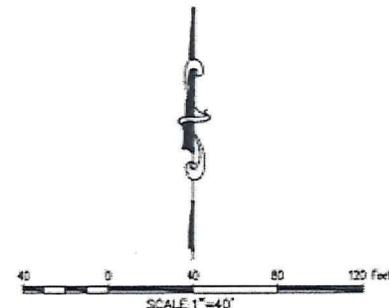
BEGINNING at the northeast corner of said Tract 1, same being the southeast corner of a called 10.942 acre tract of land described in deed in the City of Rockwall, issued by instrument No. 2007-00389123, Deed Records, Rockwall County, Texas;

THENCE S 89°26'01" E, with the south line of said 10.942 acre tract a distance of 200.01 feet to a 1/2" metal nail set with cap stamped "G&A/Adams" and being the most northerly northeast corner of that called 9.894 acre tract of land described in deed to CTDIO Land, LLC recorded by instrument No. 2017000022708, Deed Records, Rockwall County, Texas;

THENCE S 01°02'06" E, with the east line of said 9.894 acre tract a distance of 455.02 feet to a 1/2" metal nail set with cap stamped "G&A/Adams", being the lower of corner of said 9.894 acre tract;

THENCE S 89°26'01" E, a distance of 200.01 feet to a 1/2" metal nail set with cap stamped "G&A/Adams" at the most westerly northeast corner of said 9.894 acre tract from which a 1/2" metal nail set with cap (toppled) bears S 89°56' E, a distance of 4.22 feet;

THENCE N 01°02'06" W, with the east line of F.M. 1141 a distance of 455.02 feet to the POINT OF BEGINNING and containing approximately 1.837 acres of land.



SURVEYOR'S STATEMENT
I, B. Todd Murley II, a Registered Professional Land Surveyor in the State of Texas, have prepared this plat of the above property from an actual survey on the ground, and this plat represents the survey made by me or under my supervision.
PRELIMINARY DOCUMENT:
THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR REFERRED TO AS A BASIS FOR ANY LEGAL SURVEY DOCUMENT.
BY: B. TODD MURLEY II, RPLS 6862 4/8/10
M. Todd Murley II, RPLS
Texas Registration No. 5822

SURVEY PLAT
1837 Acres
in the
M. JONES SURVEY, ABSTRACT NO. 122
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

The John R. McAdams Company, Inc.
(DBA: G&A | McAdams)
111 HEBBORN Drive
Lawrenceville, Texas 75067
972.436.5712
201 Country View Drive
Rockwall, Texas 75087
940.240.1012
TSP# 10162 TEP#20 10194440
www.gandm.com
www.mcadamsco.com

DRAWN BY: SW DATE: 04/11/2019 SCALE: 1"=40' JOB NO. SPEC-19090

- NOTES:**
1. Bearings based on Texas Coordinate System, North Central Zone, (4222), NAD 83.
 2. This survey was prepared in connection with the Real Estate transaction related to Plaintiff National Title Insurance Company, C/P 7553227. Commitment effective March 27, 2018. G&A/Adams shall not be held liable for any unauthorized use hereof.
 3. Description is made to original purchaser of the survey. It is not transferable to additional institutions or subsequent owners. G&A/Adams and the Surveyor shall not be liable for any unauthorized use hereof.
 4. Surveyor has made no investigation or independent search for easements of record, restrictive covenants, servitude (the existence, or any other facts that and accurate abstract of the map disclose).
 5. According to Community/Parcel No. 4839700030, effective September 26, 2008, of the FLOOD INSURANCE RATE MAP for Rockwall County, Texas & Incorporated Areas, by graphic platting only, this property appears to be within Flood Zone "X" (area of minimal flooding), and Flood Zone A (areas determined to be in the 1-percent annual-chance flood event. Because detailed hydraulic analysis have not been performed, no Base Flood Elevations (BFEs) or flood depths are shown.) This flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes.
 6. No flood zone and analysis has been performed by G&A/Adams on the subject property.
 7. All original copies of survey maps and descriptions by the surveyor and firm whose name appear hereon all contain an unredacted surveyor's seal. Any map or description copy without that unredacted seal is a copy not prepared by the office of the surveyor and may contain alterations or deletions made without the knowledge or oversight of the surveyor.
 8. Easement executed by B.T. Payne Jr. to Duane Electric Delivery Company, recorded in Volume 3522, Page 325, Real Property Records, Rockwall County, Texas, does not include subject property.

- LEGEND**
- REBAR FOUND
 - CARPET REBAR SET
 - BUILDING LINE
 - UTILITY EASEMENT
 - CARPET REBAR FOUND
 - POINT OF BEGINNING
 - MUTUAL ACCESS EASEMENT
 - SANITARY SEWER EASEMENT
 - WATER LINE EASEMENT
 - POWER POLE
 - LIGHT POLE
 - WATER VALVE
 - SEWER MANHOLE
 - FIRE HYDRANT
 - SANITARY SEWER MANHOLE
 - STORM SEWER MANHOLE
 - TRAFFIC SIGNAL VAULT
 - TELEPHONE ROCKWALL
 - ROAD SIGN
 - THE WARNER CABLE VAULT

BY: B. TODD MURLEY II, RPLS 6862 4/8/10
M. Todd Murley II, RPLS
Texas Registration No. 5822



100m
96.444 32.940 Degrees

CITY OF ROCKWALL

ORDINANCE NO. 22-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO A GENERAL RETAIL (GR) DISTRICT FOR A 1.837-ACRE TRACT OF LAND IDENTIFIED AS TRACT 6 OF THE M. B. JONES SURVEY, ABSTRACT NO. 122, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* AND *EXHIBIT 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Javier Silva for the approval of a *Zoning Change* from an Agricultural (AG) District to a General Retail (GR) District for a 1.837-acre tract of land identified as Tract 6 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 883 FM-1141, and more fully described and depicted in *Exhibit 'A'* and *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from an Agricultural (AG) District to a General Retail (GR) District;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes provided for a *General Retail (GR) District* as stipulated in Subsection 01.01, *Use of Land and Buildings*, of Article 04, *Permissible Uses*, and Subsection 04.04, *General Retail (GR) District*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future;

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in the

zoning described herein;

SECTION 4. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 5. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 5TH DAY OF DECEMBER, 2022.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: November 21, 2022

2nd Reading: December 5, 2022

Exhibit 'B'
Survey

Legal Description: A 1.837-acre tract of land identified as Tract 6 of the M. B. Jones Survey, Abstract No. 122
Addressed As: 883 FM-1141

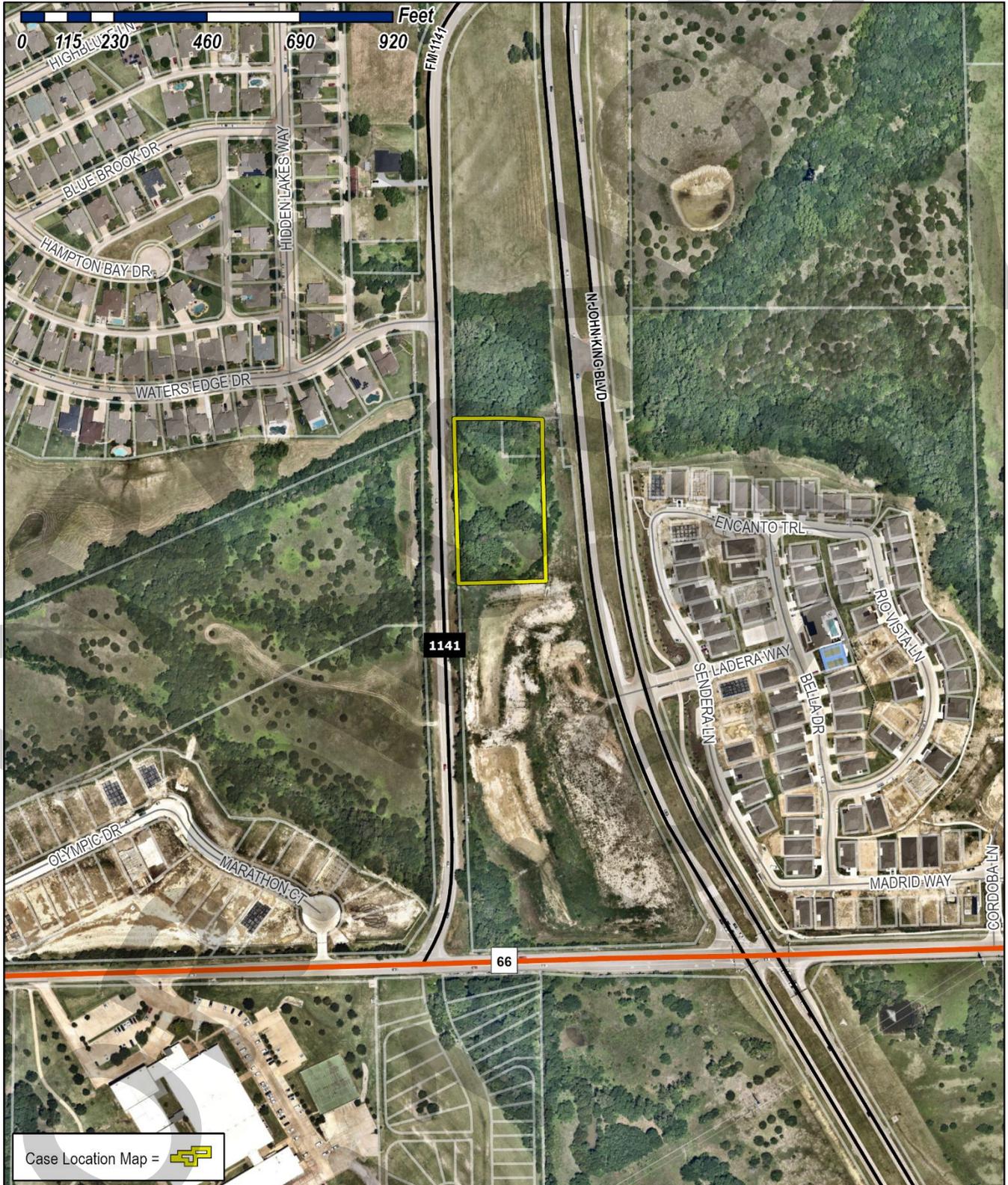
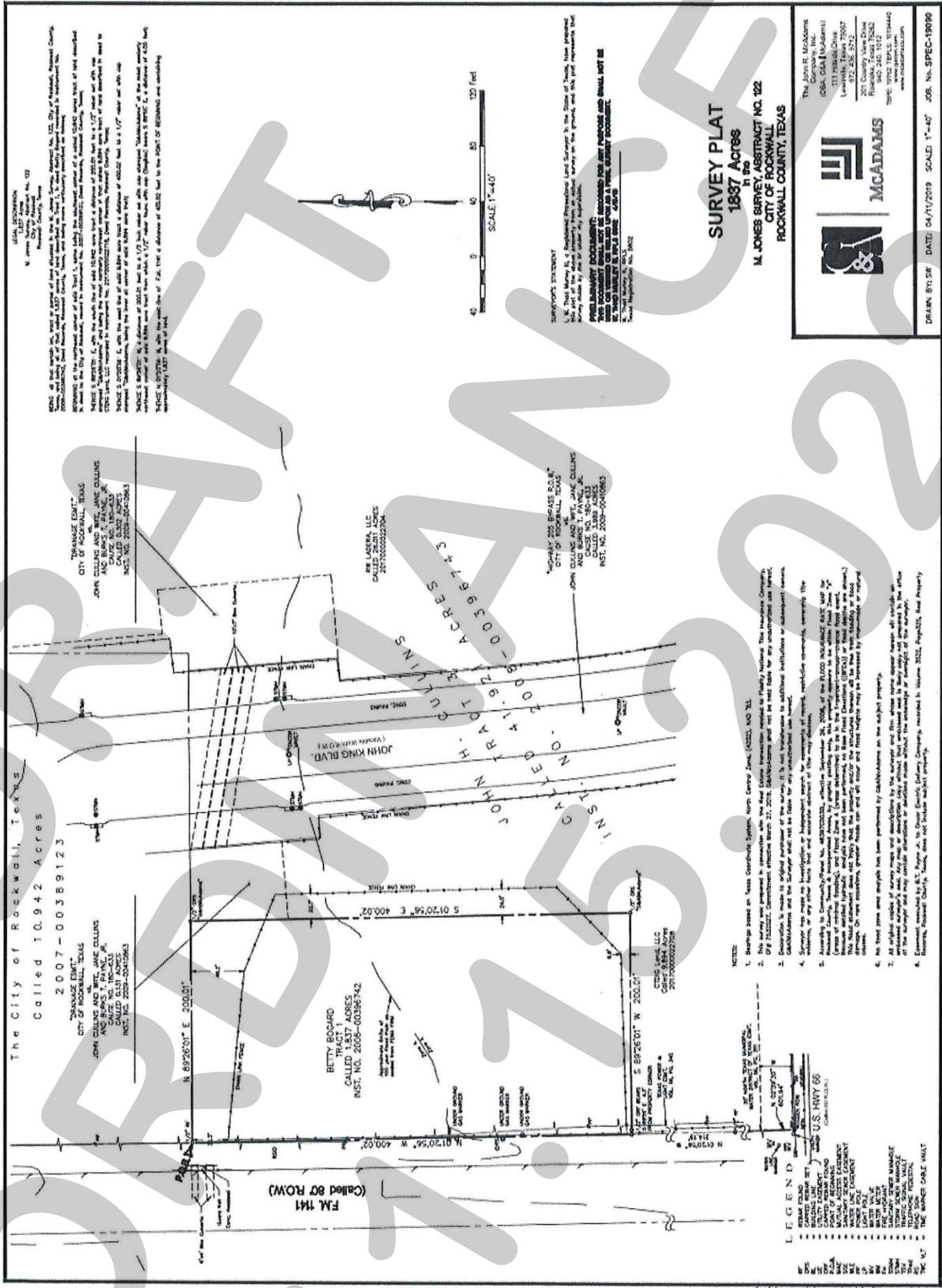


Exhibit 'B'
Survey





TO: Planning and Zoning Commission
DATE: November 15, 2022
APPLICANT: Bryan Cook
CASE NUMBER: Z2022-048; *Specific Use Permit for a Guest Quarters/Secondary Living Unit and Detached Garage at 2348 Saddlebrook Lane*

SUMMARY

Hold a public hearing to discuss and consider a request by Bryan Cook for the approval of a Specific Use Permit (SUP) for a *Guest Quarters/Secondary Living Unit and Detached Garage* on a one (1) acre parcel of land identified as Lot 13, Block A, Saddlebrook Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 2348 Saddlebrook Lane, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on August 30, 1999 by *Ordinance No. 99-33 [Case No. A1999-002]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. On January 19, 2000, Saddlebrook Estates #2 Addition was adopted, establishing 45 single-family homes on 51.47-acres. Based on this information, at some point between the time of annexation and January 19, 2000, the subject property was rezoned to Single-Family 16 (SF-16) District. This remains the current zoning designation of the subject property. According to the Rockwall Central Appraisal District (RCAD), a 3,718 SF single-family home was constructed on the subject property in 2002. Also existing on the subject property is a 164 SF covered porch constructed in 2002, a 216 SF pergola constructed in 2008, and a 128 SF accessory building constructed in 2016.

PURPOSE

The applicant -- *Bryan Cook* -- is requesting the approval of a Specific Use Permit (SUP) to allow for the construction of a *Guest Quarters/Secondary Living Unit and Detached Garage* that exceeds the overall maximum allowable square footage.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 2348 Saddlebrook Lane. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are two (2), one (1) acre lots (*i.e. Lots 14 and 15, Block A, Saddlebrook Estates #2*) zoned Single Family 16 (SF-16) District. Each of the lots currently has a single-family home situated on it. Beyond this is the corporate limits of the City of Rockwall followed by the Saddlebrook Estates Subdivision, which was established in 1978 and consisting of nine (9) single-family homes.

South: Directly south of the subject property is The Rock, which is classified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are three (3), one (1) acre lots (*i.e. Lots 10, 11, & 12, Block A, Saddlebrook Estates #2*), zoned Single Family 16 (SF-16) District. Each of the lots currently has a single-family home situated on it. Beyond that is the corporate limits of the City of Rockwall followed by several lots with single-family homes situated on them.

East: Directly east of the subject property is Saddlebrook Lane, which is classified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is ten (10), one (1) acre lots (*i.e. Lots 11-20, Block B, Saddlebrook Estates #2*)

zoned Single Family 16 (SF-16) District. Each of the lots currently has a single-family home situated on it. Beyond this is FM-1141, which is classified as an M4D (i.e. major collector, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is a 17.51-acre parcel of land (i.e. Lot 1, Block A, Cox Acres) developed with a 4,295 SF single family home. Beyond this is a 2.12-acre parcel of land (i.e. Lot 2, Block A, Utley Addition) developed with a 2,475 SF single family home. Beyond this is E. Old Quail Run Road, which is classified as a R2 (i.e. residential, two [2] lane, undivided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

MAP 1: LOCATION MAP
YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application, residential plot plan, and conceptual building elevations. The applicant is requesting to construct a 2,400 SF *Guest Quarters/Detached Garage*. The *Guest Quarters/Detached Garage* will have 1,440 SF of enclosed area and a 960 SF outdoor living area. According to the applicant, the structure will be used as a garage; however, there will be a bathroom, which is one (1) element of a dwelling unit qualifying this request as a *Guest Quarters/Secondary Living Unit*.

CONFORMANCE WITH THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines a *Guest Quarters/Secondary Living Units* as “(a) accessory building designed for the temporary occupancy of guests of the primary dwelling for which there is no remuneration and is not rented or otherwise used as separate domicile.” According to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) a *Guest Quarters/Secondary Living Units* is permitted as an *Accessory* land use in a Single-Family Estate 1.5 (SFE-1.5) District, and -- according to Subsection 02.03 -- is subject to the following *Conditional Land Use Standards*: [1] the structure must be ancillary to a single-family home, [2] the square footage of the structure shall not exceed 30% of the square footage of the primary structure, and [3] the structure may not be sold or conveyed separately from the single-family home without meeting the zoning requirements for the district. The code goes on to state that *Guest Quarters/Secondary Living Units* not meeting these standards can be approved by the City Council through a Specific Use Permit (SUP). With regard to the *Detached Garage*, Section 07.04. *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) stipulates that the maximum size for a *Detached Garage* shall be 625 SF; however, this section of the code goes on to allow the City Council the ability to approve accessory structures that do not meet the minimum or maximum standards through a Specific Use Permit (SUP). In addition, the *Guest Quarters/Detached Garage* is required to meet the Single-Family 16 (SF-16) District density and dimensional requirements contained in Subsection 07.01, *Residential District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) which are listed below.

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Number of Accessory Structures Permitted</i>	2	X=2; In Conformance
<i>Minimum Rear Yard Setback</i>	10-Feet	In Conformance
<i>Minimum Side Yard Setback</i>	8-Feet	In Conformance
<i>Maximum Building Height</i>	15-Feet	X=14-Feet; In Conformance
<i>Between Buildings</i>	10-feet	In Conformance

STAFF ANALYSIS

Guest Quarters/Secondary Living Unit are permitted to be 30.00% of the square footage of the primary structure. In this case, the applicant is permitted by right a 1,115.4 SF *Guest Quarters/Secondary Living Unit* (i.e. 3,718 SF * 30% = 1,115.4 SF). Staff should also point out that the maximum permissible size of a detached garage is 625 SF. With that being said the applicant is requesting a 2,400 SF *Guest Quarters/Detached Garage*, which exceeds the maximum permitted size of a *Guest Quarters/Secondary Living Unit* by 1,284 SF and represents 64.5% of the primary structure. This structure also exceeds the maximum permitted size of a *Detached Garage* by 1,775 SF. Based on this, the applicant is requesting a Specific Use Permit (SUP) to allow the construction of a *Guest Quarters/Detached Garage* that exceeds the maximum permissible size. For the purpose of comparing the proposed *Guest Quarters/Detached Garage* for the subject to the *Guest Quarters/Detached Garages* constructed on existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos and an analysis of properties on Saddlebrook Lane below. Through the process of analyzing the adjacent properties, staff has reviewed all of the properties in the Saddle Brooks Estates, Phase II Subdivision, and has found four (4) *Detached Garages* that exceed 1,000 SF (i.e. a 1,836 SF *Detached Garage* at 2312 Saddlebrook Lane, a 1,100 SF *Detached Garage* at 2356 Saddlebrook Lane, a 1,860 SF *Detached Garage* at 2364 Saddlebrook Lane, and a 1,300 SF *Detached Garage* at 2385 Saddlebrook Lane); however, none of the structures are of a similar size as to what is being proposed by the applicant. The largest existing *Detached Garage* is 1,860 SF or 540 SF less than what is being proposed by the applicant.



2312 Saddlebrook Lane



2356 Saddlebrook Lane



2364 Saddlebrook Lane



2385 Saddlebrook Lane

Staff has directed the applicant to provide a site plan showing conformance to the density and dimensional requirements for an accessory structure; however, the applicant has not provided a site plan showing conformance. Given this, staff has included a condition of approval that the applicant provide a site plan demonstrating conformance. If the applicant's Specific Use Permit (SUP) is approved, staff has included operational conditions in the Specific Use Permit (SUP) ordinance that tie down the size, height, and general architecture of the proposed structure. In addition, staff has included an operational condition requiring that the 128 SF existing accessory building be removed from the subject property prior to the construction of the *Guest Quarters/Detached Garage*. If this case is approved with would bring the request into conformance with the *Accessory Structure Development Standards* contained in Subsection 07.04 of Article 05, *District Development Standards*, of the Unified Development Code (UDC) with regard to the number of permitted accessory buildings permitted on a property. With this being said, the approval of a Specific Use Permit (SUP) request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On October 20, 2022, staff mailed 24 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Stoney Hollow Homeowners Association (HOA), which is the only HOA or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received the following:

- (1) Two (2) property owner notifications from within the 500-foot buffer in favor of the applicant's request.
- (2) Three (3) property owner notifications from within the 500-foot buffer in opposition of the applicant's request.

NOTE: According to Subsection 02.03(G), *Protest of a Zoning Change*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "(p)roperty owners adjacent to and within a radius of 200-feet of a property for which a zoning change or Specific Use Permit (SUP) is being considered have the right to file a written protest against the request. The land area of this 200-foot radius includes public right-of-way, open space and parkland. Whenever such written protest is signed by the owners of 20% or more of the area of the lots or land included in the request, or of the lots or land immediately adjoining the same and within the above mentioned 200-foot radius ... such zoning change or Specific Use Permit (SUP) shall require a supermajority vote (*i.e. a three-fourths vote of those members present*), with a minimum of four (4) votes in the affirmative required for approval." In accordance with this section of the Unified Development Code (UDC), staff has prepared a *For/Against Map* for the property owner notifications received within 200-feet of the subject property. Currently, the opposition to the applicant's request equates to 34.7% of the total land area within 200-feet of the subject property. This means that this case will require a supermajority vote of the City Council for approval.

CONDITIONS OF APPROVAL

If the City Council chooses to approve of the applicant's request for a Specific Use Permit (SUP) for a *Guest Quarters/Detached Garage*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The development of the *Subject Property* shall generally conform to the *Concept Plan* as depicted in *Exhibit 'B'* of the Specific Use Permit (SUP) ordinance.
 - (b) The construction of a *Guest Quarters/Secondary Living Unit* and *Detached Garage* on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the Specific Use Permit (SUP) ordinance.
 - (c) The *Guest Quarters/Secondary Living Unit* and *Detached Garage* shall not exceed a maximum size of 2,400 SF.
 - (d) The *Guest Quarters/Secondary Living Unit* and *Detached Garage* shall include a paved driveway to the structure.
 - (e) The proposed building shall not have full kitchen facilities.
 - (f) The applicant is to remove the existing 128 SF accessory building prior to the construction of the *Guest Quarters/Secondary Living Unit* and *Detached Garage*.
 - (g) The maximum height of the *Guest Quarters/Secondary Living Unit* and *Detached Garage* shall not exceed a total height of 15-feet.
 - (h) The *Guest Quarters/Secondary Living Unit* and *Detached Garage* shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and the subdivision ordinance.
- (2) The applicant shall provide staff with a site plan that shows conformance to the with the *Residential District Development Standards* contained in Subsection 07.01 of Article 05, *District Development Standards*, of the Unified Development Code (UDC), before the issuance of a building permit.
- (3) Any construction resulting from the approval of this *Specific Use Permit (SUP)* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:
CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2348 Saddlebrook Ln.
 SUBDIVISION Saddlebrook Estates LOT BLOCK
 GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING CURRENT USE
 PROPOSED ZONING PROPOSED USE
 ACREAGE 1 LOTS [CURRENT] LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Bryan Cook APPLICANT SHM
 CONTACT PERSON Bryan Cook CONTACT PERSON
 ADDRESS 2348 Saddlebrook Ln ADDRESS
 CITY, STATE & ZIP Rockwall TX 75087 CITY, STATE & ZIP
 PHONE (714) 869-6197 PHONE
 E-MAIL gmegun@hotmai.com E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Bryan Cook [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF October, 2022
OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]





City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

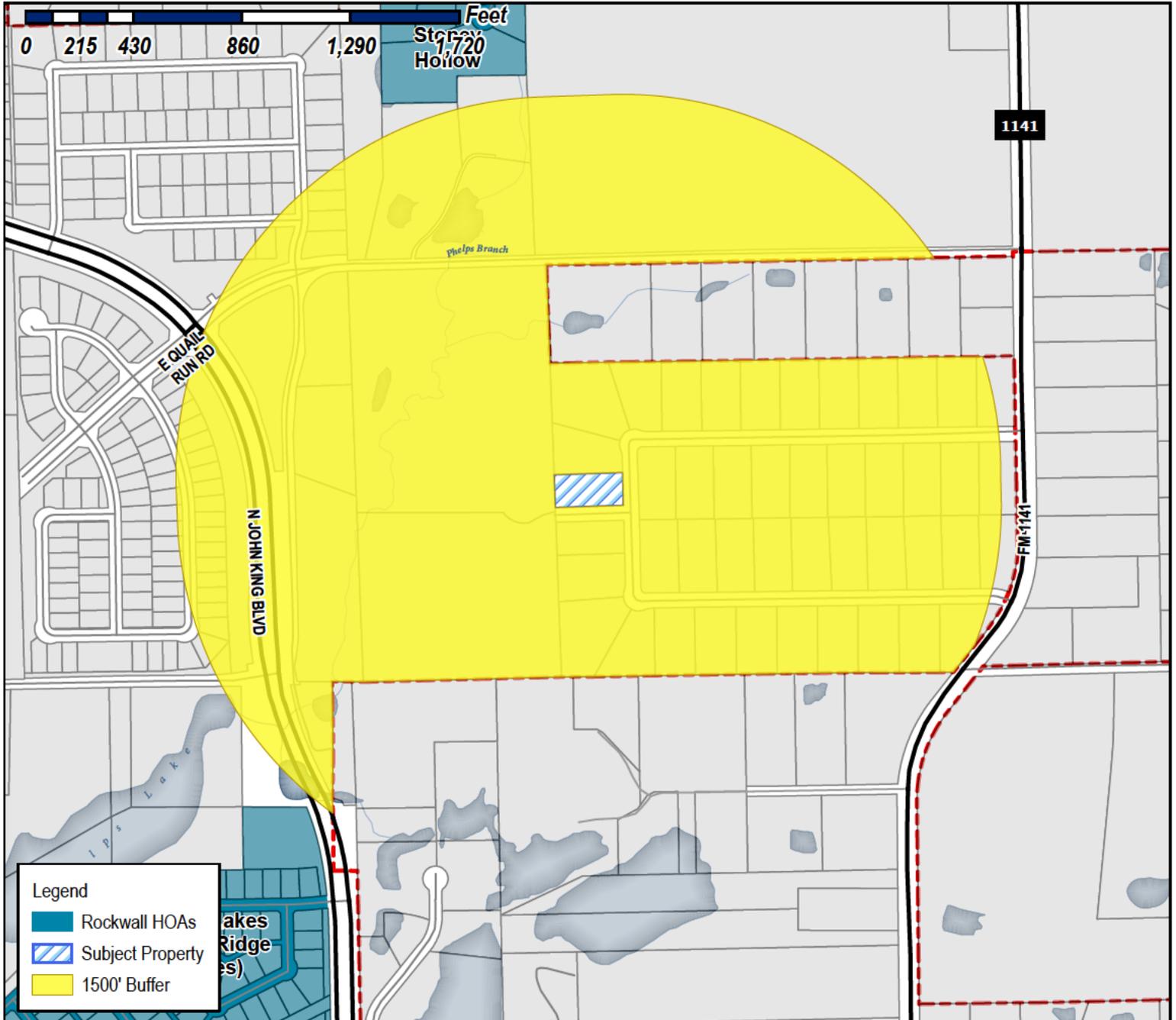




City of Rockwall

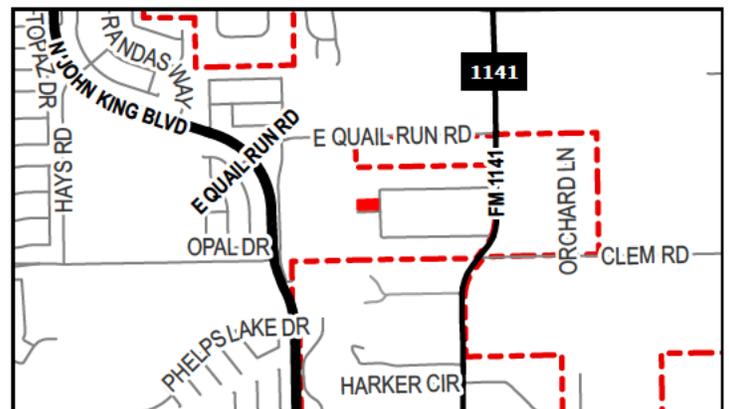
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2022-048
Case Name: SUP for Guest Quarters/ Secondary Living Unit
Case Type: Zoning
Zoning: Single-Family 16 (SF-16) District
Case Address: 2348 Saddlebrook Lane

Date Saved: 10/14/2022
 For Questions on this Case Call (972) 771-7745



From: [Guevara, Angelica](#)
Cc: [Miller, Ryan](#); [Ross, Bethany](#); [Lee, Henry](#)
Subject: Neighborhood Notification Program [Z2022-047]
Date: Thursday, October 20, 2022 9:05:13 AM
Attachments: [HOA Map \(10.14.2022\).pdf](#)
[Public Notice \(Z2022-047\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [October 21, 2022](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, November 15, 2022 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, November 21, 2022 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2022-047: Zoning Change from Agricultural (AG) District to General Retail (GR) District
Hold a public hearing to discuss and consider a request by Javier Silva and JMS Custom Homes, LLC for the approval of a [Zoning Change](#) from Agricultural (AG) District to a General Retail (GR) District for a 1.837-acre tract of land identified as Tract 6 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located on the east side of FM-1141 south of the intersection of Waters Edge Drive and FM-1141, and take any action necessary.

Thank you,

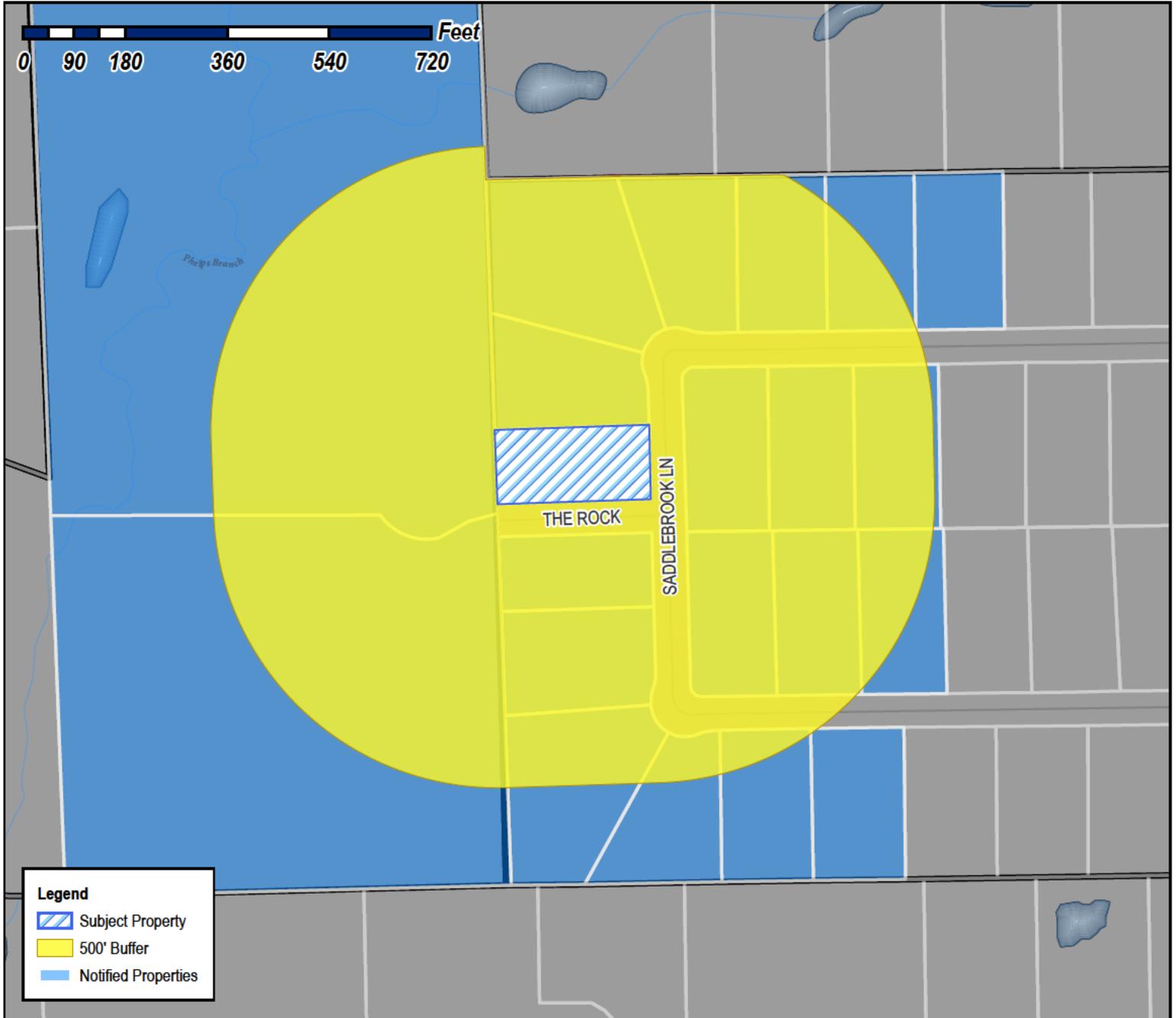
Angelica Guevara
Planning Technician
City of Rockwall Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087
Office: 972-771-7745
Direct: 972-772-6438



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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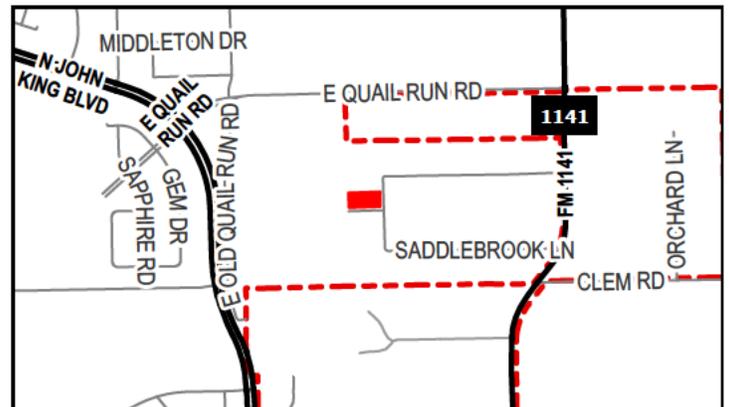


Legend

- Subject Property
- 500' Buffer
- Notified Properties

Case Number: Z2022-048
Case Name: SUP for Guest Quarters/Secondary Living Unit
Case Type: Zoning
Zoning: Single-Family 16 (SF-16) District
Case Address: 2348 Saddlebrook Lane

Date Saved: 10/14/2022
 For Questions on this Case Call (972) 771-7745



TYLER WILLIAM L AND VANITA RAE
1501 THE ROCK
ROCKWALL, TX 75087

COX GERALD GLEN AND ROSALBA CARRASCO
1800 E QUAIL RUN RD
ROCKWALL, TX 75087

FLANNERY SHEILA S & WILLIAM J III
JOINT TENANTS W/RIGHT SURVIVORSHIP
2095 E QUAIL RUN RD
ROCKWALL, TX 75087

FREDERICK CURTIS
2181 E QUAIL RUN RD
ROCKWALL, TX 75087

RESIDENT
2325 SADDLEBROOK LN
ROCKWALL, TX 75087

BROWN CHRISTOPHER & SHELLEY
2329 SADDLEBROOK LN
ROCKWALL, TX 75087

WHITE JOHN C & PAMELA E
2332 SADDLEBROOK LN
ROCKWALL, TX 75087

WHANNELL DAN & TAMMY
2333 SADDLEBROOK LANE
ROCKWALL, TX 75087

SHACK RANDY & JAMIE
2336 SADDLEBROOK LANE
ROCKWALL, TX 75087

THOMAS WILLARD L AND PEGGY J
2337 SADDLEBROOK LANE
ROCKWALL, TX 75087

WRIGHT MARTY ALLEN & DEBRA KAY
2340 SADDLEBROOK LN
ROCKWALL, TX 75087

TROISE GUTHRIE CHASE
2341 SADDLEBROOK LN
ROCKWALL, TX 75087

SCHALE WILLIAM AND CORTNEY
2345 SADDLEBROOK LN
ROCKWALL, TX 75087

GRIFFIN STEPHEN J
2348 SADDLEBROOK LN
ROCKWALL, TX 75087

JONES BRADLEY K AND SUSAN M
2352 SADDLEBROOK LANE
ROCKWALL, TX 75087

COX ROBERT & BEVERLY
2356 SADDLEBROOK LN
ROCKWALL, TX 75087

OROZCO ARTHUR
2360 SADDLEBROOK LANE
ROCKWALL, TX 75087

HARVEY LEE L AND
MARIA J PEREIRA
2361 SADDLEBROOK LANE
ROCKWALL, TX 75087

BERGER KEVIN M & DEBBIE R
2364 SADDLEBROOK LN
ROCKWALL, TX 75087

PROCTOR CAROLYN
2365 SADDLEBROOK LN
ROCKWALL, TX 75087

STELZER WADE L & MISTY M
2368 SADDLEBROOK LN
ROCKWALL, TX 75087

GILKINSON DOYLE D & LORA A
2369 SADDLEBROOK LN
ROCKWALL, TX 75087

ELLIS MELISSA A AND CHIMA O
2372 SADDLEBROOK LN
ROCKWALL, TX 75087

COX GERALD GLEN AND ROSALBA CARRASCO
815 T.L. TOWNSEND SUITE 101
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2022-048: Specific Use Permit for Guest Quarters/ Secondary Living Unit

Hold a public hearing to discuss and consider a request by Bryan Cook for the approval of a Specific Use Permit (SUP) for a Guest Quarters/Secondary Living Unit and Detached Garage on a one (1) acre parcel of land identified as Lot 13, Block A, Saddlebrook Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 2348 Saddlebrook Lane, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 15, 2022 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 21, 2022 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 21, 2022 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2022-048: Specific Use Permit for Guest Quarters/ Secondary Living Unit

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2022 048

Please place a check mark on the appropriate line below: *

I am in favor of the request

I am in opposition to the request

Please provide any additional information concerning your support or opposition to the request

Respondent Information

Please provide your information.

First Name *

Doyle

Last Name *

Gilkinson

Address *

2369 Saddlebrook Ln

City *

Rockwall

State *

TX

Zip Code *

75087

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other _____

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

I received a property owner notification in the mail

I read about the request on the City's website

I saw a zoning sign on the property

I read about the request in the Rockwall Herald Banner

My neighbors told me about the request

Other: _____

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Google Forms

Guevara, Angelica

From: Robert Cox <[REDACTED]>
Sent: Sunday, October 23, 2022 12:39 PM
To: Planning
Subject: Z2022-048: Permit for guest quarters.

Hello, my name is Robert Cox, I live at 2356 Saddlebrook Lane. I am opposed to the building of this secondary living unit. 1st of all, why having zoning if you are going to keep giving exceptions. 2nd, I built a workshop and it had to be built of like materials. This current zoning change request appears to be a metal building. I feel it will be unsightly and decrease property values. There has already been a metal building constructed in the neighborhood that we all voted against but was built anyway. Since we do not have a neighborhood association nor do we want one, the city codes should protect our best interest. This does not seem to be the case. Sincerely, Robert Cox

[Sent from AT&T Yahoo Mail on Android](#)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2022 048

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I am in opposition to the request

Please provide any additional information concerning your support or opposition to the request

SaddleBrook is 1 acre lots, I don't believe that has been approved before. There is already a pool and storage building there it is going to make it super crowded, the side street called The Rock is our back entry and we don't want it congested, used as parking.

Respondent Information

Please provide your information.

First Name *

Rosie

Last Name *

Cox

Address *

1800 E QUAIL RUN RD

City *

Rockwall

State *

TX

Zip Code *

75087

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request
- Other: We work 3 miles away as well

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

I received a property owner notification in the mail

I read about the request on the City's website

I saw a zoning sign on the property

I read about the request in the Rockwall Herald Banner

My neighbors told me about the request

Other: _____

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Google Forms

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

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Rockwall, TX 75087

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2022-048: Specific Use Permit for Guest Quarters/ Secondary Living Unit

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Because they have value, usage of their property

Name: *Tim & Susan Cook*
Address: *2348 Saddlebrook Lane Rockwall TX 75087*

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Zoning & Specific Use Permit Input Form

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Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2022-048

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Respondent Information

Please provide your information.

First Name *

Vanita

Last Name *

Tyler

Address *

1501 The Rock

City *

Rockwall

State *

TX

Zip Code *

75087

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: _____

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- I received a property owner notification in the mail.
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- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: _____

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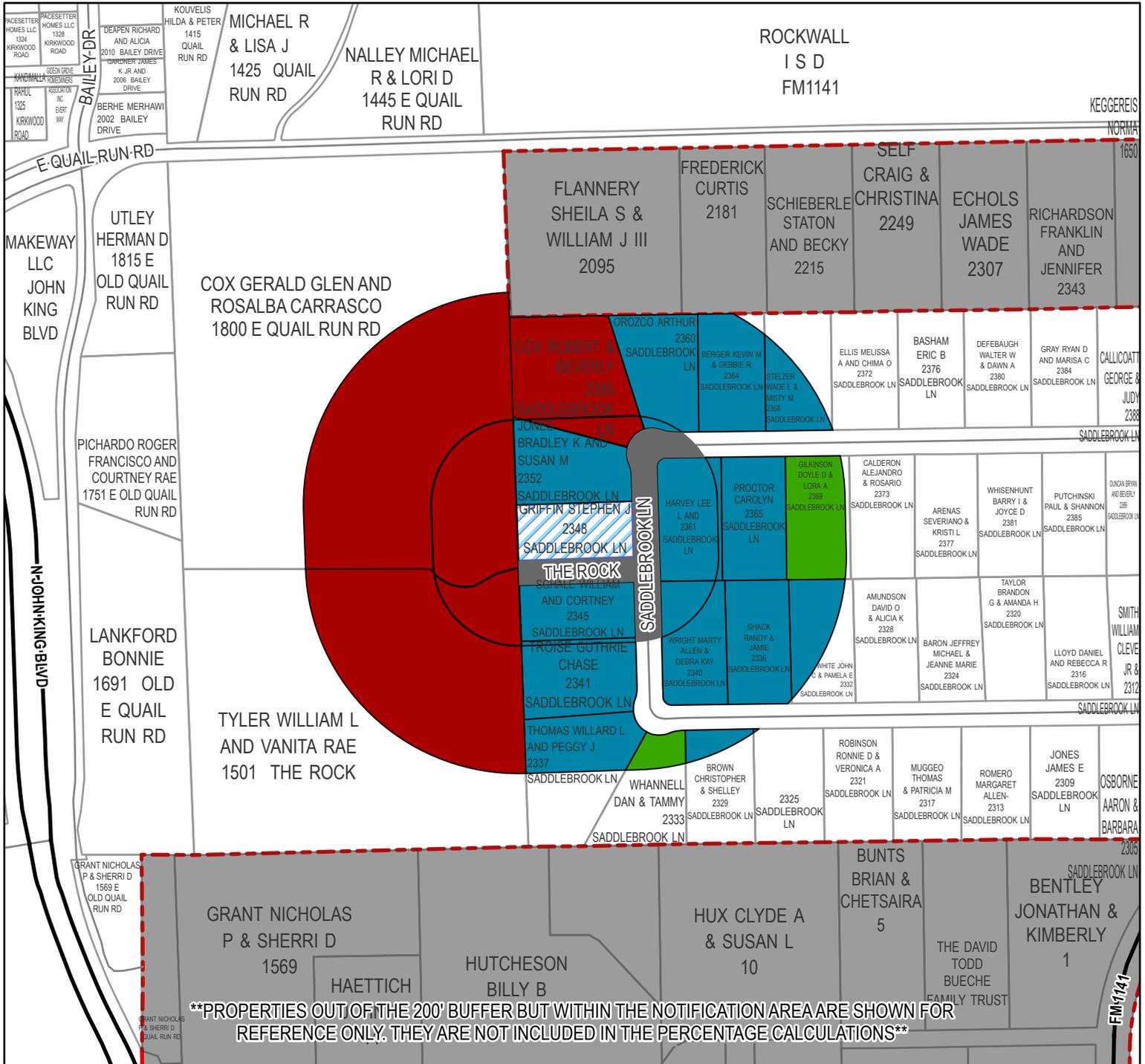
Google Forms



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
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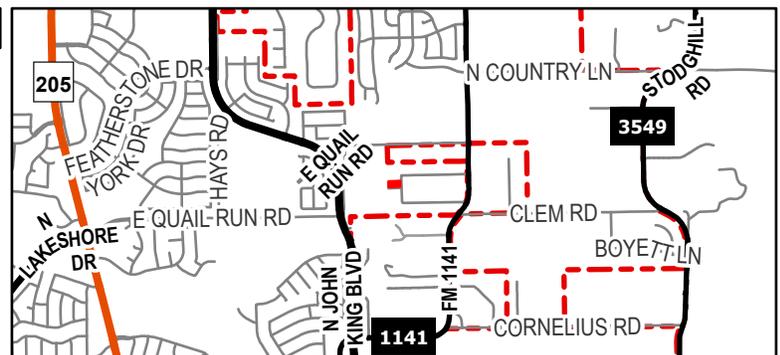
Z2022-048 SUP for a Guest Quarters at 2348 Saddlebrook Lane

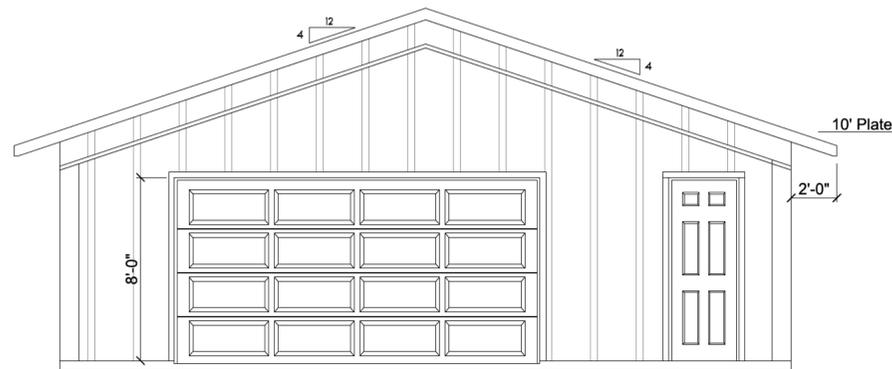
Legend

- FOR 0% (0 Acres)
- AGAINST 34.7% (0.782 Acres)
- NO RESPONSE 47.1% (4.608 Acres)
- ROW 18.1% (1.191 Acres)
- Subject Property

Date Created: 11/4/2022

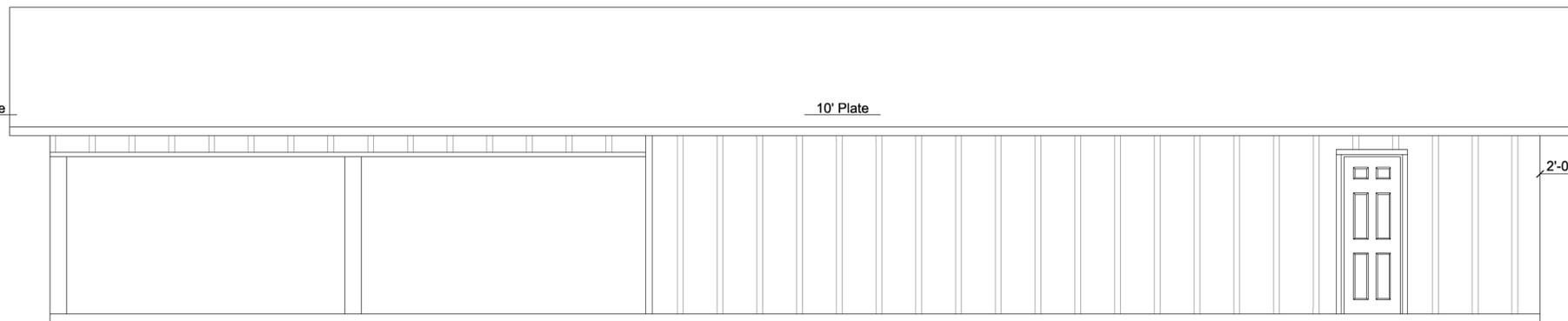
For Questions on this Case Call (972) 771-7745





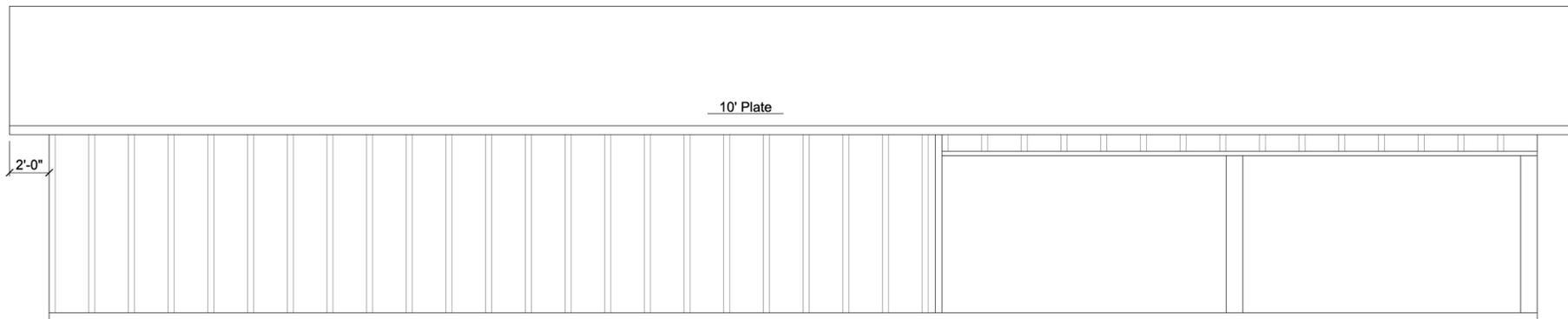
Front Elevation

Scale: 1/4"=1'-0" (22"x34)
1/8"=1'-0" (11"x17")



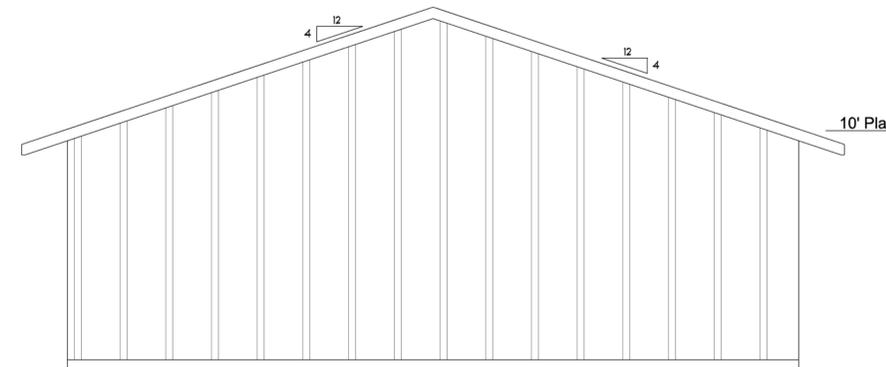
Left Elevation

Scale: 1/4"=1'-0" (22"x34)
1/8"=1'-0" (11"x17")



Right Elevation

Scale: 1/4"=1'-0" (22"x34)
1/8"=1'-0" (11"x17")



Rear Elevation

Scale: 1/4"=1'-0" (22"x34)
1/8"=1'-0" (11"x17")

THESE PLANS ARE INTENDED TO PROVIDE BASIC INFORMATION AND DESIGN INFORMATION NECESSARY TO COMPLETE THIS STRUCTURE. FIELD VERIFY ON SITE THE ACCURACY OF THESE PLANS PRIOR TO CONSTRUCTION. LOCAL CODES, ORDINANCES AND RESTRICTIONS WILL APPLY SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND LOCAL REQUIREMENTS.

PRINTED:
10/13/2022
05:57 PM

SMITH CUSTOM B&D
Designed: Steven Smith
Email: Steven@smithcustomllc.com
Mobile: (903) 229-1025

Revisions:

No.	Description

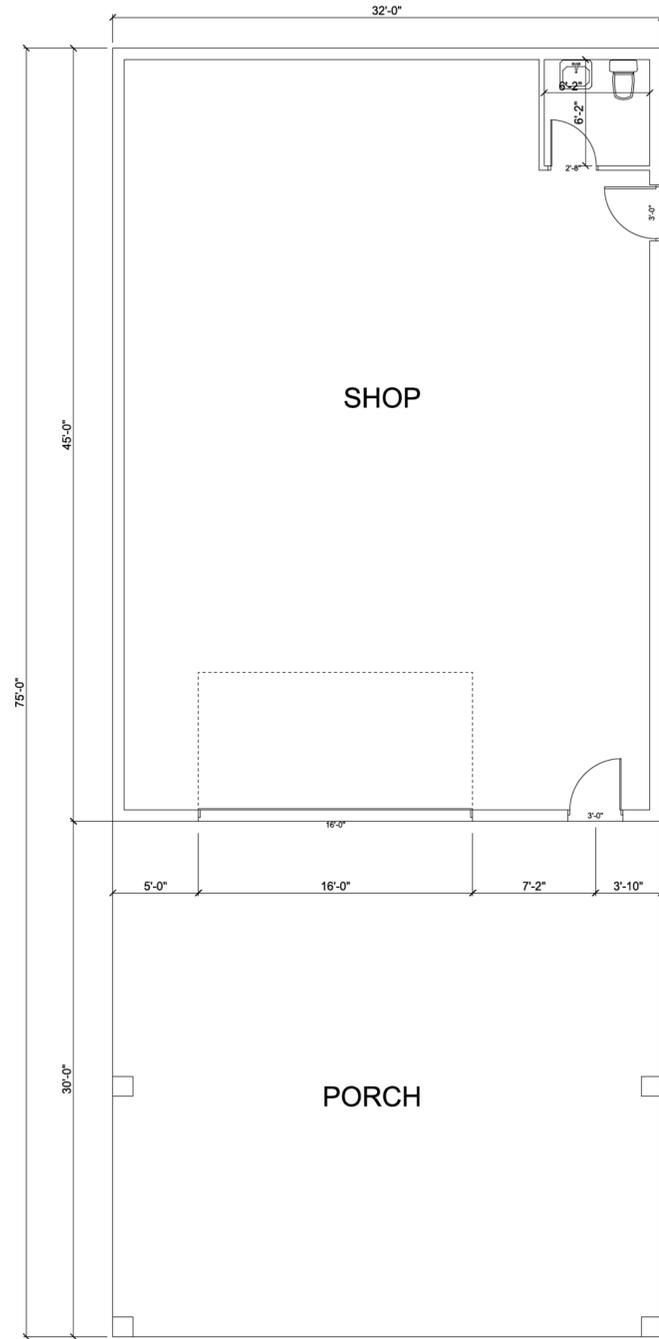
Elevation
PLAN NAME:
2348 Saddlebrook Ln, Rockwall
Construction Docs

SHEET NO.

A - 1

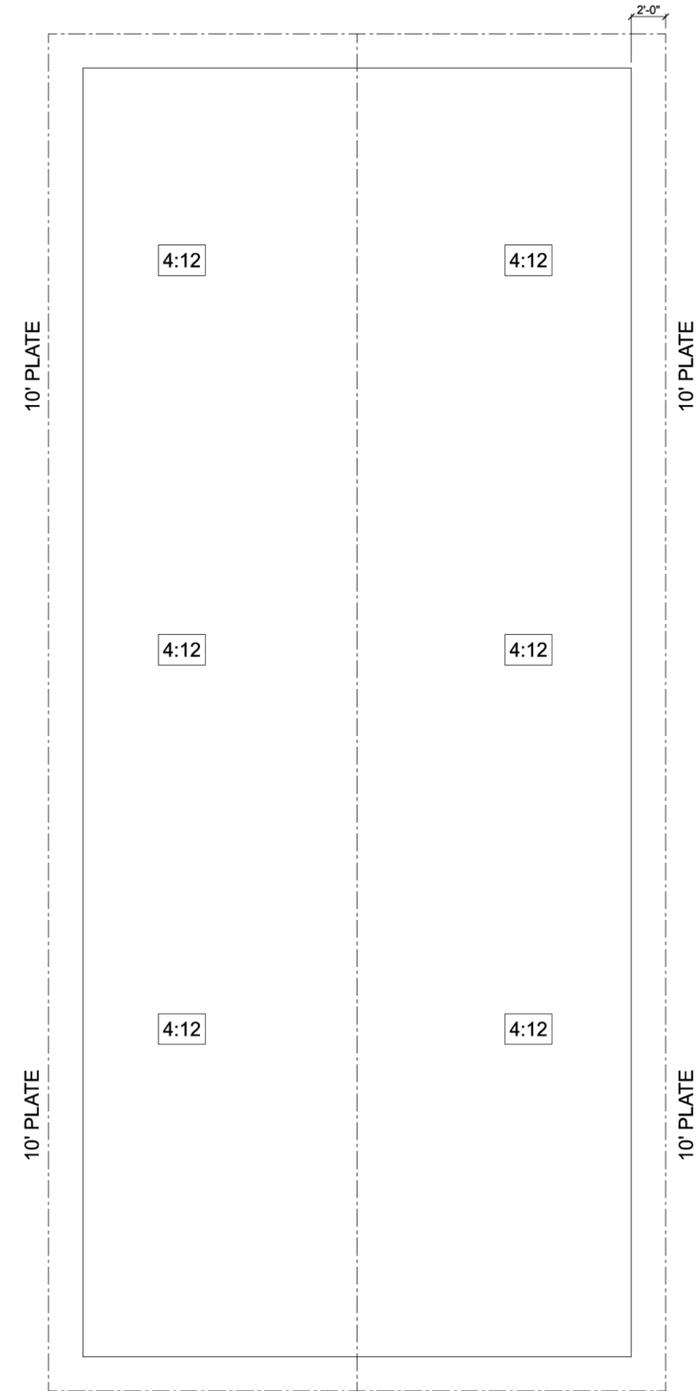
GENERAL NOTES:

: Builder responsible for compliance with all federal, state, and local building codes, ordinances and deed restrictions. : Safety glass per code. : Weatherstrip attic access door(s). : Stairs and handrails per code : Gypsum board is required on all surfaces under stairs. (IRC R314.9) : Any projections that extend to less than five ft from a property line is required to have a one hour fire rating, this includes soffits and projections. : Brick ledges to be 5 1/2" : Angles to be 45 Degrees unless noted otherwise. : shower heads to be @ 6'9" A.F.F. : door openings to be centered on wall unless noted otherwise : standard door jams to be 4" : tankless water heaters to be installed in master closet exterior wall. : Dimensions To Edge of Interior Walls and Outside of Brick at Exterior Walls : All Non-Load Bearing interior wall studs to be 24" O.C. : All Beams which are braced off of must be raised 1/2" from top plate. : Master shower blocking 40"-46" from wall bottom to top plate : Vanity Light Fixtures 2x4 blocking to be in all baths @ 86" A.F.F. : Block between studs @ all rakes w/ 2x material



FLOORPLAN - SCALE 3/16" = 1'-0"

AREA SCHEDULE	
Shop -	1440
Porch -	960
Total -	2400



ROOF - SCALE 3/16" = 1'-0"

THESE PLANS ARE INTENDED TO PROVIDE INFORMATION FOR CONSTRUCTION. THE INFORMATION IS NOT TO BE USED FOR ANY OTHER PURPOSE. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THESE PLANS PRIOR TO CONSTRUCTION. LOCAL CODES, ORDINANCES AND RESTRICTIONS WILL APPLY. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND LOCAL REQUIREMENTS

PRINTED:
10/13/2022
05:57 PM

SMITH CUSTOM B&D
Designed: Steven Smith
Email: Steven@smithcustomllc.com
Mobile: (903) 229-1025

Revisions:

No.	Description

Floorplan
 PLAN NAME:
2348 Saddlebrook Ln, Rockwall
 Construction Docs

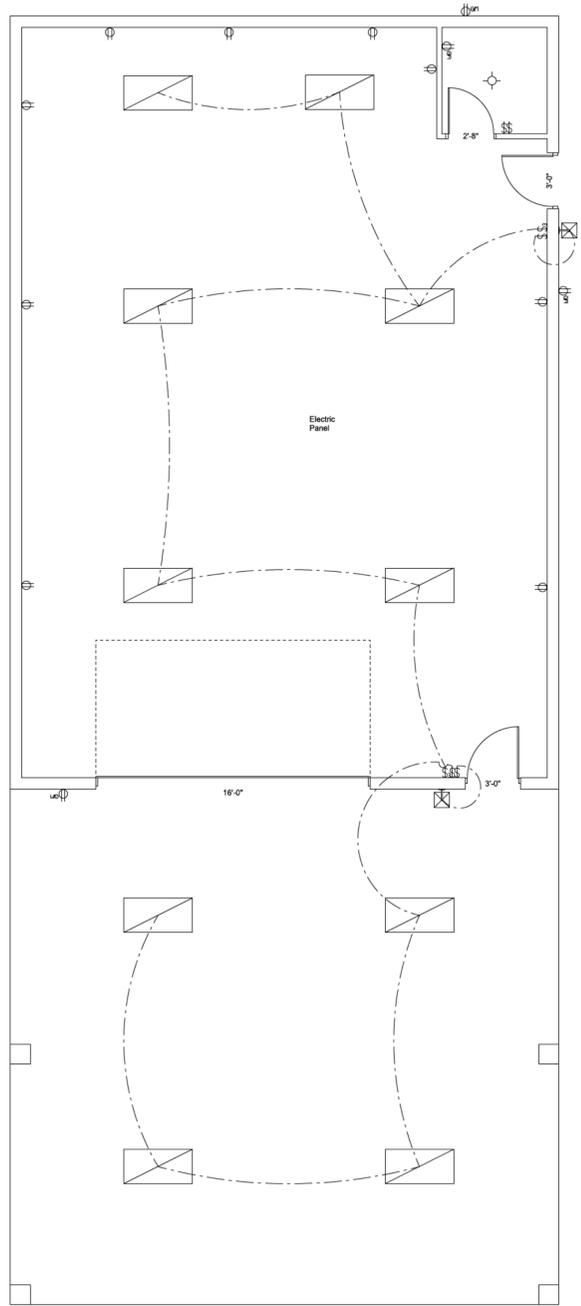
SHEET NO.

NOTES:

- : Install split outlet below sink for disposal and dishwasher and center at sink base, switch both.
- : HVAC contractor to supply and install all exhaust fans electrician to wire install 16" from back of box to wall when possible and center over dryer & toilet.
- : Thermostat to be located 60" A.F.F. to center of box locations per plan.
- : CLG fans are supplied by lighting contractor and installed by electrical contractor
- : See specs for water softener outlet req.
- : Exterior EFI at A/C condenser should be located next to and at the same height as the disconnect.
- : Electrical switch and outlet boxes located in the kitchen breakfast shall be installed horizontally.
- : Electrical outlets to be arc-Fault protected unless noted as GFI.

NOTES:

- : The builder is responsible for assuring compliance with all applicable local, state and federal requirements, whether or not there is any local jurisdiction.
- : Electrician responsible for assuring receptacle distribution per code (IRC E3801).
- : All kitchen and bathroom receptacle to be GFI (IRC E3802)
- : Supply 220v and 110v or gas and 110v to HVAC unit(s) in attic
- : All vents to rear of house where possible
- : All recessed can lights are required to be air tight rated (ic-at) (Iecc 502.1.3)
- : Carbon Monoxide detector as required by code (IRC 315)
- : Builder to assure adequate appliance access per code
- : Provide Req'd combustion air to all req'd appliances per code (IRC Chapter 17424)
- : Provide light and plywood catwalk at HVAC unit(s) in attic
- : Gang all switches and outlets where possible
- : Location of all floor outlets to be verified by other
- : Pre-wire for security, verify with owner
- : Makeup air for kitchen exhaust hood req'd when in fan in excess of 400 CFM. (IRC M1503.4)

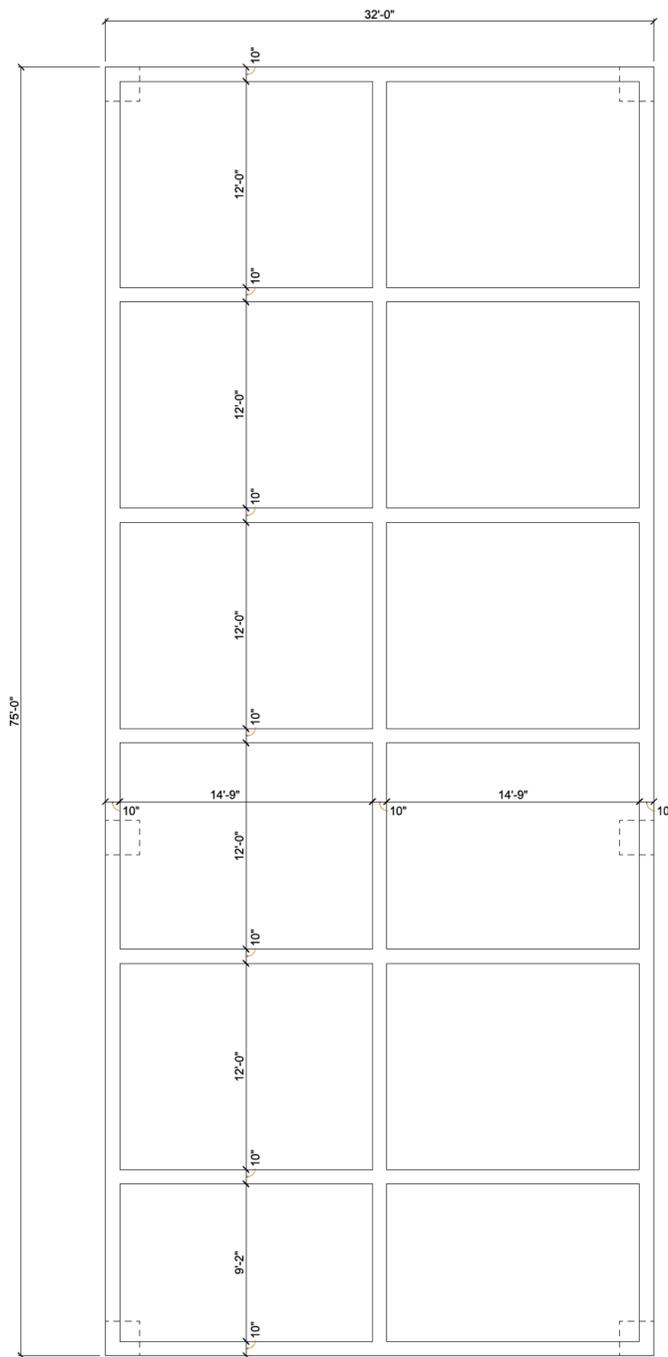


NOTES:

- : Breaker Box to be Located Per plan
- : Switches to be 54" A.F.F. (top of box)
- : Doorbell wiring per plan by community - Button to be at 42" A.F.F. Where applicable and location noted on plan.
- : Microwave/ Venthood Plug to be located at 76" A.F.F. (if over cook top). Microwave and Refrigerator outlets to be dedicated 20 AMP.
- : Telephone, T.V. and plug below knee space at computer desk to be at 13" A.F.F. to bottom of box
- : Walk in closet light be 18" from shelf
- : No wires to be run over attic cat walks
- : Light in attic at HVAC work platform (per IRC codes) to be switched in attic. Accessible from attic opening.

NOTE: STEEL REINF. TO BE WELDED SHALL CONFORM TO THE REQUIREMENTS OF ASTM A-706 AND THAT WELDING SHALL BE IN ACCORDANCE WITH AWS D1.4, STRUCTURAL WELDING CODE REINFORCING STEEL BY AMERICAN WELDING SOCIETY FOR COMPLIANCE WITH ACI 318-99, SECTION 3.5.

- * FOR FRAMING AROUND ROOF HATCH, PROVIDE CHANNEL FRAMING AS SHOWN ON THE TYPICAL DETAIL FOR FRAMING AROUND MECHANICAL UNITS. (UNLESS NOTED OTHERWISE)
- * KEEP STRUCTURE GUYED AND BRACED UNTIL ALL MASONRY/CONCRETE SHEAR WALLS, DIAGONAL BRACES, MOMENT FRAMES, FRAMED FLOORS AND ROOF DECKS ARE IN PLACE
- * SEE ARCHITECT AND PLUMBING DRAWINGS FOR LOCATIONS OF ROOF DRAINS. ROOF IS DESIGNED FOR A MAXIMUM DEPTH OF 4" OF WATER AT ANY LOCATION OF THE ROOF. WATER SHALL BE RELIEVED BY EITHER SCUPPERS OR AN INDEPENDENT EMERGENCY OVERFLOW DRAIN AT THE 4" LEVEL
- * FOR FRAMING AROUND THE PERIMETER OF A MECHANICAL UNIT, SEE TYPICAL DETAIL
- * CONTRACTOR COORDINATE LOCATION OF OPENINGS AND WEIGHTS OF MECHANICAL UNITS, WITH THE MECHANICAL DRAWINGS. IF WEIGHTS EXCEED WHAT IS SHOWN ON THE STRUCTURAL PLAN, THEN NOTIFY THE STRUCTURAL ENGINEER OF THE CHANGE PRIOR TO ANY DETAILING OR FABRICATION OF JOIST, DECK OR STEEL



Notes:

1. Slab Thickness = 4" Slab
2. (EXT) Perimeter Beam Depts = 30"
3. (INT) Interior Beams = 26"
4. Beam Width = 10"

THESE PLANS ARE INTENDED TO PROVIDE INFORMATION FOR CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE ACCURACY OF THESE PLANS PRIOR TO CONSTRUCTION. LOCAL CODES, ORDINANCES AND RESTRICTIONS WILL APPLY. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND LOCAL REQUIREMENTS

PRINTED:
10/13/2022
05:57 PM

SMITH CUSTOM B&D
Designed: Steven Smith
Email: Steven@smithcustomllc.com
Mobile: (903) 229-1025

Revisions:

No.	Description

Electric
PLAN NAME:
2348 Saddlebrook Ln, Rockwall
Construction Docs

SHEET NO.

A - 4

CITY OF ROCKWALL

ORDINANCE NO. 22-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR GUEST QUARTERS/SECONDARY LIVING QUARTERS AND DETACHED GARAGE ON A ONE (1) ACRE PARCEL OF LAND, IDENTIFIED AS LOT 13, BLOCK A, SADDLEBROOK ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AS DEPICTED IN EXHIBIT OF THIS ORDINANCE FOR SPECIAL CONDITIONS PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE

WHEREAS, the City has received a request from Bryan Cook for the approval of a Specific Use Permit (SUP) for a *Guest Quarters/Secondary Living Unit and Detached Garage* to allow for the construction of an *Accessory Building* on a one (1) acre parcel of land identified as Lot 13, Block Saddlebrook Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Family 16 (SF-16) District, address is 2348 Saddlebrook Lane and being more specifically described and defined by the terms of this ordinance which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall is hereby amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Guest Quarters/Secondary Living Unit and Detached Garage* to allow for the construction of an *Accessory Building* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*; Subsection 03.06, *Single-Family 16 SF-16 District* and Subsection 07.04, *Accessory Structure Development Standards*, of Article 5 *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] as herebefore amended and may be amended in the future -- and with the following

conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a *Guest Quarters/condo Living Unit* and *Detached Garage* on the *Subject Property* and conformance to the operational conditions is required for continued operation:

- (1) The development of the *Subject Property* shall generally conform to the Site Plan as depicted in *Exhibit 'B'* of the Specific Use Permit (SUP) ordinance.
- (2) The construction of a *Guest Quarters/Secondary Living Unit* and *Detached Garage* on the *Subject Property* shall generally conform to the Building Element depicted in *Exhibit 'C'* of the Specific Use Permit (SUP) ordinance.
- (3) The *Guest Quarters/Secondary Living Unit* and *Detached Garage* shall not exceed a maximum size of 2,000 SF.
- (4) The *Guest Quarters/Secondary Living Unit* and *Detached Garage* shall include a paved driveway to the street.
- (5) The applicant shall remove the existing 28 SF accessory structure.
- (6) The maximum height of the *Guest Quarters/Secondary Living Unit* and *Detached Garage* shall not exceed a total height of 15 feet as measured to midpoint of the pitched roof.

The *Guest Quarters* and *Detached Garage* shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 2.02, *Specific Use Permits (SUP)* of Article 11, *Development Application and Review Procedures*, Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor or property owner operating under the guideline of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (after proper notice) initiate proceedings to enforce the Specific Use Permit (SUP) in accordance with Subsection 02.02(F) *Enforcement*, of Article 11, *Development Application and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 4. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 5. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not

to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 5TH DAY OF DECEMBER, 2022.**

Kevin Miller, Mayor

ATTEST:

Christy Tague, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: November 21, 2022

2nd Reading: December 5, 2022

Exhibit 'A'
Location Map and Legal Description

Address: 2348 Saddlebrook Lane

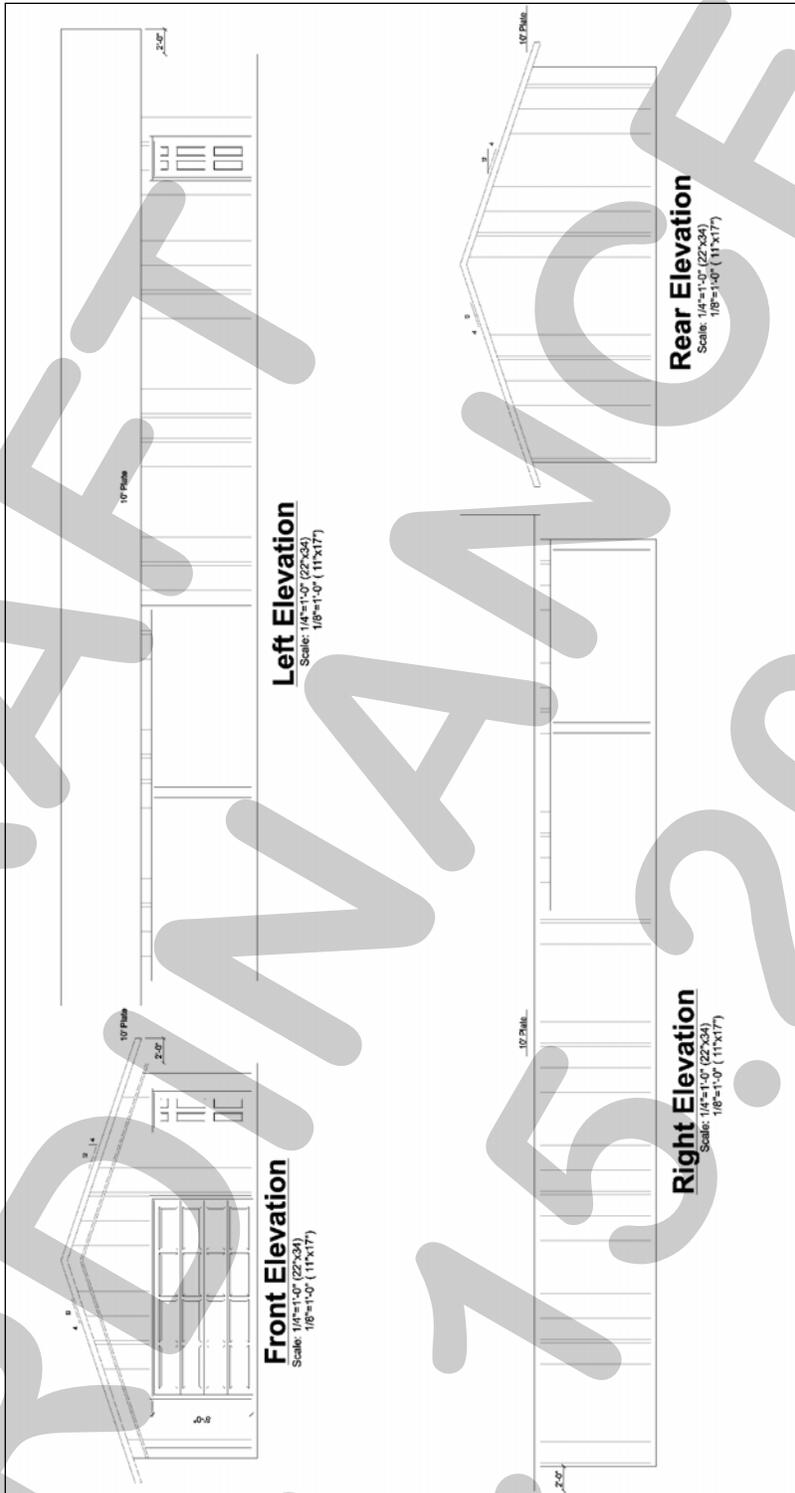
Legal Description: Lot 13, Block A, Saddlebrook Estates #2 Addition



SITE PLAN

DRAFT
ORDINANCE
17.15.2022

Exhibit 'C':
Building Elevations





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: November 15, 2022

APPLICANT: Deanna Welch-Williams; *On Behalf of Kenneth and Debbie Wade*

CASE NUMBER: Z2022-049; *Specific Use Permit (SUP) for a Residential Infill Adjacent to an Established Subdivision for 1505 S. Alamo*

SUMMARY

Hold a public hearing to discuss and consider a request by Deanna Welch-Williams of Sheldon Custom Homes on behalf of Kenneth and Debbie Wade for the approval of a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.3080-acre parcel of land identified as Lot 6, Block A, Eagle Point Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1505 S. Alamo Street, and take any action necessary.

BACKGROUND

The subject property was annexed on June 20, 1959 by *Ordinance No. 59-02 [Case No. A1959-002]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to the January 3, 1972 *Historic Zoning Maps* the subject property was zoned Single-Family 2 (SF-2) District. Sometime between January 3, 1972 and May 16, 1983, the subject property was rezoned to Single-Family 10 (SF-10) District, and has remained zoned Single-Family 10 (SF-10) District since this change. On February 23, 2012, a final plat was filed with Rockwall County establishing the subject property as Lot 6, Block A, Eagle Point Estates Addition. The subject property has remained vacant since its annexation.

PURPOSE

The applicant is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill In or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 1505 S. Alamo Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is the Ridge Road Village Subdivision, which was established on November 15, 1964 and consists of 185 residential lots. Beyond this is the Lake Meadows Subdivision, which was platted on March 21, 1968 and consists of 26 residential lots. Both subdivisions are zoned Single-Family 10 (SF-10) District.

South: Directly south of the subject property is the Carroll Estates Subdivision, which was established on June 1, 1987 and consists of three (3) residential lots. Beyond this is the Burke Ridge Subdivision, which was platted on December 2, 2016 and consists of two (2) residential lots. Both of these subdivisions are zoned Single-Family 10 (SF-10) District.

East: Directly east of the subject property is Ridge Road, which is identified as *M4D (i.e. major collector, four (4) lane, divided roadway)* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the Rockwall Commons, which is zoned Planned Development District 1 (PD-1) for multi-family land uses.

West: Directly west of the subject property is the Lake Ray Hubbard Estates Subdivision, which was established on December 10, 1973 and consists of 65 residential lots. Beyond this is the Lake Ray Hubbard.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” In this case, the subject property is located adjacent to the Ridge Road Village Subdivision, which was established in 1964, consists of more than five (5) lots and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, adjacent to an established subdivision and being zoned Single-Family 10 (SF-10) District, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on S. Alamo Road and Meadowdale Drive compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on S. Alamo Road and Meadowdale Drive	Proposed Housing
Building Height	One (1) and Two (2) Story	Two (2) Story
Building Orientation	Most of the homes are oriented towards their front property line.	The front orientation will face onto S. Alamo Road.
Year Built	1985-2019	N/A
Building SF on Property	3,588 SF - 5,058 SF	4,433 SF
Building Architecture	Traditional Brick Suburban Residential	Comparable Architecture to the Existing Homes
Building Setbacks:		
Front	The front yard setbacks appear to conform to the required 20-foot front yard setback.	20-Feet
Side	The side yard setbacks appear to conform to the required 10-foot side yard setback.	10-Feet
Rear	The rear yard setbacks appear to conform to the required 6-foot setback.	6-Feet
Building Materials	Brick, Hardi Board, Stone	Hardi Board Siding and Stone
Paint and Color	Brown, White, Red, Tan, and Blue	Chalk/Cream and Smoke Mix
Roofs	Composite Shingles and Metal	Composite Shingles (Gray)
Driveways	Driveways are all located in the back of the home.	The Driveway will be accessible off of the existing alleyway.

The proposed single-family home meets all of the density and dimensional requirements for a property situated within a Single-Family 10 (SF-10) District as stipulated by the Unified Development Code (UDC). In Article 06, *Parking and Loading*, Section 04.01.B *Garages* states that “(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front building façade for front entry garages, unless it is a *J-swing* garage where garage door is perpendicular to the street.” In this case, the applicant’s request meets all of the requirements. In making a motion, City Council is tasked with determining if the proposed house will have a negative impact on the existing adjacent subdivision (i.e. *Ridge Road Village Subdivision*).

For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along S. Alamo Road and Meadowdale Drive, and the proposed building elevations in the attached packet.

NOTIFICATIONS

On October 20, 2022, staff mailed 66 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Waterstone Homeowners Association (HOA), which was the only HOA within 1,500-feet participating in our Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). Staff has since received two (2) notices from two (2) property owners in favor of the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the Subject Property shall generally conform to the Residential Plot Plan as depicted in Exhibit 'B' of the draft ordinance.
 - (b) Construction of a single-family home on the Subject Property shall generally conform to the Building Elevations depicted in Exhibit 'C' of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & Z 3 CASE NO. 22022-049

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

<p>PLATTING APPLICATION FEES:</p> <p><input type="checkbox"/> MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹</p> <p><input type="checkbox"/> PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹</p> <p><input type="checkbox"/> FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹</p> <p><input type="checkbox"/> REPLAT (\$300.00 + \$20.00 ACRE) ¹</p> <p><input type="checkbox"/> AMENDING OR MINOR PLAT (\$150.00)</p> <p><input type="checkbox"/> PLAT REINSTATEMENT REQUEST (\$100.00)</p> <p>SITE PLAN APPLICATION FEES:</p> <p><input type="checkbox"/> SITE PLAN (\$250.00 + \$20.00 ACRE) ¹</p> <p><input type="checkbox"/> AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)</p>	<p>ZONING APPLICATION FEES:</p> <p><input type="checkbox"/> ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹</p> <p><input type="checkbox"/> SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}</p> <p><input type="checkbox"/> PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹</p> <p>OTHER APPLICATION FEES:</p> <p><input type="checkbox"/> TREE REMOVAL (\$75.00)</p> <p><input type="checkbox"/> VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²</p> <p>NOTES:</p> <p>¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.</p> <p>²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.</p>
---	---

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1505 S ALAMO ST, ROCKWALL TX 75081

SUBDIVISION Eagle Points Estates LOT 0 BLOCK A

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____	CURRENT USE _____
PROPOSED ZONING _____	PROPOSED USE _____
ACREAGE _____	LOTS [CURRENT] _____
	LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER <u>Kenneth & Debbie Wade</u>	<input type="checkbox"/> APPLICANT <u>Sheldon Custom Homes</u>
CONTACT PERSON _____	CONTACT PERSON <u>Deanna Welch-Williams</u>
ADDRESS <u>4760 Secret Cove</u>	ADDRESS <u>227 Pheasant Hill Dr</u>
CITY, STATE & ZIP <u>Rockwall TX 75032</u>	CITY, STATE & ZIP <u>Rockwall TX 75032</u>
PHONE <u>972-285-5976</u>	PHONE <u>214-532-0328</u>
E-MAIL <u>theleaklocator@gmail.com</u>	E-MAIL <u>Deanna@sheldoncustomhomes.com</u>

NOTARY VERIFICATION [REQUIRED]

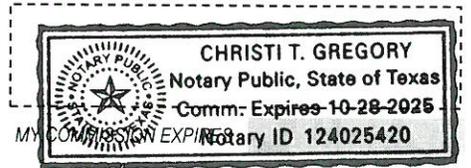
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Deanna Welch Williams [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 19 DAY OF September, 2022

OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]





Z2022-049: SUP for Residential Infill at 1505 S. Alamo

0 40 80 160 240 320 Feet

MEADOWDALE DR

SF-10

SALAMO RD

RIDGERD
740

PD-1

TANYA DR

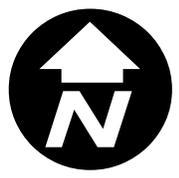
Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

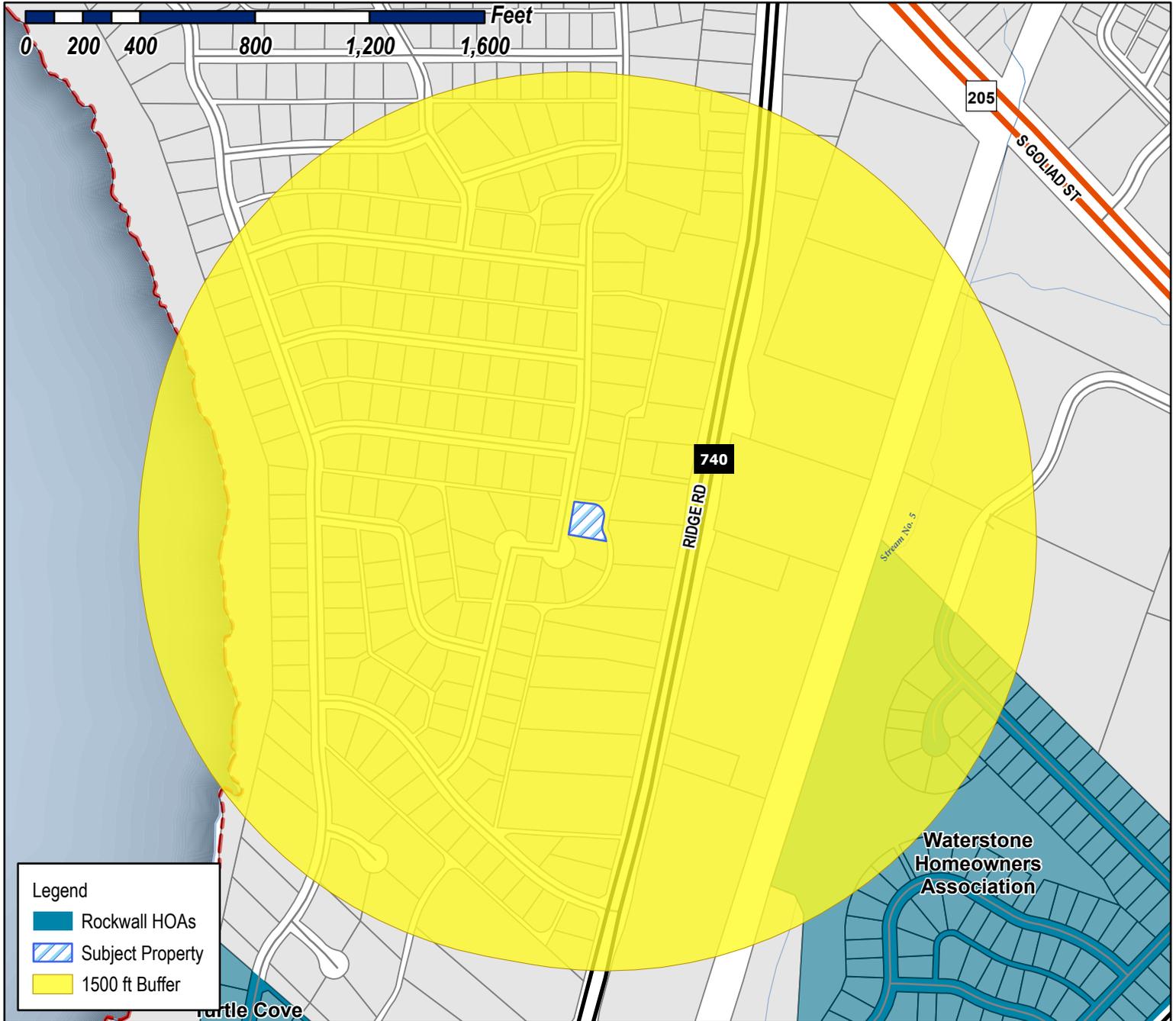




City of Rockwall

Planning & Zoning Department
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Case Number: Z2022-049
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 1505 S. Alamo Rd.

Date Saved: 10/17/2022
 For Questions on this Case Call (972) 771-7745



From: [Guevara, Angelica](#)
Cc: [Miller, Ryan](#); [Ross, Bethany](#); [Lee, Henry](#)
Bcc: [REDACTED]
Subject: Neighborhood Notification Program [Z2022-048]
Date: Thursday, October 20, 2022 9:05:18 AM
Attachments: [HOA Map \(10.14.2022\).pdf](#)
[Public Notice \(Z2022-049\).pdf](#)

HOA/Neighborhood Association Representative

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on October 21, 2022. The Planning and Zoning Commission will hold a public hearing on Tuesday, November 15, 2022 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 21, 2022 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2022-049: SUP for Residential Infill Adjacent to an Established Subdivision

Hold a public hearing to discuss and consider a request by Deanna Welch-Williams of Sheldon Custom Homes on behalf of Kenneth and Debbie Wade for the approval of a [Specific Use Permit \(SUP\)](#) for Residential Infill Adjacent to an Established Subdivision for the purpose of constructing a single-family home on a 0.3080-acre parcel of land identified as Lot 6, Block A, Eagle Point Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1505 S. Alamo Street, and take any action necessary.

Thank you,

Angelica Guevara

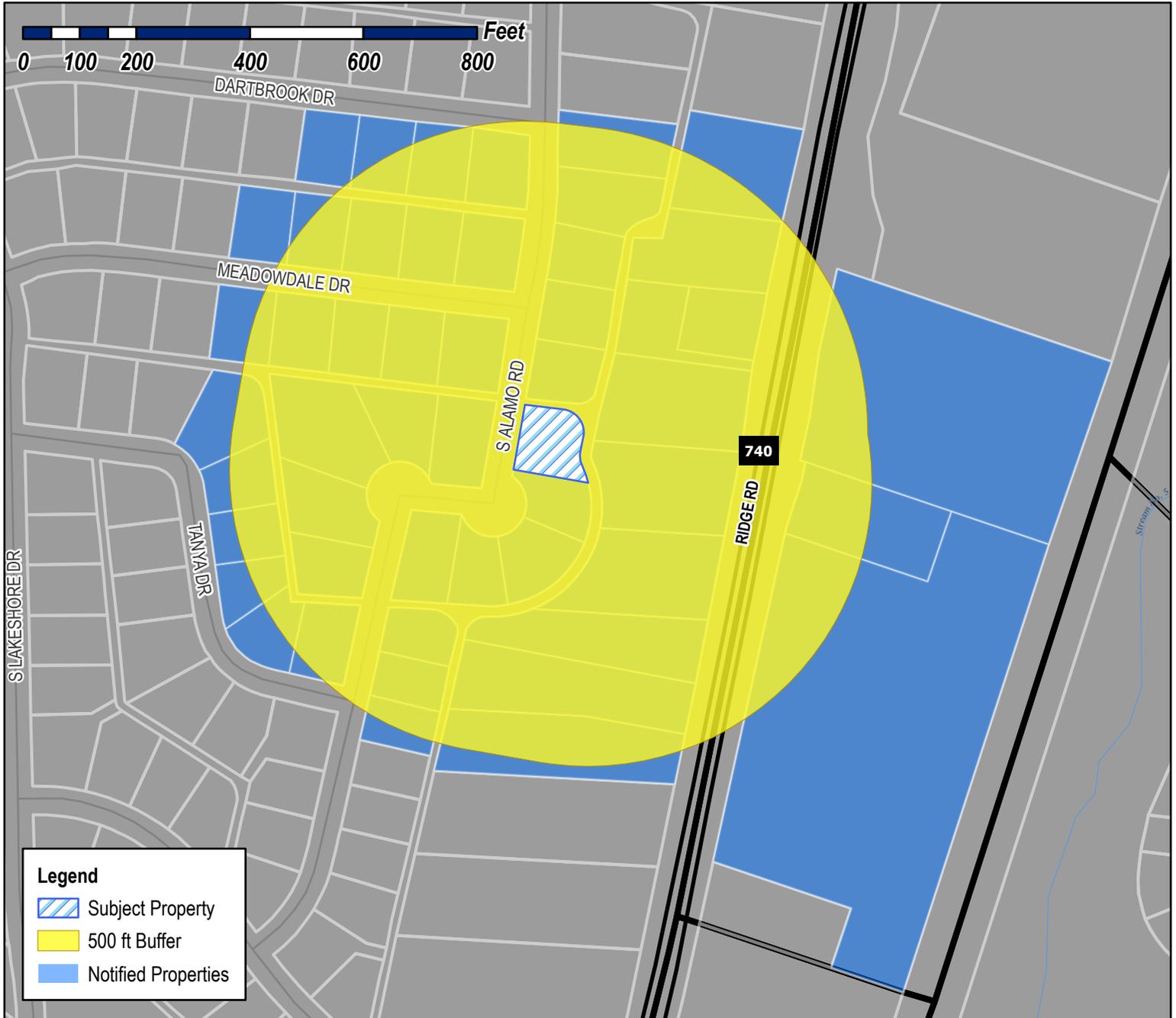
Planning Technician
City of Rockwall Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087
Office: 972-771-7745
Direct: 972-772-6438



City of Rockwall

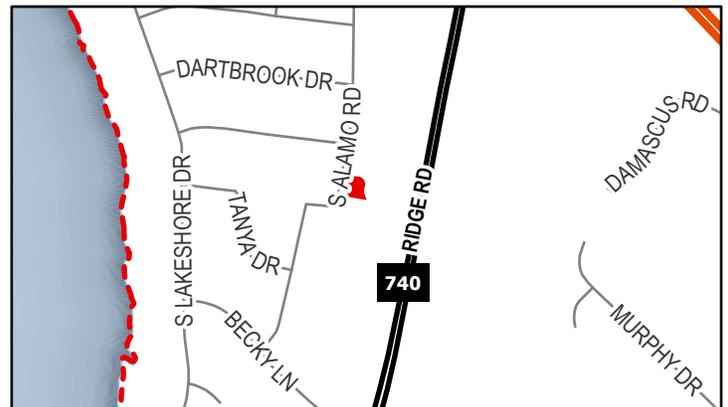
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2022-049
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 1505 S. Alamo Rd.

Date Saved: 10/17/2022
 For Questions on this Case Call (972) 771-7745



STEGMAN WILLIAM JR
12640 E NORTHWEST HWY, SUITE 409
DALLAS, TX 75228

STEGMAN WILLIAM JR
1300 RIDGE RD
ROCKWALL, TX 75087

T ROCKWALL PHASE 2 LLC
1301 RIDGE RD
ROCKWALL, TX 75087

JACOBS DAVID R & BEVERLY
1304 RIDGE RD
ROCKWALL, TX 75087

PEOPLES J PHILIP AND
BILLY W PEOPLES JR
1306 RIDGE RD
ROCKWALL, TX 75087

KAPRANTZAS VICTORIA J
1308 RIDGE RD
ROCKWALL, TX 75087

ROCKWALL COMMONS LLC
1309 RIDGE RD
ROCKWALL, TX 75087

T ROCKWALL APARTMENTS TX LLC
1309 RIDGE RD
ROCKWALL, TX 75087

PHILIP ALWIN
1312 RIDGE RD
ROCKWALL, TX 75087

PHILIP ALWIN
1316 RIDGE RD
ROCKWALL, TX 75087

BOBST DANIEL W AND JENNIFER L
1400 RIDGE RD
ROCKWALL, TX 75087

MASON RONALD E & GLORIA M
1402 RIDGE RD
ROCKWALL, TX 75087

ROGERS FAMILY LIVING TRUST
MICHAEL WAYNE ROGERS AND RELLA
VILLASANA ROGERS, TRUSTEES
1404 RIDGE RD
ROCKWALL, TX 75087

BANYON MARVIN C & EVELINA A VILLAREAL
BANYON
1417 S ALAMO RD
ROCKWALL, TX 75087

ESTATE OF RICHARD L BROOKS
1419 S ALAMO RD
ROCKWALL, TX 75087

DEEN JASON AND JENNIFER
1421 S ALAMO RD
ROCKWALL, TX 75087

ARCINIEGA MARK K
1423 S ALAMO ROAD
ROCKWALL, TX 75087

PINNELL LIVING TRUST
CHARLES CRAIG PINNELL AND CATHY JENELL
PINNELL
1425 S ALAMO RD
ROCKWALL, TX 75087

WADE KENNETH AND DEBBIE
1505 S ALAMO RD
ROCKWALL, TX 75087

GREEN KRIS
1507 S ALAMO RD
ROCKWALL, TX 75087

HERBST LONNIE & AMY
1509 S ALAMO RD
ROCKWALL, TX 75087

CRUSE ROBERT B JR AND MARGARET A
1510 S ALAMO RD
ROCKWALL, TX 75087

BARRETT HOWARD & MARVALEE
1511 S ALAMO RD
ROCKWALL, TX 75087

SCROGGS JUSTIN D
1512 S ALAMO RD
ROCKWALL, TX 75087

BALLI DAVID OMAR AND EMILY FARRIS
1514 S ALAMO RD
ROCKWALL, TX 75087

SLAUGHTER RICHARD E JR
1515 S ALAMO RD
ROCKWALL, TX 75087

TURCIOS MILTON NOE AND
JUAN RAMON TURCIOS
1516 S ALAMO RD
ROCKWALL, TX 75087

GREEN TARA D AND
JULIA R MCKINNEY
1518 SOUTH ALAMO ROAD
ROCKWALL, TX 75087

WEDDLE TRUST
JOHN C WEDDLE AND PAULETTE S WEDDLE
TRUSTEES
1601 S ALAMO RD
ROCKWALL, TX 75087

LYLE WILLIAM M JR & ERICA
1603 S ALAMO RD
ROCKWALL, TX 75087

BURNS LORRAINE MARIETTI
1605 ALAMO RD
ROCKWALL, TX 75087

T ROCKWALL APARTMENTS TX LLC
16600 DALLAS PARKWAY SUITE 300
DALLAS, TX 75248

T ROCKWALL PHASE 2 LLC
16600 DALLAS PKWY SUITE 300
DALLAS, TX 75248

HOTT SARI D
201 DARTBROOK
ROCKWALL, TX 75087

VIZZINI SABARINA L
201 MEADOWDALE DR
ROCKWALL, TX 75087

HIRIGOYEN IGNACIO A & LISA RAE
202 MEADOWDALE DRIVE
ROCKWALL, TX 75087

VANCE JASON L & DASHA
202 TANYA DR
ROCKWALL, TX 75087

MURPHREE MICHAEL G AND AMANDA L
203 DARTBROOK
ROCKWALL, TX 75087

HERRIN MARVIN ET UX
203 MEADOWDALE DR
ROCKWALL, TX 75087

TSARDOULIAS HRISTOS
204 MEADOWDALE DRIVE
ROCKWALL, TX 75087

RICHARDSON RANDAL & BARBARA
204 TANYA DR
ROCKWALL, TX 75087

NOLAN DANIEL & DENISE
205 DARTBROOK
ROCKWALL, TX 75087

DICKSON JUDITH TAYLOR & KENNETH D
205 MEADOWDALE DR
ROCKWALL, TX 75087

HAIGNEY PETER F
206 MEADOWDALE DR
ROCKWALL, TX 75087

KELLEY STEPHAN BRANT & VIVIANA ELIZABETH
206 TANYA DRIVE
ROCKWALL, TX 75087

HAWKINS THOMAS & REBECCA
207 DARTBROOK
ROCKWALL, TX 75087

WHITT NICHOLE
207 MEADOWDALE DRIVE
ROCKWALL, TX 75087

TROUTT GRETA D
208 MEADOW DALE
ROCKWALL, TX 75087

PERRY RICHARD L
208 TANYA DR
ROCKWALL, TX 75087

FLOYD DOROTHY RHEA
210 TANYA DR
ROCKWALL, TX 75087

BREWER GLENDA O
212 TANYA DR
ROCKWALL, TX 75087

BOBST DANIEL W AND JENNIFER L
2701 SUNSET RIDGE SUITE 610
ROCKWALL, TX 75032

KAPRANTZAS VICTORIA J
2748 MIRA VISTA LN
ROCKWALL, TX 75032

PHILIP ALWIN
279 ASHWOOD LN
SUNNYVALE, TX 75182

PHILIP ALWIN
279 ASHWOOD LN
SUNNYVALE, TX 75182

GLASS JERRY
301 MEADOWDALE DR
ROCKWALL, TX 75087

FARNSWORTH JARED P AND ASHLEY N
302 MEADOWDALE DR
ROCKWALL, TX 75087

PEOPLES J P & B W JR
302 S GOLIAD SST
ROCKWALL, TX 75087

PEOPLES J PHILIP AND
BILLY W PEOPLES JR
311 HIGHLAND DRIVE
ROCKWALL, TX 75087

ROCKWALL COMMONS LLC
341 VERA CLIFF CT
OVIDO, FL 32765

BURNS LORRAINE MARIETTI
403 W WASHINGTON ST
ROCKWALL, TX 75087

WADE KENNETH AND DEBBIE
4760 SECRET COVE
ROCKWALL, TX 75032

TURCIOS MILTON NOE AND
JUAN RAMON TURCIOS
7227 HILLSHIRE LANE
SACHSE, TX 75048

LYLE WILLIAM M JR & ERICA
9605 ARDEN DR
ROCKWALL, TX 75087

CRUSE ROBERT B JR AND MARGARET A
P. O. BOX 2468
ROCKWALL, TX 75087

SLAUGHTER RICHARD E JR
PO BOX 1717
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2022-049: Specific Use Permit for Residential Infill Adjacent to an Established Subdivision

Hold a public hearing to discuss and consider a request by Deanna Welch-Williams of Sheldon Custom Homes on behalf of Kenneth and Debbie Wade for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision for the purpose of constructing a single-family home on a 0.3080-acre parcel of land identified as Lot 6, Block A, Eagle Point Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1505 S. Alamo Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, November 15, 2022 at 6:00 PM, and the City Council will hold a public hearing on Monday, November 21, 2022 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, November 21, 2022 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2022-049: Specific Use Permit for Residential Infill Adjacent to an Established Subdivision

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name: [Grey bar]

Address: [Grey bar]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

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----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2022-049: Specific Use Permit for Residential Infill Adjacent to an Established Subdivision

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

I AM OWNER OF SAID PROPERTY.

Name: Kenneth WADE Kennel Wade
Address: 1505 S. ALAMO Rockwall, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2022-049: Specific Use Permit for Residential Infill Adjacent to an Established Subdivision

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

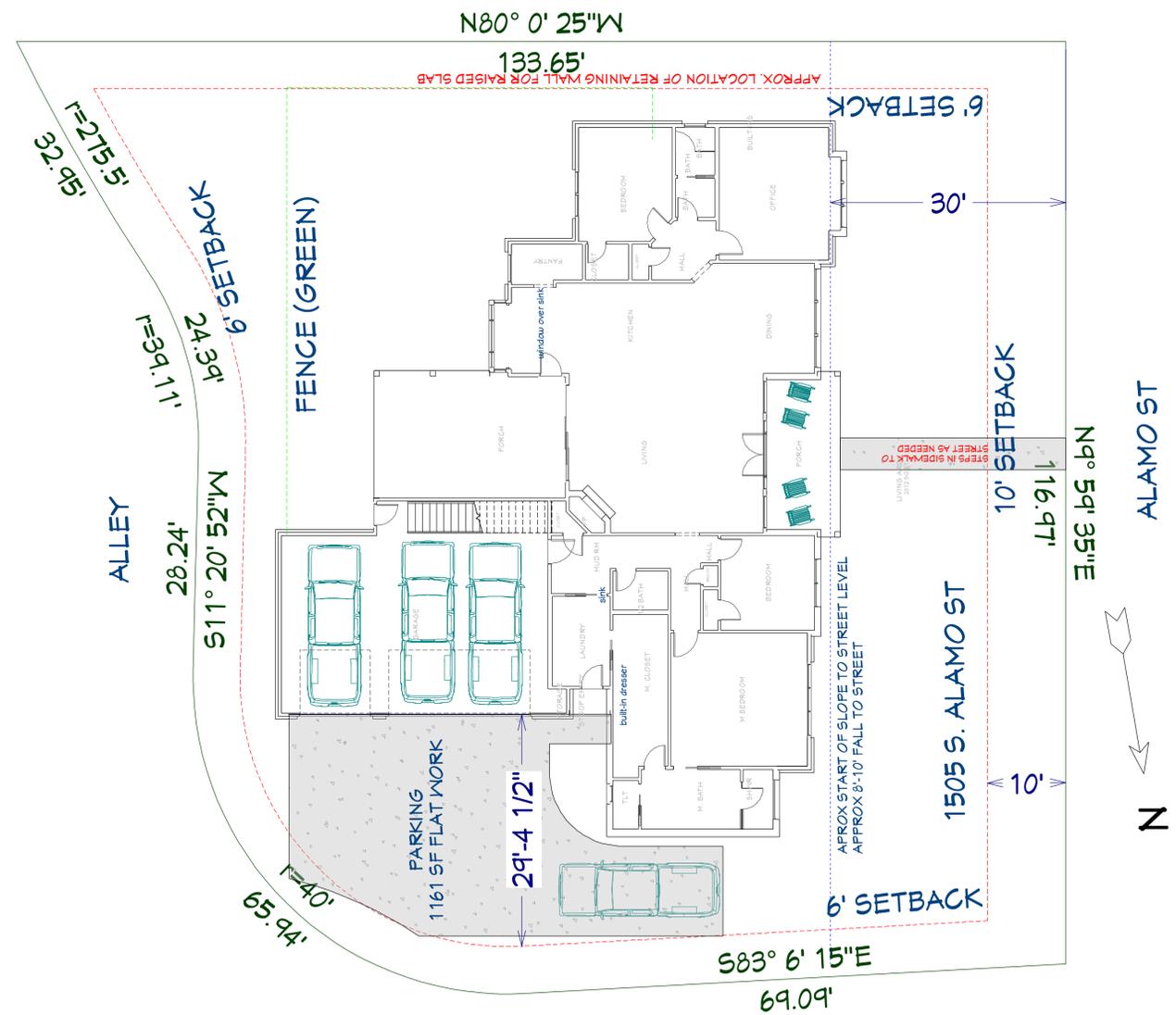
Name: Robert & Margaret Cruse
Address: 1510 S. Alamo Rockwall TX

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



PLOT PLAN, SAT



PLOT PLAN

1/10"=1' SCALE

REV 08

HOME DESIGNED BY:
 AARON HAMILTON
 ABIDE HOME DESIGNS
 ROYSE CITY, TX / 972-583-0459
 AARON@ABIDEHOMEDESIGNS.COM

PLOT PLAN

WADE RESIDENCE
 1505 S ALAMO ST.
 ROCKWALL, TX



DATE:

8/18/2022

SCALE:

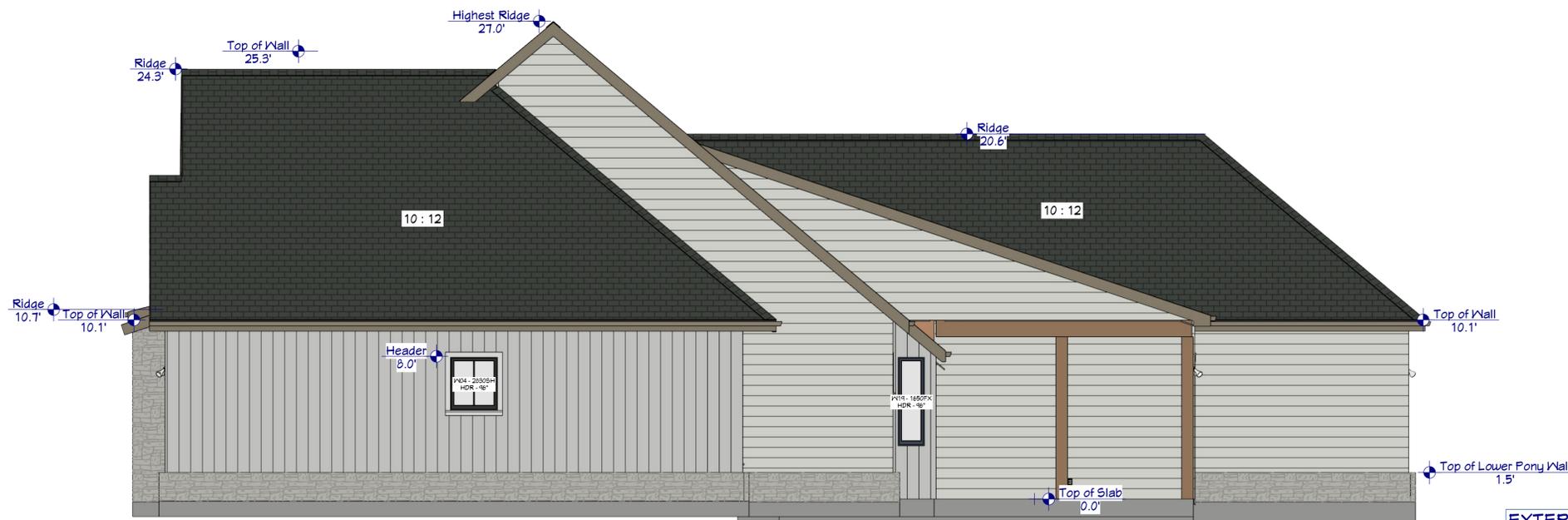
1/4"=1'

SHEET:

5



Exterior Elevation Front



Exterior Elevation Right

EXTERIOR MATERIALS:	
SOFFIT:	HARDI PLANK TRIM AND SOFFIT
SIDING:	HARDI 8.25" LAP SIDING
SIDING:	HARDI BOARD AND BATTEN
STONE:	CHOPPED LEUDER - CHALK/CREAM & SMOKE MIX - 18" PONY WALL V
ROOF:	COMPOSITE SHINGLES (GRAY)
ROOF/ANNINGS:	R PANEL (BLACK)
PORCH POSTS:	8" CEDAR, ROUGH SAWN
POST BASES (IF APPLICABLE):	
CORNER BOARD TRIM:	YES
(SEE STYLE SHEET FOR ADDITIONAL INFO.)	



Exterior Elevation Back



Exterior Elevation Left



FRONT-LEFT



FRONT-RIGHT



BACK-LEFT



BACK-RIGHT

GENERAL NOTES:

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN. IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

BUILDING PERFORMANCE:

HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS: PORCHES, DECKS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

Layout Page Table

Number	Title
1	PROJECT OVERVIEW
2	ELEVATIONS
3	ELEVATIONS (CONT.)
4	SCHEDULES & STYLE
5	PLOT PLAN
6	FOUNDATION/ROUGH-IN PLAN
7	ROOF PLAN - 1F
8	ROOF PLAN W/ RAFTERS - 1F
9	FRAMING PLAN - 1F
10	FRAMING PLAN - 2F
11	ELECTRICAL PLAN - 1F
12	CABINET PLAN
13	CABINET ELEVATIONS
14	CABINET ELEVATIONS CONT.
15	PERSPECTIVE INTERIOR VIEWS

TOTAL HEATED SF:	2812 SF
TOTAL SLAB SF:	4433 SF
TOTAL 1ST FLOOR HEATED:	2812 SF
TOTAL PORCHES UNDER ROOF:	625 SF
TOTAL GARAGE & UTILITY:	966 SF
TOTAL BRICK LEDGE:	30 SF
TOTAL UNDER ROOF SF:	4433 SF

Revision Table				
Label	Date	Revised By	Description	
REV 01	1/12/2021	AJH	INITIAL PLAN DEVELOPMENT	
REV 04	4/7/2022	KMS	BID PLANS--NOT FOR CONSTRUCTION	
REV 05	4/21/2022	AJH	EXT. MATL REVISION	
REV 06	5/10/2022	AJH	BUILD PLANS	
REV 07	6/15/2022	AJH	REVISED KITCHEN WINDOW	
REV 08	6/16/2022	AJH	REMOVED DINING WINDOW TO PORCH, RELOCATED GARAGE SWING DOOR.	

-INTERIOR & EXTERIOR 3D MODEL AVAILABLE (AS NEEDED) UPON REQUEST
 -2D ELECTRONIC CAD FILE AVAILABLE (.DWG, .DXF) UPON REQUEST
 -PLEASE REQUEST EITHER HOMEOWNER OR VIA DESIGNER CONTACT INFO

To the best of my knowledge these plans are drawn to comply with owner's and/or builder's specifications and any changes made on them after prints are made will be done at the owner's and/or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. Hamilton Handcrafted/Abide Home Designs is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

BUILDING CONTRACTOR/HOME OWNER TO REVIEW AND VERIFY ALL DIMENSIONS, SPECS, LOCAL CODE/BUILDER REQUIREMENTS & CONNECTIONS BEFORE CONSTRUCTION BEGINS.

MIN. CODE RECOMMENDATIONS:
 ELECTRICAL SYSTEM CODE: SEC.2701
 MECHANICAL SYSTEM CODE: SEC.2801
 PLUMBING SYSTEM CODE: SEC.2901
 (CONSULT LOCAL/CITY BUILDING REQUIREMENTS)

REV 08

HOME DESIGNED BY:
 AARON HAMILTON
 ABIDE HOME DESIGNS
 ROYSE CITY, TX | 972-593-0959
 AARON@ABIDEHOMEDESIGNS.COM

PROJECT OVERVIEW

WADE RESIDENCE
 1505 S ALAMO ST.
 ROCKWALL, TX



DATE:

8/18/2022

SCALE:

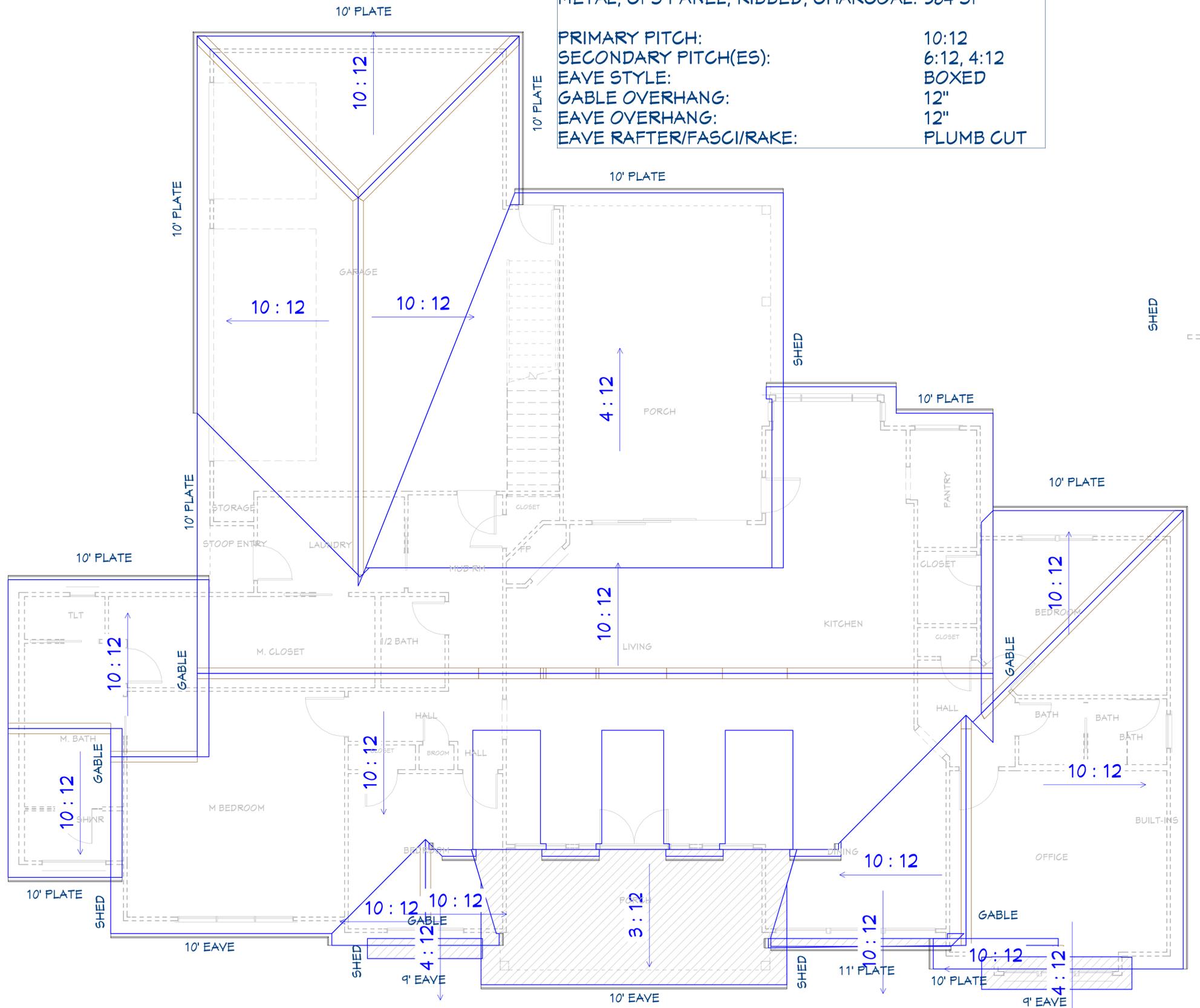
1/4"=1'

SHEET:

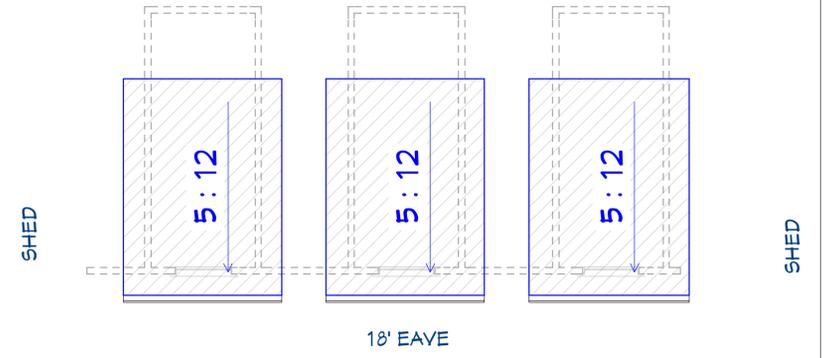
1

TOTAL ROOF SF: 5943 SF
 COMPOSITE SHINGLES, GRAY: 5379 SF
 METAL, CFS PANEL, RIBBED, CHARCOAL: 564 SF

PRIMARY PITCH: 10:12
 SECONDARY PITCH(ES): 6:12, 4:12
 EAVE STYLE: BOXED
 GABLE OVERHANG: 12"
 EAVE OVERHANG: 12"
 EAVE RAFTER/FASCI/RAKE: PLUMB CUT



ROOF PLAN

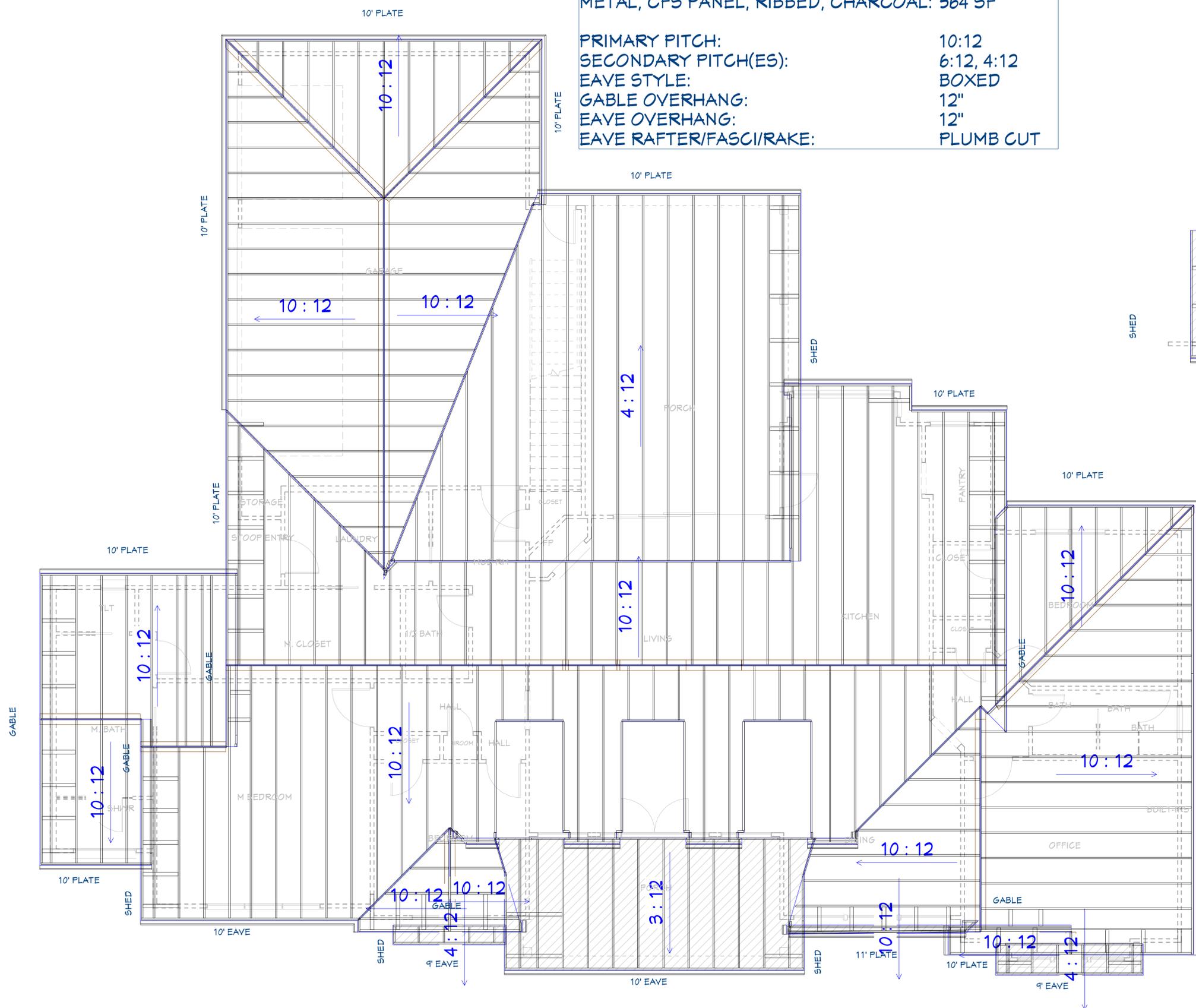


ROOF PLAN 2F

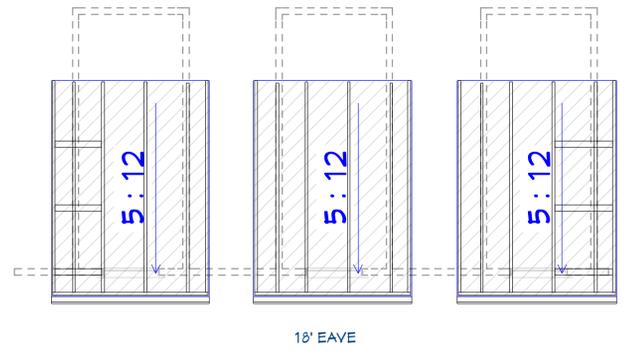
ROOF PLAN

TOTAL ROOF SF: 5943 SF
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 GABLE OVERHANG: 12"
 EAVE OVERHANG: 12"
 EAVE RAFTER/FASCI/RAKE: PLUMB CUT



ROOF PLAN W/ RAFTERS



ROOF PLAN W/ RAFTERS 2F



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2022-049

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
1425 S. Alamo	Single-Family Home	1987	4,438	N/A	Brick and Siding
1423 S. Alamo	Single-Family Home	1995	3,588	144	Brick
1421 S. Alamo	Single-Family Home	2000	4,110	N/A	Brick
202 Meadowdale Drive	Single-Family Home	2000	5,058	54	Brick and Siding
201 Meadowdale Drive	Single-Family Home	1985	4,057	120	Brick and Siding
1510 S. Alamo Road	Single-Family Home	2014	5,038	N/A	Brick
1512 S. Alamo Road	Single-Family Home	2015	4,911	N/A	Brick
1515 S. Alamo Road	Single-Family Home	2014	4,269	N/A	Brick
1511 S. Alamo Road	Single-Family Home	2017	4,810	N/A	Brick
1509 S. Alamo Road	Single-Family Home	2019	4,356	N/A	Siding
1507 S. Alamo Road	Single-Family Home	2018	4,816	N/A	Siding
1505 S. Alamo Road	Vacant	N/A	N/A	N/A	N/A
	AVERAGES:	2006	4,496	106	



CITY OF ROCKWALL

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385 S. GOLIAD STREET • ROCKWALL, TX 75087

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1425 S. Alamo



1423 S. Alamo



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2022-049

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



1421 S. Alamo



202 Meadowdale Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2022-049

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



201 Meadowdale Drive



1510 S. Alamo



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2022-049

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



1512 S. Alamo



1515 S. Alamo



CITY OF ROCKWALL

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PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



1511 S. Alamo



1509 S. Alamo



CITY OF ROCKWALL

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PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



1507 S. Alamo



1505 S. Alamo

CITY OF ROCKWALL

ORDINANCE NO. 22-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.3080-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 6, BLOCK A, EAGLE POINT ESTATES ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Deanna Welch-Williams of Sheldon Custom Homes for the approval of a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* to allow the construction of a single-family home on a 0.3080-acre parcel of land being described as Lot 6, Block A, Eagle Point Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District land uses, situated within the Scenic Overlay (SOV) District, addressed as 1505 S. Alamo Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* to allow the construction of a single-family home in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development

Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 5th DAY OF DECEMBER, 2022.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: November 21, 2022

2nd Reading: December 5, 2022

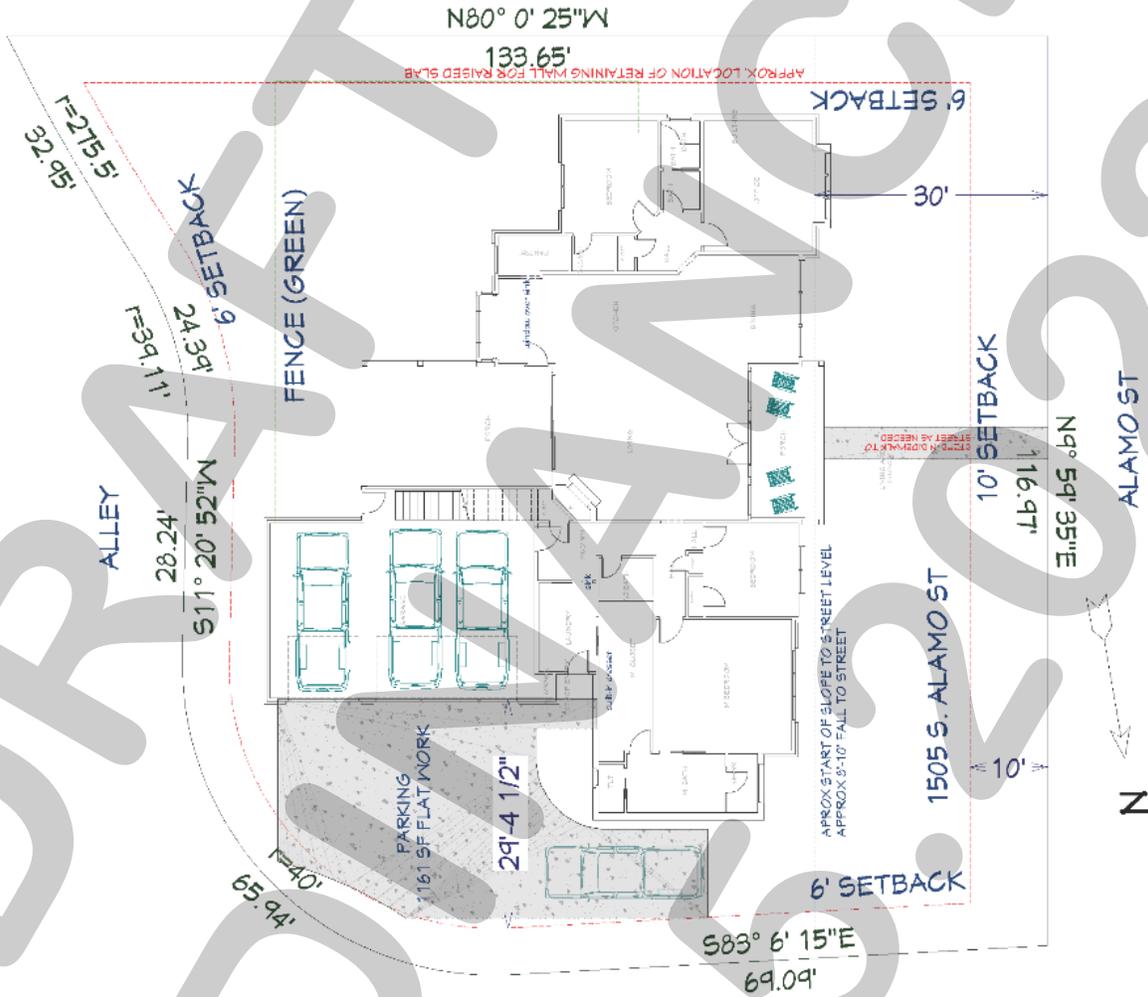
Exhibit 'A'
Location Map and Survey

Address: 1505 S. Alamo Street

Legal Description: Lot 6, Block A, Eagle Point Estates Addition



Exhibit 'B':
Residential Plot Plan



PLOT PLAN



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

FROM: Ryan Miller, *Director of Planning and Zoning*

DATE: November 15, 2022

SUBJECT: Z2022-050; *Amendment to Article 05, District Development Standards, of the Unified Development Code (UDC) for Takeline Private Walkways*

In accordance with Subsection 02.01(C), *Authority to Order Changes to the Unified Development Code (UDC)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), the Director of Planning and Zoning has initiated a text amendment. The purpose of the text amendment is to make minor changes to the material requirements for *Private Walkways* stipulated in Subsection 06.16, *Lake Ray Hubbard Takeline Overlay (TL OV) District*, of Article 05, *District Development Standards*, of the UDC. Specifically, the current ordinance prohibits the use of concrete for *Private Walkways* in the Lake Ray Hubbard Takeline; however, the City currently requires a concrete seawall and concrete cap in the 425.50 Elevation Zone. *Private Walkways* are permitted in the 435.50 and 438.00 Elevations Zones, but are only permitted to be constructed of "...native stone, brick and/or rectangular pavers ...". The purpose behind this prohibition was tied to the existing utilities that traverse the takeline, and the possibility of damage occurring to a *Private Walkway* when servicing the lines; however, the updated *Residential Sublease Agreement* that was prepared and sent out in 2020 includes a section that indemnifies the City of Rockwall of any damage created in an existing easement, stating:

... the City of Rockwall will make a reasonable effort to repair any damage resulting from the City of Rockwall accessing the Take Area for utility maintenance and/or public safety vehicles, and will restore the damaged property as nearly as possible to its condition prior to the damage created by the City of Rockwall accessing the Takeline Area however, if the damage is located within a dedicated easement the requirements of the easement shall govern and no additional obligations are assumed by the City of Rockwall or the City of Dallas as a result of the execution of this Sublease.

Based on this language -- and the fact that concrete is already a permitted material in the 425.50 Elevation Zone -- the prohibition of concrete *Private Walkways* does not appear to be warranted. Staff should note that this issue was originally brought to the Director of Planning and Zoning's attention by several property owners in the takeline looking to construct concrete *Private Walkways*, and that after discussions with these residents the Director choose to bring forward this text amendment. With this being said, the approval of a text amendment to the UDC is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

Staff has placed a redlined copy of the proposed changes along with a draft ordinance in the attached packet. In accordance with Subsection 02.01(C) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), the Director of Planning and Zoning is bringing forward the proposed text amendment to the City Council for consideration, and -- in accordance with Section 02.04(B) of Article 11, *Development Applications and Review Procedures, of the Unified Development Code (UDC)* -- staff is bringing the proposed amendment forward to the Planning and Zoning Commission for a recommendation to the City Council. The schedule for this text amendment is as follows:

~~Planning and Zoning Commission Work Session: October 25, 2022~~

Planning and Zoning Commission Public Hearing: November 15, 2022

City Council Public Hearing/First Reading: November 21, 2022

City Council Second Reading: December 5, 2022

Staff has sent out a 15-day notice to the Rockwall Herald Banner in accordance with all applicable state laws and Section 02.03(A)(3) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC). Should the Planning and Zoning Commission have any questions staff will be available at the meeting on November 15, 2022.



(f) Setback Requirements. *Private utilities* must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 0-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of *private utilities* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A *private utility* must comply with all other applicable City of Rockwall codes.
- (3) Damage to the System. Any damage or destruction to any *private utility* by public safety, utility, maintenance, or inspection personnel and/or their vehicles will be the responsibility of the leasing property owner.

(20) Private Walkways.

(a) Definition. *Private walkways* can be a single path or a network of paths installed by the leasing property owner in the takeline area.

(b) Prerequisites. *Private walkways* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.

(c) Elevation Zone. *Private walkways* shall be allowed in the following zones:

- (1) 438.0: Permitted.
- (2) 435.5: Permitted (*if a Seawall has been constructed*).
- (3) 425.5: Not Permitted.

(d) Conditional Use Standards. *Private walkways* with steps are permitted (see *Landing and Stairs in Subsection 06.15(J)(11)*).

(e) Construction Standards.

- (1) Building Materials. *Private walkways* shall be constructed using native stone, brick, **concrete** and/or rectangle pavers; however, *private walks* shall not consist of loose stone, gravel, sand, **or asphalt, or concrete.**
- (2) Height. *Private walkways* shall be flush with the surrounding grade, or work within the gradient present of the surrounding grade.
- (3) Size. *Private walkways* shall be no greater than 48-inches in width.
- (4) Location. *Private walkways* may encroach into an existing easement or right-of-way, encroach into an identified future easement or right-of-way, or encroach into an identified or set aside access path, provided that the property owner or sublease is

responsible for repair and/or replacement of the walks in the event they are damaged or removed by the City or other public entity as a result of the necessary use of, or work within or around, said easements. An existing and future easement running through a lease property will be allowed to substitute for the 12-foot wide primary access right-of-way path provided it is 12-feet wide, suitable for access, and will connect to adjacent access paths.

(f) Setback Requirements. *Private walkways* must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 10-Feet

(g) Additional Requirements.

(1) Earth Work. Earth work required for the construction of *private walkways* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) Compliance with Applicable Codes. A *private walkway* must comply with all other applicable City of Rockwall codes.

(3) Damage to the System. Any damage or destruction to any *private walkway* by public safety, utility, maintenance, or inspection personnel and/or their vehicles will be the responsibility of the leasing property owner.

(21) Seawall.

(a) Definition. A *seawall* is an engineered concrete or steel structure at the water's edge that is typically designed to curb shoreline erosion where it is installed.

(b) Prerequisites. A *seawall* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.

(c) Elevation Zone. A *seawall* shall be allowed in the following zones:

- (1) 438.0: Not Permitted.
- (2) 435.5: Not Permitted.
- (3) 425.5: Permitted.

NOTE: Seawalls are only permitted along the shoreline.

(d) Construction Standards.

(1) Concrete Cap. A six (6) foot wide concrete cap must be constructed along the entire length of the erosion control structure. In order to allow the backfill material to properly settle, the construction of the concrete cap may be delayed for several weeks/months after the construction of the erosion control structure; however, in no case should the construction of the concrete cap be delayed for a time period exceeding one (1) year from the date of construction of the erosion control structure.



SUBSECTION 07.05: LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT DEVELOPMENT STANDARDS

LAND USE ¹	CONDITIONAL USE REFERENCE SEE SUBSECTION 06.15(J)	PRE-REQUISITES L: SEAWALL, FP: FIXED PIER	ELEVATION ZONES			MINIMUM SIZE (FEET OR SQUARE FEET)	MAXIMUM SIZE (FEET, INCHES, OR SQUARE FEET)	MINIMUM HEIGHT (FEET OR INCHES)	MAXIMUM HEIGHT (FEET)	SIDE YARD SETBACK (FEET)	BUILDING MATERIALS
			438.0	435.5	425.5						
BARBECUE PIT	(1)	L	P	X	X	3' x 3'	8' x 3'	0'	6'	6'	NS, B, C, AND IR
BOAT HOUSE ^{2, 4, 5, & 15}	(2)	L, S, & FP	X	X	P	8' x 30'	12' x 30'	16'	21'	10'	CM FOR CATWALK AND DECKING; GM, IR, S, OR A FOR THE SUPPORTS ³ ; CM, GM, IR, S, A, CW, IW, OR RW FOR ROOF BEAMS; AND SSM FOR THE ROOF
COVERED PATIO ^{5 & 15}	(3)	L & S ¹⁶	P	P	X	0'	12' x 20'	0'	15' ^{6 & 7}	20'	CW, IW, & RW IN THE 438.0 ELEVATION ZONE; CM OR M IN THE 435.5 ELEVATION ZONE; SSM FOR THE ROOF
DECK ^{5 & 18}	(4)	L & S ¹⁶	P	P	X	0'	1,000 SF	2' OR 24"	1'	20'	CM FOR THE DECKING, C FOOTINGS FOR FOUNDATION, AND WR FOR FENCING/RAILING
DOCK DECK ^{2 & 5}	(5)	L, S, & FP	X	X	P	8' x 10'	12' x 30'	0'	8' ⁸	10'	CM
FENCE	(6)	L	P	X	X	0'	45'	4'	4'	0'	WR
FLAGPOLE ^{5 & 9}	(7)	L & S ¹⁶	P	P	X	5" BASE	8" BASE	0'	20'	6'	SS OR A
FIXED PIER ^{2 & 5}	(8)	L & S	X	X	P	0'	6' x 40'	0'	8' ¹⁰	10'	CM FOR CATWALK AND DECKING; CM OR S FOR RAILINGS
FIRE PIT	(9)	L & S ¹⁶	P	X	X	3' x 3'	5' x 5'	0'	3'	6'	NS, B, AND C
GAZEBO ^{5 & 15}	(10)	L & S ¹⁶	P	P	X	0'	12' x 12'	0'	15'/18' ^{7 & 11}	20'	CW, RW, IW, CM, OR M IN THE 438.0 ELEVATION ZONE; AND CM OR M IN THE 435.5 ELEVATION ZONE
LANDING AND STAIRS	(11)	L & S ¹⁷	P	P	P	0'	8' x 8' x 6'	3'	SAME AS RETAINING WALL	5'	NS, B, AND C FOR THE STAIRS; WR OR BLACK S FOR THE RAILINGS AND/OR FENCE
PATIO ^{5 & 18}	(15)	L	P	P	X	0'	1,000 SF	0'	1'	20'	NS FOR THE DECK AREA AND WR FOR RAILINGS
PERGOLA ⁵	(16)	L & S ¹⁶	P	P	X	0'	12' x 20'	0'	12' ⁷	20'	CW, RW, IW, OR CM IN THE 438.0 ELEVATION ZONE; CM OR M IN THE 435.5 ELEVATION ZONE
PICNIC TABLE	(17)	L	P	P	X	0'	8' x 10'	0'	3' OR 36"	6'	NS, B, AND C
PRIVATE PLAY STRUCTURE	(18)	L	P	X	X	0 SF	1,000 SF	0'	8'	20'	A, GM, R, CW, RW, AND IW
PRIVATE WALKWAYS	(20)	L & S ¹⁶	P	P	X	0'	48" WIDE	0'	FLUSH WITH GRADE	10'	NS, B, C, AND RECTANGULAR PAVERS
LANDSCAPING AND RETAINING WALLS ^{12 & 13}	(12)	L	P	P	X	NOTES: ^{1:} FOR ALL LAND USES CHECK SECTION 06.15, LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT FOR ADDITIONAL REQUIREMENTS AND RESTRICTIONS. ^{2:} BOATHOUSES, FIXED PIERS, DOCK DECKS, OR ANY COMBINATION OF THESE STRUCTURES MAY NOT EXTEND MORE THAN 40-FEET INTO THE WATER FROM THE 435.5 ELEVATION CONTOUR. ^{3:} REQUIRES A HIP ROOF, A MINIMUM OF 2:1 ROOF PITCH, WITH ONE (1) CUPOLA (3' x 4') IN THE MIDDLE OF THE ROOF OR TWO (2) CUPOLAS (3' x 4') AT EACH END OF THE ROOF. ^{4:} SUPPORT POSTS MAY BE WRAPPED IN A COMPOSITE MATERIAL. ^{5:} THE STRUCTURE SHALL BE GENERALLY CENTERED IN THE LEASE AREA BEHIND THE PRIMARY STRUCTURE ON THE LEASING PROEPRTY IF LOCATED IN THE 435.5 OR 425.5 ELEVATION ZONES (IF PERMITTED IN THE ZONE).					
MUNICIPAL UTILITIES	(13)	NONE	P	P	P						
OUTDOOR LIGHTING	(14)	L	P	X	X						
PRIVATE UTILITIES	(19)	L	P	P	X						
SEAWALL	(21)	L	X	X	P						
SPRINKLER/ IRRIGATION SYSTEM ¹⁴	(22)	L	P	P	X						

- ^{6:} REQUIRES A HIP OR GABLE ROOF WITH A CUPOLA OR CLERESTORY AND A MINIMUM ROOF PITCH OF 4:1.
- ^{7:} SHALL NOT EXCEED ONE (1) STORY OR BE USED AS A ROOF TOP DECK.
- ^{8:} EIGHT (8) FEET ABOVE THE SURFACE AREA OF THE FLAT FLOOR SURFACE WITH NO MORE THAN FOUR (4) POLE STRUCTURES ALLOWED.
- ^{9:} A MAXIMUM OF TWO (2) FLAG POLES ARE PERMITTED AND ONLY THE UNITED STATES OF AMERICA AND TEXAS FLAGS ARE TO BE FLOWN.
- ^{10:} EIGHT (8) FEET ABOVE THE SURFACE AREA OF THE FLAT FLOOR SURFACE WITH NO MORE THAN TWO (2) POLE STRUCTURES ALLOWED.
- ^{11:} REQUIRES A HIP OR GABEL ROOF OR A HIP AND/OR GABEL ROOF, WITH A MINIMUM ROOF PITCH OF 2:1, AND THAT IS A MAXIMUM OF 15-FEET WITHOUT A CLERESTORY OR CUPOLA OR 18-FEET WITH A CLERESTORY OR CUPOLA.
- ^{12:} REMEDIAL LANDSCAPING ALLOWED IN THE 425.5 ELEVATION ZONE WITH THE INTENT TO MAINTAIN THE INTEGRITY OF THE SHORELINE.
- ^{13:} RETAINING WALLS THAT ARE A PART OF LANDSCAPING ARE LIMITED TO LESS THAN THREE (3) FEET IN HEIGHT.
- ^{14:} HEADS SHOULD EXTEND NO HIGHER THAN THREE (3) FEET FROM THE AVREAGE BASE OF THE SURROUNDING TERRIAN WITHIN A THREE (3) FOOT RADIUS.
- ^{15:} ROOF OVERHANGS SHALL NOT EXCEED 18-INCHES.
- ^{16:} A SEAWALL IS ONLY REQUIRED FOR CONSTRUCTION IN THE 435.5 ELEVATION ZONE.
- ^{17:} A SEAWALL IS ONLY REQUIRED FOR CONSTRUCTION IN THE 435.5 OR 425.5 ELEVATION ZONES.
- ^{18:} HANDRAILS ARE PROBITED IN THE 435.5 ELEVATION ZONE.

CITY OF ROCKWALL

ORDINANCE NO. 22-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, BY AMENDING ARTICLE 05, DISTRICT DEVELOPMENT STANDARDS, AS DEPCITED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, an amendment to the City of Rockwall's Unified Development Code [Ordinance No. 20-02] has been initiated by the City Council of the City of Rockwall to amend Article 05, *District Development Standards*, of the Unified Development Code [Ordinance No. 20-02]; and,

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the city's corporate boundaries, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That Article 05, *District Development Standards*, of the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended as specifically described in *Exhibit 'A'* of this ordinance;

SECTION 2. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 3. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code [Ordinance No. 20-02], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 4. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 5TH DAY OF DECEMBER, 2022.

Kevin Fowler, Mayor

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: November 21, 2022

2nd Reading: December 5, 2022

DRAFT
ORDINANCE
17.15.2022

Exhibit 'A'
*Article 05, District Development Standards, of the
Unified Development Code (UDC)*

See Next Page ...



(f) Setback Requirements. *Private utilities* must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 0-Feet

(g) Additional Requirements.

- (1) Earth Work. Earth work required for the construction of *private utilities* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.
- (2) Compliance with Applicable Codes. A *private utility* must comply with all other applicable City of Rockwall codes.
- (3) Damage to the System. Any damage or destruction to any *private utility* by public safety, utility, maintenance, or inspection personnel and/or their vehicles will be the responsibility of the leasing property owner.

(20) Private Walkways.

(a) Definition. *Private walkways* can be a single path or a network of paths installed by the leasing property owner in the takeline area.

(b) Prerequisites. *Private walkways* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- when constructing in the 435.5 Elevation Zone -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.

(c) Elevation Zone. *Private walkways* shall be allowed in the following zones:

- (1) 438.0: Permitted.
- (2) 435.5: Permitted (if a *Seawall* has been constructed).
- (3) 425.5: Not Permitted.

(d) Conditional Use Standards. *Private walkways* with steps are permitted (see *Landing and Stairs* in [Subsection 06.15\(J\)\(11\)](#)).

(e) Construction Standards.

- (1) Building Materials. *Private walkways* shall be constructed using native stone, brick, concrete and/or rectangle pavers; however, *private walks* shall not consist of loose stone, gravel, sand, or asphalt, or concrete.
- (2) Height. *Private walkways* shall be flush with the surrounding grade, or work within the gradient present of the surrounding grade.
- (3) Size. *Private walkways* shall be no greater than 48-inches in width.
- (4) Location. *Private walkways* may encroach into an existing easement or right-of-way, encroach into an identified future easement or right-of-way, or encroach into an identified or set aside access path, provided that the property owner or sublease is

responsible for repair and/or replacement of the walks in the event they are damaged or removed by the City or other public entity as a result of the necessary use of, or work within or around, said easements. An existing and future easement running through a lease property will be allowed to substitute for the 12-foot wide primary access right-of-way path provided it is 12-feet wide, suitable for access, and will connect to adjacent access paths.

(f) Setback Requirements. *Private walkways* must adhere to the following setbacks:

- (1) Takeline Setback: 0-Feet
- (2) Leased Side Yard Setback: 10-Feet

(g) Additional Requirements.

(1) Earth Work. Earth work required for the construction of *private walkways* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) Compliance with Applicable Codes. A *private walkway* must comply with all other applicable City of Rockwall codes.

(3) Damage to the System. Any damage or destruction to any *private walkway* by public safety, utility, maintenance, or inspection personnel and/or their vehicles will be the responsibility of the leasing property owner.

(21) Seawall.

(a) Definition. A *seawall* is an engineered concrete or steel structure at the water's edge that is typically designed to curb shoreline erosion where it is installed.

(b) Prerequisites. A *seawall* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.

(c) Elevation Zone. A *seawall* shall be allowed in the following zones:

- (1) 438.0: Not Permitted.
- (2) 435.5: Not Permitted.
- (3) 425.5: Permitted.

NOTE: Seawalls are *only* permitted along the shoreline.

(d) Construction Standards.

(1) Concrete Cap. A six (6) foot wide concrete cap must be constructed along the entire length of the erosion control structure. In order to allow the backfill material to properly settle, the construction of the concrete cap may be delayed for several weeks/months after the construction of the erosion control structure; however, in no case should the construction of the concrete cap be delayed for a time period exceeding one (1) year from the date of construction of the erosion control structure.



SUBSECTION 07.05: LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT DEVELOPMENT STANDARDS

LAND USE ¹	CONDITIONAL USE REFERENCE SEE SUBSECTION 06.15(J)	PRE-REQUISITES L: SEAWALL, FP: FIXED PIER	ELEVATION ZONES			MINIMUM SIZE (FEET OR SQUARE FEET)	MAXIMUM SIZE (FEET, INCHES, OR SQUARE FEET)	MINIMUM HEIGHT (FEET OR INCHES)	MAXIMUM HEIGHT (FEET)	SIDE YARD SETBACK (FEET)	BUILDING MATERIALS
			438.0	435.5	425.5						
BARBECUE PIT	(1)	L	P	X	X	3' x 3'	8' x 3'	0'	6'	6'	NS, B, C, AND IR
BOAT HOUSE ^{2, 4, 5, & 15}	(2)	L, S, & FP	X	X	P	8' x 30'	12' x 30'	16'	21'	10'	CM FOR CATWALK AND DECKING; GM, IR, S, OR A FOR THE SUPPORTS ³ ; CM, GM, IR, S, A, CW, IW, OR RW FOR ROOF BEAMS; AND SSM FOR THE ROOF
COVERED PATIO ^{5 & 15}	(3)	L & S ¹⁶	P	P	X	0'	12' x 20'	0'	15' ^{6 & 7}	20'	CW, IW, & RW IN THE 438.0 ELEVATION ZONE; CM OR M IN THE 435.5 ELEVATION ZONE; SSM FOR THE ROOF
DECK ^{5 & 18}	(4)	L & S ¹⁶	P	P	X	0'	1,000 SF	2' OR 24"	1'	20'	CM FOR THE DECKING, C FOOTINGS FOR FOUNDATION, AND WR FOR FENCING/RAILING
DOCK DECK ^{2 & 5}	(5)	L, S, & FP	X	X	P	8' x 10'	12' x 30'	0'	8' ⁸	10'	CM
FENCE	(6)	L	P	X	X	0'	45'	4'	4'	0'	WR
FLAGPOLE ^{5 & 9}	(7)	L & S ¹⁶	P	P	X	5" BASE	8" BASE	0'	20'	6'	SS OR A
FIXED PIER ^{2 & 5}	(8)	L & S	X	X	P	0'	6' x 40'	0'	8' ¹⁰	10'	CM FOR CATWALK AND DECKING; CM OR S FOR RAILINGS
FIRE PIT	(9)	L & S ¹⁶	P	X	X	3' x 3'	5' x 5'	0'	3'	6'	NS, B, AND C
GAZEBO ^{5 & 15}	(10)	L & S ¹⁶	P	P	X	0'	12' x 12'	0'	15'/18' ^{7 & 11}	20'	CW, RW, IW, CM, OR M IN THE 438.0 ELEVATION ZONE; AND CM OR M IN THE 435.5 ELEVATION ZONE
LANDING AND STAIRS	(11)	L & S ¹⁷	P	P	P	0'	8' x 8' x 6'	3'	SAME AS RETAINING WALL	5'	NS, B, AND C FOR THE STAIRS; WR OR BLACK S FOR THE RAILINGS AND/OR FENCE
PATIO ^{5 & 18}	(15)	L	P	P	X	0'	1,000 SF	0'	1'	20'	NS FOR THE DECK AREA AND WR FOR RAILINGS
PERGOLA ⁵	(16)	L & S ¹⁶	P	P	X	0'	12' x 20'	0'	12' ⁷	20'	CW, RW, IW, OR CM IN THE 438.0 ELEVATION ZONE; CM OR M IN THE 435.5 ELEVATION ZONE
PICNIC TABLE	(17)	L	P	P	X	0'	8' x 10'	0'	3' OR 36"	6'	NS, B, AND C
PRIVATE PLAY STRUCTURE	(18)	L	P	X	X	0 SF	1,000 SF	0'	8'	20'	A, GM, R, CW, RW, AND IW
PRIVATE WALKWAYS	(20)	L & S ¹⁶	P	P	X	0'	48" WIDE	0'	FLUSH WITH GRADE	10'	NS, B, C, AND RECTANGULAR PAVERS
LANDSCAPING AND RETAINING WALLS ^{12 & 13}	(12)	L	P	P	X	NOTES: ^{1:} FOR ALL LAND USES CHECK SECTION 06.15, LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT FOR ADDITIONAL REQUIREMENTS AND RESTRICTIONS. ^{2:} BOATHOUSES, FIXED PIERS, DOCK DECKS, OR ANY COMBINATION OF THESE STRUCTURES MAY NOT EXTEND MORE THAN 40-FEET INTO THE WATER FROM THE 435.5 ELEVATION CONTOUR. ^{3:} REQUIRES A HIP ROOF, A MINIMUM OF 2:1 ROOF PITCH, WITH ONE (1) CUPOLA (3' x 4') IN THE MIDDLE OF THE ROOF OR TWO (2) CUPOLAS (3' x 4') AT EACH END OF THE ROOF. ^{4:} SUPPORT POSTS MAY BE WRAPPED IN A COMPOSITE MATERIAL. ^{5:} THE STRUCTURE SHALL BE GENERALLY CENTERED IN THE LEASE AREA BEHIND THE PRIMARY STRUCTURE ON THE LEASING PROPERTY IF LOCATED IN THE 435.5 OR 425.5 ELEVATION ZONES (IF PERMITTED IN THE ZONE).					
MUNICIPAL UTILITIES	(13)	NONE	P	P	P						
OUTDOOR LIGHTING	(14)	L	P	X	X						
PRIVATE UTILITIES	(19)	L	P	P	X						
SEAWALL	(21)	L	X	X	P						
SPRINKLER/ IRRIGATION SYSTEM ¹⁴	(22)	L	P	P	X						

^{6:} REQUIRES A HIP OR GABLE ROOF WITH A CUPOLA OR CLERESTORY AND A MINIMUM ROOF PITCH OF 4:1.
^{7:} SHALL NOT EXCEED ONE (1) STORY OR BE USED AS A ROOF TOP DECK.
^{8:} EIGHT (8) FEET ABOVE THE SURFACE AREA OF THE FLAT FLOOR SURFACE WITH NO MORE THAN FOUR (4) POLE STRUCTURES ALLOWED.
^{9:} A MAXIMUM OF TWO (2) FLAG POLES ARE PERMITTED AND ONLY THE UNITED STATES OF AMERICA AND TEXAS FLAGS ARE TO BE FLOWN.
^{10:} EIGHT (8) FEET ABOVE THE SURFACE AREA OF THE FLAT FLOOR SURFACE WITH NO MORE THAN TWO (2) POLE STRUCTURES ALLOWED.
^{11:} REQUIRES A HIP OR GABEL ROOF OR A HIP AND/OR GABEL ROOF, WITH A MINIMUM ROOF PITCH OF 2:1, AND THAT IS A MAXIMUM OF 15- FEET WITHOUT A CLERESTORY OR CUPOLA OR 18- FEET WITH A CLERESTORY OR CUPOLA.
^{12:} REMEDIAL LANDSCAPING ALLOWED IN THE 425.5 ELEVATION ZONE WITH THE INTENT TO MAINTAIN THE INTEGRITY OF THE SHORELINE.
^{13:} RETAINING WALLS THAT ARE A PART OF LANDSCAPING ARE LIMITED TO LESS THAN THREE (3) FEET IN HEIGHT.
^{14:} HEADS SHOULD EXTEND NO HIGHER THAN THREE (3) FEET FROM THE AVREAGE BASE OF THE SURROUNDING TERRIAN WITHIN A THREE (3) FOOT RADIUS.
^{15:} ROOF OVERHANGS SHALL NOT EXCEED 18-INCHES.
^{16:} A SEAWALL IS ONLY REQUIRED FOR CONSTRUCTION IN THE 435.5 ELEVATION ZONE.
^{17:} A SEAWALL IS ONLY REQUIRED FOR CONSTRUCTION IN THE 435.5 OR 425.5 ELEVATION ZONES.
^{18:} HANDRAILS ARE PROBITED IN THE 435.5 ELEVATION ZONE.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: November 15, 2022
APPLICANT: Alan Jacob; *Delayne Reamsbottom*
CASE NUMBER: SP2022-053; *Site Plan for a Self-Service Car Wash*

SUMMARY

Discuss and consider a request by Alan Jacob on behalf of Jim Melino of the Cambridge Companies, Inc. for the approval of a Site Plan for a *Self-Service Carwash* on a 6.37-acre tract of land identified as Tract 3-09 of the J. M. Allen Survey, Abstract No. 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 10 (PD-10) for Commercial (C) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, located at the northwest corner of SH-276 and John King Boulevard, and take any action necessary.

BACKGROUND

On September 16, 1974, the subject property was annexed by *Ordinance No. 74-26 [Case No. A1974-006]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. On November 4, 1974 the zoning was changed from Agricultural (AG) District to Planned Development District 10 (PD-10). This Planned Development District was amended in 1996 [*Ordinance No. 96-03*], 2000 [*Ordinance No. 00-08*], 2004 [*Ordinance No.'s 04-25 & 04-40*], 2012 [*Ordinance No. 12-13*], 2013 [*Ordinance No. 13-39*], and 2020 [*Ordinance No. 20-30*]. Currently, the Planned Development District ordinance designates the subject property for Commercial (C) District land uses. In addition, the subject property has remained vacant since annexation.

PURPOSE

The applicant -- *Alan Jacob of Delayne Reamsbottom* -- is requesting the approval of a Site Plan for the purpose of establishing a *Self-Service Car Wash*.

ADJACENT LAND USES AND ACCESS

The subject property is situated at the northwest corner of SH-276 and John King Boulevard. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 32.6546-acre lot (*i.e. Lot 1, Block A, Mansions Family Addition*) developed with a multi-family development (*i.e. Sixteen50 at Lake Ray Hubbard*) zoned Planned Development District 10 (PD-10) for multi-family and single-family attached (*i.e. Townhomes*) land uses. Beyond this is Phase 3 of the Rockwall Downes Subdivision, which was platted in January 31, 2017 and consists of 26 single-family residential lots. This property is zoned Planned Development District 10 (PD-10) for single-family land uses.

South: Directly south of the subject property is SH-276, which is classified as a TXDOT6D (*i.e. a Texas Department of Transportation, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 6.705-acre tract of land (*i.e. Lot 1, Block 1, Rockwall Bypass Addition*), zoned Planned Development District 10 (PD-10) for Commercial (C) District land uses. Beyond this is a 2.41-acre vacant tract of land (*i.e. Tract 1-2, of the W H Baird Survey, Abstract No. 25*) zoned Planned Development District 10 (PD-10) for Commercial (C) District land uses.

East: Directly east of the subject property is John King Boulevard, which is identified as a P6D (*i.e. principle collector, six (6) lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040

Comprehensive Plan. Beyond this is a 1.0080-acre parcel of land (i.e. Lot 1, Block A, VRE Rockwall Addition) developed with a Retail Store with Gasoline Sales with more than Two (2) Dispensers (i.e. 7-11), zoned Planned Development District 10 (PD-10) for limited Commercial (C) District land uses.

West: Directly west of the subject property is a 32.6546-acre lot (i.e. Lot 1, Block A, Mansions Family Addition) developed with a multi-family development (i.e. Sixteen50 at Lake Ray Hubbard), zoned Planned Development District 10 (PD-10) for multi-family, single-family attached (i.e. Townhomes) land uses. Beyond this is a 6.739-acre lot (i.e. Lot 2, Block A, Houser Addition), zoned Heavy Commercial (HC) District and developed with a heavy manufacturing facility (i.e. Chryso Inc.).

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section D, *PD Development Standards*, of Planned Development District 10 (PD-10), a *Self-Service Car Wash* is a permitted *by-right* land use on the subject property. The submitted site plan, landscape plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Commercial (C) District and Planned Development District 10 (PD-10), with the exception of the variances and exceptions outline in the *Variances and Exceptions by the Applicant* section below. A summary of the density and dimensional requirements for the subject property and the proposed projects conformance to these requirements are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	43,560 SF	X=277,477 SF; In Conformance
<i>Minimum Lot Frontage</i>	25-Feet	X>233-Feet; In Conformance
<i>Minimum Lot Depth</i>	100-Feet	X>267-Feet; In Conformance
<i>Minimum Front Yard Setback</i>	25-Feet	X=30-Feet; In Conformance
<i>Minimum Rear Yard Setback</i>	10-Feet	X>10-Feet; In Conformance
<i>Minimum Side Yard Setback</i>	10-Feet	X≥10-Feet; In Conformance
<i>Maximum Building Height</i>	60-Feet	X=33.5-feet; In Conformance
<i>Max Building/Lot Coverage</i>	60%	X<60%; In Conformance
<i>Minimum Number of Parking Spaces</i>	Car Wash (1/250): 21 Spaces +5 employee stalls 26 total spaces	X=27; In Conformance
<i>Minimum Landscaping Percentage</i>	20%	X=80%; In Conformance
<i>Maximum Impervious Coverage</i>	85-90%	C=45%; In Conformance

TREESCAPE PLAN

The treescape table provided by the applicant indicates that 1,042.50 inches of trees will be removed from the subject property as a result of the development. According to Subsection 05 (F), *Mitigation Balance*, of Article 09, *Tree Preservation*, of the Unified Development Code (UDC) "...(t)rees required by Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC) shall be permitted to be subtracted from the total mitigation balance if provided on site as part of the required landscaping." In this case, the landscape table provided by the applicant indicates that 20, four (4) caliper inch caliper trees will be planted. With the planted trees, the remaining mitigation balance will be 855.50 inches (i.e. 935.50 – [20 x 4.00] = 855.50). The applicant has indicated to staff that they would like to request an *Alternative Tree Mitigation Settlement Agreement* in order to pay the remaining tree mitigation balance in full. This would equate to a total of \$85,550.00 paid into the *Tree Fund* if approved. This has been added as a *Condition of Approval* for this case and -- if the *Planning and Zoning Commission* approves this case with the *Conditions of Approval* – the *Planning and Zoning Commission* will be sending a recommendation for the approval of the requested *Alternative Tree Mitigation Settlement Agreement*.

CONFORMANCE WITH THE CITY’S CODES

Based on Subsection 02.02, *Land Use Standards*, of Article 13, *Definitions*, of the Unified Development Code (UDC), the applicant is requesting the approval of a *Self-Service Car Wash*, which conforms to the land uses listed in Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) for a property situated in a Commercial (C) District, and with the requirements of Planned Development District 10 (PD-10) as stipulated by *Ordinance No. 20-30*. The proposed site plan generally conforms to the *General Overlay District Standards* and the *General Commercial (C) District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the

exception of the variances and exceptions being requested in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following exceptions and variances:

- (1) Roof Design Standards. According to Subsection 06.02 (C)(2), *Roof Design Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(a)ll structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof". In this case the applicant is proposing a flat roof with a parapet to screen the roof mounted utility equipment. This will require a variance from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).
- (2) Four (4) Sided Architecture. According to Subsection 06.02 (C)(5), *Four (4) Sided Architecture*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(a)ll buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features." In this case the applicant is required to meet the building articulation standards for the primary building façade on all sides of the building. Given the proposed building elevations the applicant does not meet the wall projection requirements. This will require a variance from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), an applicant may request the Planning and Zoning Commission grant exceptions and variances to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code would create an undue hardship. In addition, the code requires that applicants provide a minimum of two (2) compensatory measures for each variance or exception requested. The proposed compensatory measures are intended to directly offset the requested exceptions and variances. In this case, as compensatory measures, the applicant is only proposing to incorporate more than the required 20% stone on the building; however, after reviewing the applicant's plans, staff has identified the following that could be considered compensatory measures: [1] more than 90% masonry materials on the two (2) primary facades, [2] six (6) more accent trees than required along SH-276, [3] two (2) more canopy trees than required along SH-276, and [4] six (6) more accent trees than required along John King Boulevard. Regardless of the provided compensatory measures, requests for exceptions and variances are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of an exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the Technology District and is designated for Commercial/Retail land uses. According to the plan, the Commercial/Retail land use category "...is characterized by single to multi-tenant commercial retail centers along major arterials at key intersections." In this case, the subject property is at a key intersection, but the proposed use (*i.e. a Self Service Carwash*) is not a multi-tenant commercial retail center. The primary land uses in Commercial/Retail include commercial retail buildings, restaurants/brew pubs, multi-tenant commercial centers, neighborhood centers and convenience centers. In this case, the applicant is requesting approval for a *Self-Service Car Wash*, which does not appear to conform to the land uses called out for the subject property according to the OURHometown Vision 2040 Comprehensive Plan; however, staff should point out that the land uses is permitted within the Commercial (C) District and that the Commercial (C) District is considered to be a conforming zoning district in the Commercial/Retail designation.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On October 25, 2022, the Architecture Review Board (ARB) reviewed the proposed building elevations, and made a motion to recommend approval by a vote of 4-0, with Board Member Johnson, Meyrat, and Lefere absent.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the construction of the *Self-Service Carwash* on the subject property, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans;
- (2) The applicant will need to provide an updated Landscape Plan showing one (1) canopy tree per 750 SF of detention area and one (1) accent tree per 1,500 SF of detention area. This plan will need to be submitted and approved prior to submitting civil engineering.
- (3) A recommendation of approval will be forwarded to the City Council for an *Alternative Tree Mitigation Settlement Agreement* in the amount of \$85,550.00, which will satisfy the outstanding tree mitigation balance of 855.5 caliper inches of trees.
- (4) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

<p>PLATTING APPLICATION FEES:</p> <p><input type="checkbox"/> MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹</p> <p><input type="checkbox"/> PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹</p> <p><input type="checkbox"/> FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹</p> <p><input type="checkbox"/> REPLAT (\$300.00 + \$20.00 ACRE) ¹</p> <p><input type="checkbox"/> AMENDING OR MINOR PLAT (\$150.00)</p> <p><input type="checkbox"/> PLAT REINSTATEMENT REQUEST (\$100.00)</p> <p>SITE PLAN APPLICATION FEES:</p> <p><input checked="" type="checkbox"/> SITE PLAN (\$250.00 + \$20.00 ACRE) ¹</p> <p><input type="checkbox"/> AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)</p>	<p>ZONING APPLICATION FEES:</p> <p><input type="checkbox"/> ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹</p> <p><input type="checkbox"/> SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}</p> <p><input type="checkbox"/> PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹</p> <p>OTHER APPLICATION FEES:</p> <p><input type="checkbox"/> TREE REMOVAL (\$75.00)</p> <p><input type="checkbox"/> VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²</p> <p>NOTES:</p> <p>¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.</p> <p>²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.</p>
--	--

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: Northwest Corner of SH276 & John King Boulevard

SUBDIVISION: Mansions Family Addition LOT: 1 BLOCK: A

GENERAL LOCATION: Central City

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	Commercial, PD-10	CURRENT USE	Vacant Land, Zoned Commercial PD-10
PROPOSED ZONING	Commercial, PD-10 (same as current)	PROPOSED USE	Express Auto Spa (Car Wash)
ACREAGE	6.37	LOTS [CURRENT]	1
		LOTS [PROPOSED]	1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

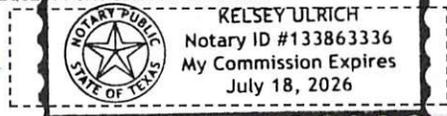
<input checked="" type="checkbox"/> OWNER	The Cambridge Companies, Inc.	<input checked="" type="checkbox"/> APPLICANT	Delayne Reamsbottom
CONTACT PERSON	Jim Melino	CONTACT PERSON	Alan Jacob (CWPD)
ADDRESS	8750 N. Central Expressway Suite 1735	ADDRESS	1837 Trail Drive
CITY, STATE & ZIP	Dallas, Texas 75231	CITY, STATE & ZIP	Rockwall, Texas 75087
PHONE	(214)532-3924	PHONE	(801)815-2741
E-MAIL	jim@cambridgecos.com	E-MAIL	delaynereamsbottom@gmail.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED James Melino [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

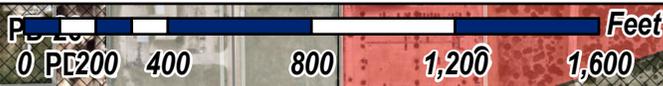
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \$250+\$20/AC TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 10th DAY OF October, 2022 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10th DAY OF October, 2022.
OWNER'S SIGNATURE: Jim Melino, President

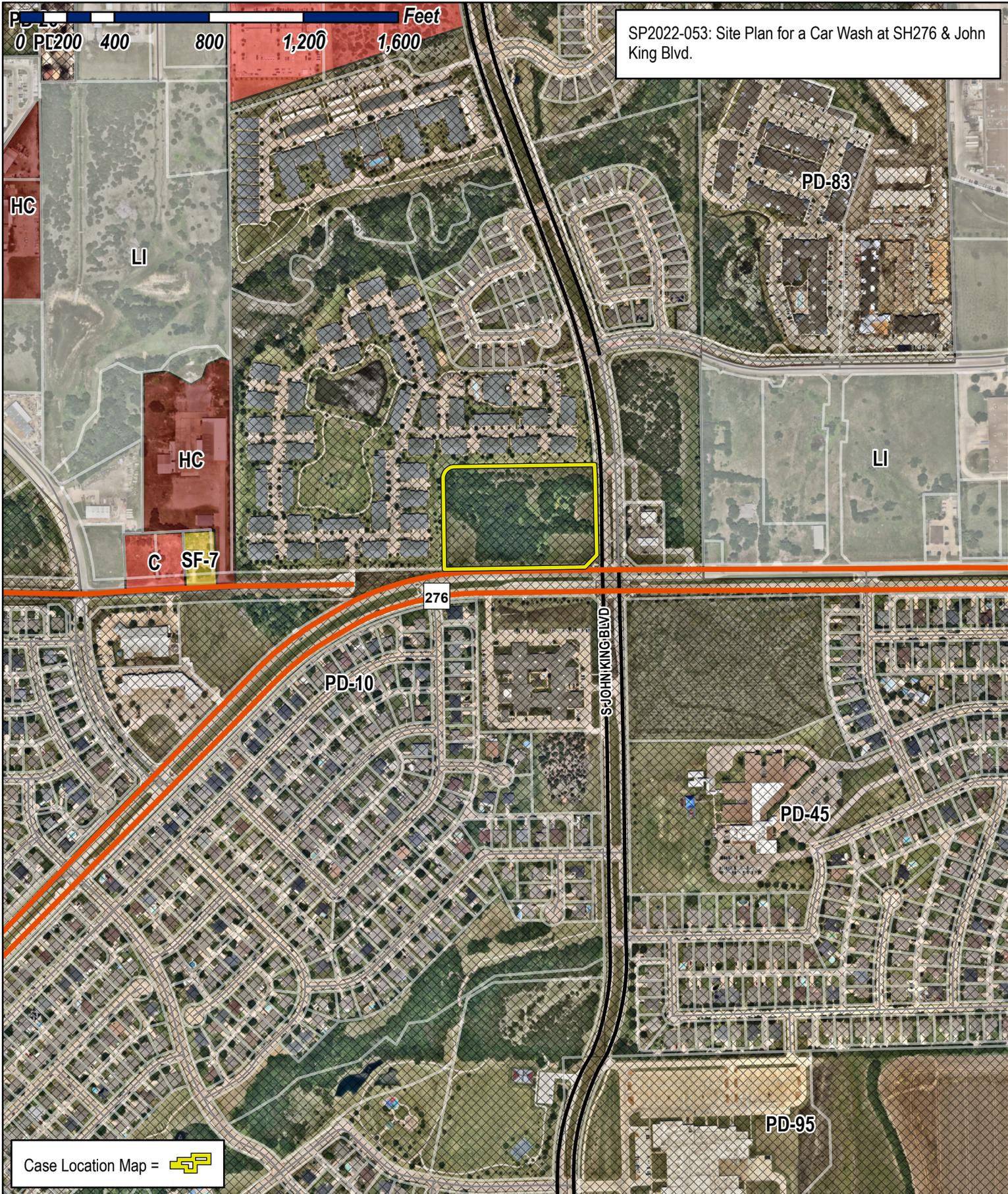


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: Relsey Ulrich

MY COMMISSION EXPIRES July 18, 2026



SP2022-053: Site Plan for a Car Wash at SH276 & John King Blvd.



Case Location Map = 

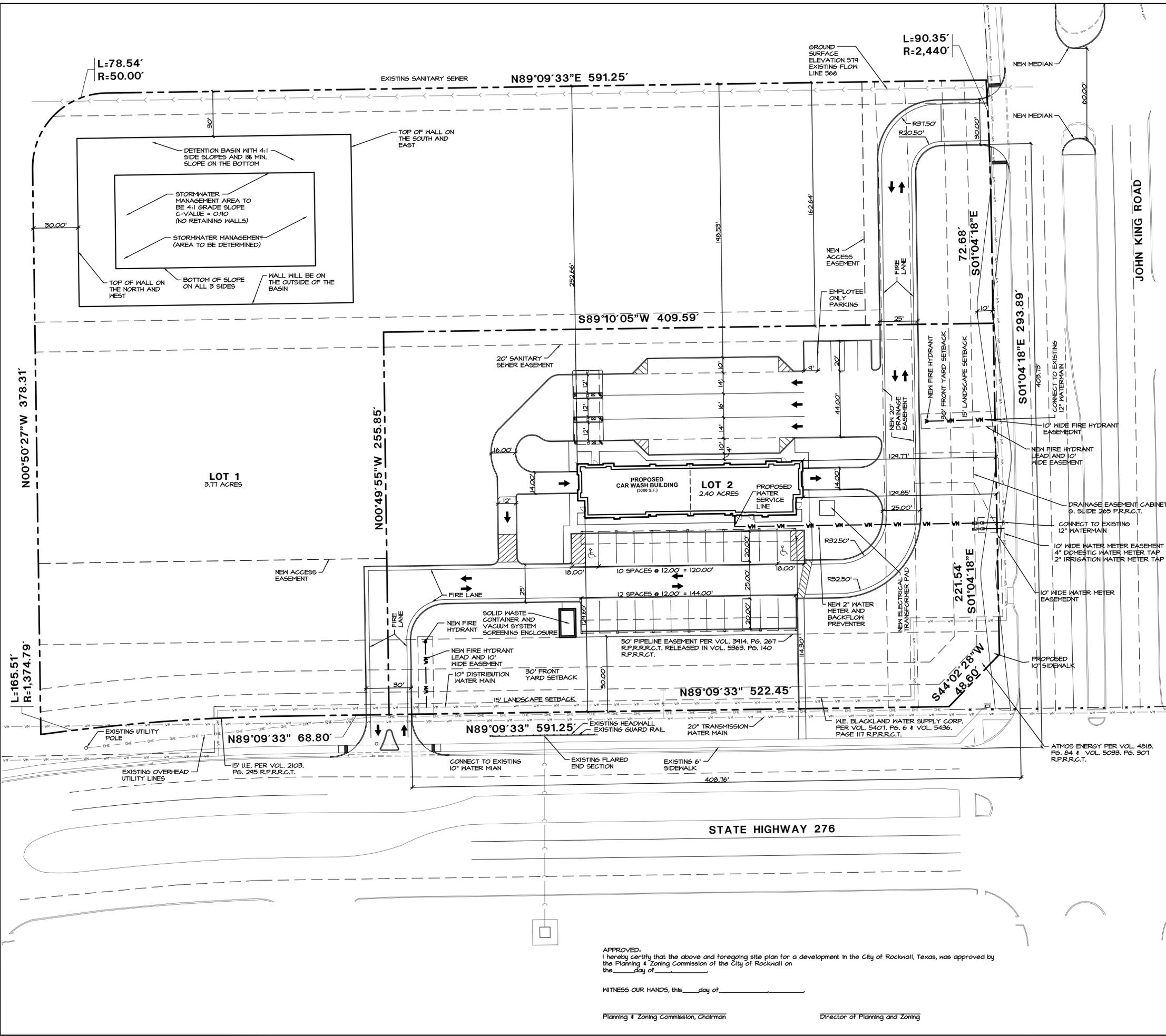


City of Rockwall

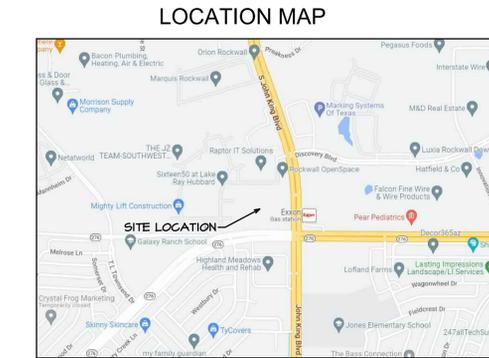
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





ZONING INFORMATION			
SITE ZONING	MUNICIPALITY, CITY OF ROCKWALL EXISTING ZONING: PD-10		
SITE AREA	PROPOSED		
	LOT AREA:	191,340 S.F.	
	TOTAL PROPERTY AREA:	3.02 ACRES	
		271,471 S.F.	
		6.31 ACRES	
YARD AREAS/ BUILDING SETBACK LINE	FRONT YARD:	STANDARD 15'-0"	PROPOSED 15'-0"
LANDSCAPE SETBACKS	FRONT YARD:	STANDARD 50'-0"	PROPOSED 50'-0"
PARKING	PARKING BASED ON BUILDING AREA	STANDARD 21	PROPOSED 24
PARKING	EMPLOYEE STALLS:	PROPOSED 5	
	ADAVACUUM STALLS:	2	
	VACUUM STALLS:	22	
	TOTAL STALLS:	29	



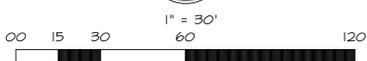
- NOTES:
1. MAX LIGHT POLE HEIGHT IS 20'
 2. ALL ROOFTOP EQUIPMENT TO BE SCREENED.
 3. 45% OF EXTERIOR FACADE TO BE MASONRY NOT COUNTING DOORS AND WINDOWS.
 4. ALL ELECTRICAL AND DATA UTILITY SERVICE LINES TO BE PLACED UNDERGROUND WHEN ENTERING THE SITE FROM PUBLIC R.O.W.

APPROVED,
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____.

WITNESS OUR HANDS, this ____ day of ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



PRELIMINARY

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF PRELIMINARY REVIEW UNDER THE AUTHORITY OF RANDALL E. SIMON, PE.

RELEASED FOR REVIEW ONLY, NOT FOR CONSTRUCTION.

RANDALL E. SIMON, PE
TEXAS PE 73607

TEXAS FIRM
ID NO. 18685

WT GROUP
 Engineering with Precision, Pace and Passion.
 2875 Prichard Avenue | Rockwall, Texas, L 75087
 T: 214.224.2333 | F: 214.224.2334
 www.wtgroup.com
 Texas Firm ID No. 18685
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WT Group
 Engineering • Design • Consulting

AQUATIC \ CIVIL \ MECHANICAL \ ELECTRICAL \ PLUMBING \ TELECOMMUNICATION \ STRUCTURAL \ ACCESSIBILITY CONSULTING \ DESIGN & PROGRAM MANAGEMENT \ LAND SURVEY

CAR WASH
 1720 S. JOHN KING BLVD.
 ROCKWALL, TEXAS 75032

ISSUE
 TO DATE
 10/7/22
 10/31/22

CHECK:TOA
 DRAWN:TEP
 JOB: C2200508

CP-3.0
 CONCEPTUAL
 SITE PLAN

LEGAL DESCRIPTION (AS PROVIDED)
TRACT 1: (Fee Simple)

Being all that certain tract of land situated in the J.M. Allen Survey, Abstract Number 2, Rockwall County, Texas, and being a part of a tract of land described in the deed to Cambridge Companies, Inc., as recorded in Volume 91, Page 1022, Real Property Records of said County; the subject tract being more particularly described as follows:

BEGINNING at a 5/8" Iron rod found for the East Southeast corner of Lot 1, Block A of Mansions Family Addition, an addition to the City of Rockwall, Rockwall County, Texas according to the plot thereof recorded in Cabinet 6, Page 345, Plot Records of said County, and being in the West line of S.H. 205 Bypass at the beginning of a curve to the right, having a radius of 2440.00 feet, and a chord bearing and distance of South 02 degrees 04 minutes 37 seconds East, 90.01 feet;

Thence along said curve on arc distance of 90.02 feet to a capped Iron rod stampe I 0KA A set;

Thence South 01 degrees 02 minutes 40 seconds East with said Bypass a distance of 243.91 feet to a capped Iron rod stampe I 0KA A set;
Thence South 44 degrees 04 minutes 04 seconds West a distance of 70.57 feet to a TXDOT monument found in the North line of S.H. 276;

Thence South 84 degrees 10 minutes 05 seconds West a distance of 544.76 feet to a capped Iron rod stampe I 0514 A found for the Southwest corner of the herein described tract and South Southeast corner of said Lot 1;

Thence North 00 degrees 48 minutes 23 seconds West with said common line a distance of 384.00 feet to a capped Iron rod stampe I 0514 A found at the beginning of a curve to the right, having a radius of 50.00 feet, and a chord bearing and distance of North 44 degrees 01 minutes 51 seconds East, 70.15 feet;

Thence along said curve with said common line an arc distance of 77.76 feet to a capped Iron rod stampe I 0514 A found;
Thence North 84 degrees 04 minutes 09 seconds East with said common line a distance of 591.73 feet to the PLACE OF BEGINNING and containing 6.37 acres of land more or less.

SAVE AND EXCEPT that tract of land granted in Deed filed 06/24/2016, recorded under c# 2016000010580, Real Property Records, Rockwall County, Texas.

TRACT 2: (Easement)

Non - exclusive, permanent easement for the purpose of pedestrian and vehicular ingress and egress created by and described in Fire Lane and Access Easement Agreement, by and between Western Rim Investors 2008-1,

L.P., and The Cambridge Companies, Inc., Trustee on behalf of Garrett-Pondexter Associates, L.P., filed 10/08/2008, recorded in Volume 5545, Page 282, Real Property Records, Rockwall County, Texas.

LEGAL DESCRIPTION (AS SURVEYED)

BEING 6.1704 acres (268,784 square feet) of land out of the remainder of a called 123.4 acre tract conveyed to Cambridge Companies, Inc. Trustee, by Warranty deed recorded under Volume 91, Page 1022, of the Official Public Records of Rockwall County, Texas (O.P.R.R.C. T.), said 6.1704 acre tract lying with in the James Allen Survey, A-2, and is more particularly described as follows:

BEGINNING at a 5/8" inch iron rod found in the west right of way (R.O.W) in the of State Highway 205 Bypass (120 foot R.O.W) for the most easterly southeast corner of the Final Plat of Mansions Family Addition, according to the Plot of same, recorded under Cabinet 6, Sheet 345 of the Plat Recorded of Rockwall County, Texas (P.R.R.C. T.);

THENCE in a southerly direction, continuing along said west right of way line, on a distance of 90.35 feet along a curve to the RIGHT, having a radius of 2,440.00 feet, a delta angle of 02°07'11", and whose long chord bears South 02°07'15" East, a distance of 90.34 feet to a point of tangency, from which a 5/8" inch iron rod with cap found bears;

THENCE South 01°04'11" East, continuing with said west right of way line, a distance of 243.84 feet to a 5/8" iron rod with cap marked "CORE 6657" set for the easterly southeast corner of the herein described tract;

THENCE South 44°02'22" West, a distance of 48.60 feet to a 5/8" iron rod with cap marked "CORE 6657" set in the north right of way line of State Highway 276 (120 foot R.O.W) for the southerly southeast corner of the herein described tract;

THENCE South 84°11'11" West, with the north right of way line of said State Highway 276, a distance of 444.47 feet to a 5/8" inch iron rod with cap found at the beginning of a curve;

THENCE in a southwesterly direction, with said north right of way line, on a distance of 165.61 feet along a curve to the LEFT, having a radius of 1,374.74 feet, a delta angle of 06°54'07", and whose long chord bears South 05°43'5" West, a distance of 165.51 feet to a cut "X" found in concrete for the southerly southeast corner of said Addition and the southwest corner of the herein described tract;

THENCE North 00° 50' 2" West, with the southerly east line of said Addition, a distance of 378.31 feet to a point at the beginning of a curve, from which a found 5/8" inch iron rod with cap bears North 34°56'14" East, a distance of 0.67 feet;

THENCE in a northeasterly direction, on a distance of 78.54 feet along a curve to the RIGHT, having a radius of 50.00 feet, a delta angle of 84°54'56", and whose long chord bears North 44°04'9" East, a distance of 70.71 feet to a point for a tangent, from which a found 5/8" inch iron rod with cap bears South 75°32'44" West, a distance of 0.41 feet;

THENCE North 84°04'9" East, with the easterly south line of said Addition, a distance of 591.25 feet to the POINT OF BEGINNING and containing a computed 6.1704 acres (268,784 square feet) of land

PRELIMINARY

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF PRELIMINARY REVIEW UNDER THE AUTHORITY OF RANDALL E. SIMON, PE

RELEASED FOR REVIEW ONLY, NOT FOR CONSTRUCTION.

RANDALL E. SIMON, PE
TEXAS PE 73607

TEXAS FIRM
ID NO: 18685

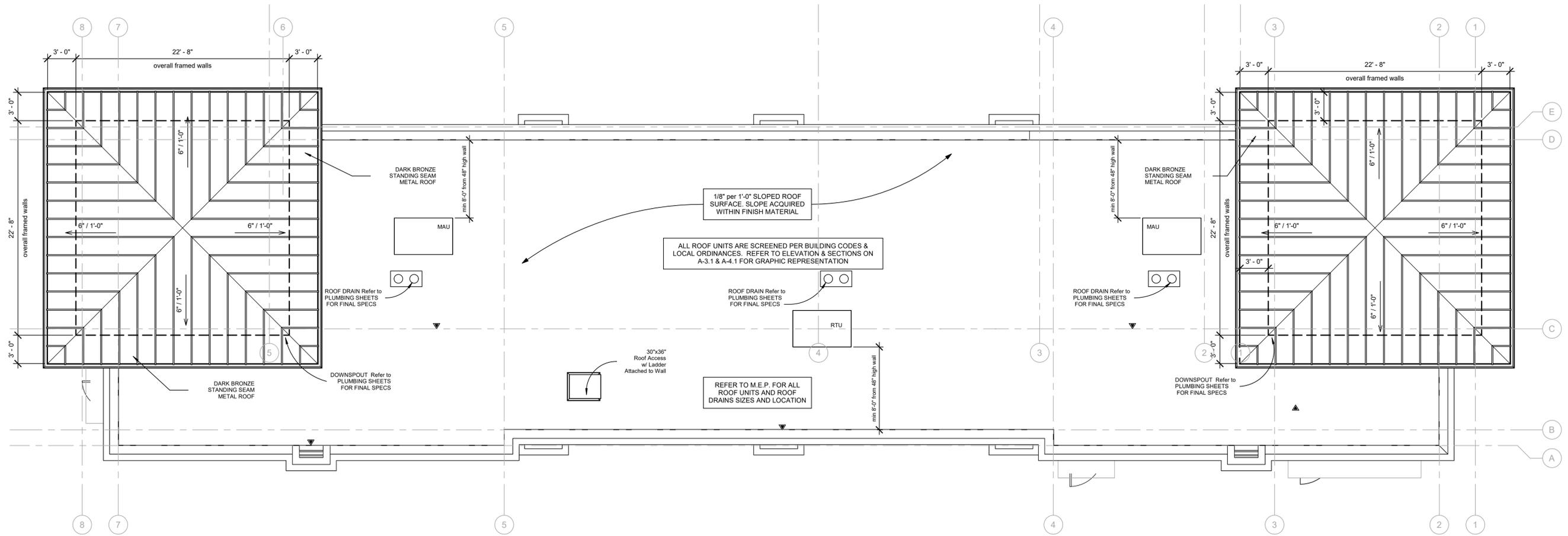
ISSUE	
TO	DATE
	10/17/22
	10/31/22

CHECK:TOA

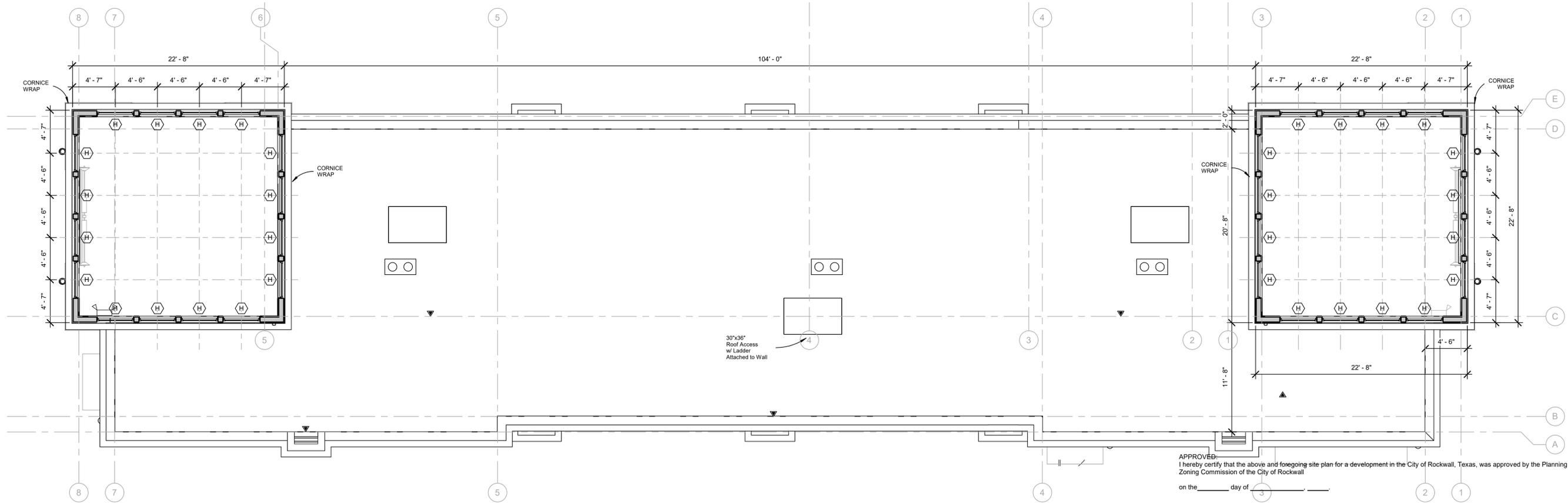
DRAWN:TEP

JOB: C2200058

CASE NUMBER SP2022-053



1 ROOF PLAN
SCALE: 3/16" = 1'-0"



2 TOWER PLAN
SCALE: 3/16" = 1'-0"

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2023.

WITNESS OUR HANDS, this _____ day of _____, 2023.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

NERVO ARCHITECTS
6400 N NORTHWEST HWY SUITE 4
CHICAGO, IL 60631
TEL: 847.825.9400

PROJECT # 2034
DATE: 01/17/22

NEW AUTOMATED CARWASH FACILITY

1720 S JOHN KING BLVD
ROCKWALL, TEXAS 75087
(Tract 3-09 of the J. M. Allen Survey, Abstract No. 0002)

10/31/22	ZONING REVISIONS
10/07/22	ZONING REVIEW
REVISIONS	
DRAWN BY:	RAM
APPROVED BY:	GCN / MAM
SCALE:	AS NOTED
DESCRIPTION:	ROOF & TOWER PLANS
SHEET NO.	A-2.3



2 Main Elevation-South
SCALE: 3/16" = 1'-0"

- **Tower Roofs**
Metal-(Dark Bronze)
- **Main Body of Building**
4" Face Brick - (Sioux City-Cherry Creek Williamsburg)
4"- 5" Stone Block (Fond Du Lac Rustic)
- **Accent Walls - Upper Tower Walls**
Fiber Cement Panels (White)



1 Side Elevation-North
SCALE: 3/16" = 1'-0"

Primary Materials
Face Brick & Stone Block (57.4%)

Accent Material
Fiber Cement Panels (8.6%)

APPROVED:
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on the _____ day of _____.

WITNESS OUR HANDS, this _____ day of _____.

Planning & Zoning Commission, Chairman
Director of Planning and Zoning

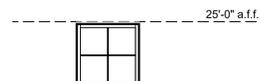
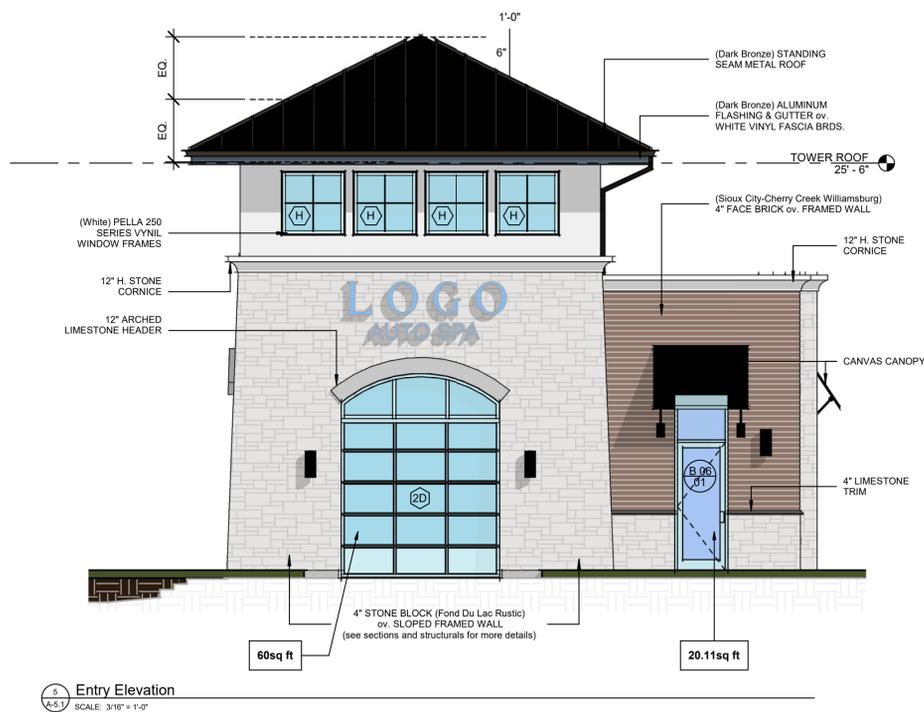
NEW AUTOMATED CARWASH FACILITY

1720 S JOHN KING BLVD
ROCKWALL, TEXAS 75087
(Tract 3-09 of the J. M. Allen Survey, Abstract No. 0002)

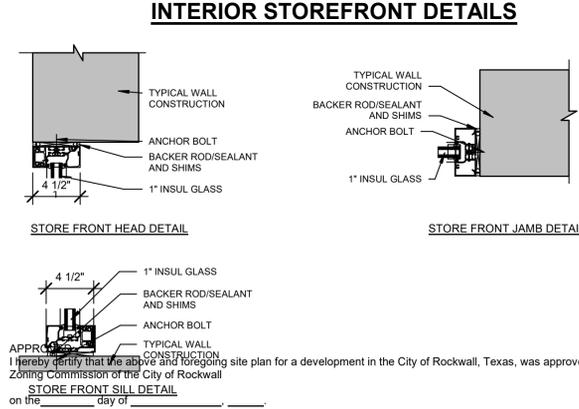
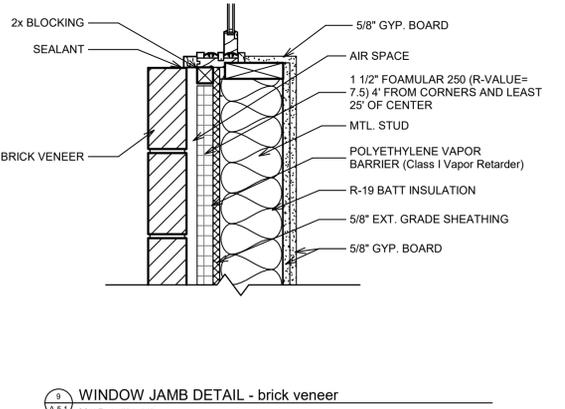
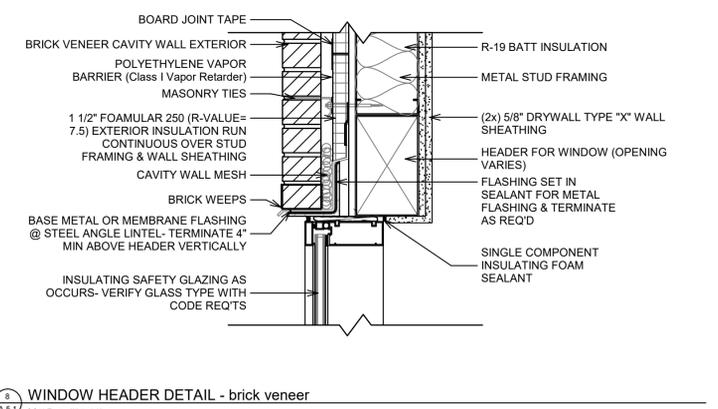
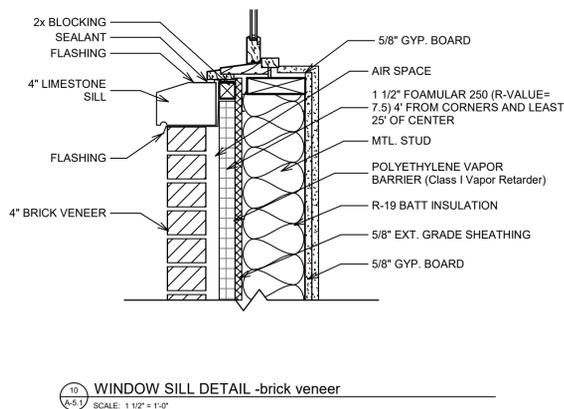
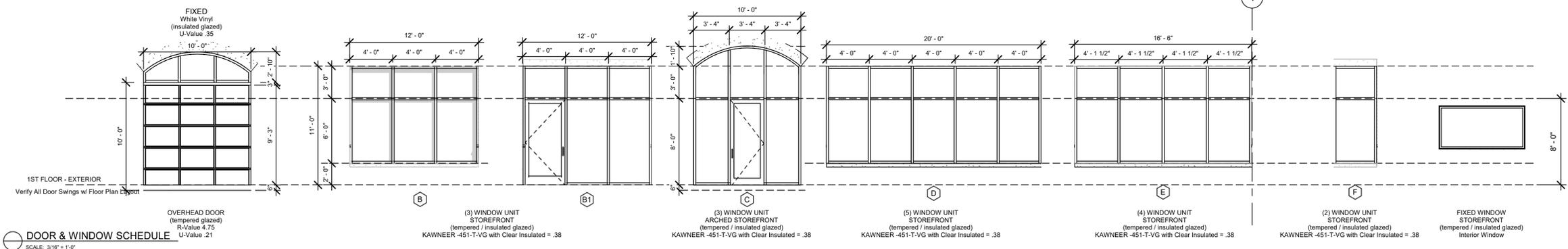
PROJECT # 2034
DATE: 01/17/22

NERD ARCHITECTS
6400 N NORTHWEST HWY
SUITE 4
CHICAGO, IL 60631
TEL: 847.825.9400

10/31/22	ZONING REVISIONS
10/07/22	ZONING REVIEW
REVISIONS	
DRAWN BY:	RAM
APPROVED BY:	GCN / MAM
SCALE:	AS NOTED
DESCRIPTION:	MAIN ELEVATIONS
SHEET NO.	A-5.0



EXTERIOR WALL NOTES
 - CAULK AROUND ALL DOOR & WINDOW OPENINGS.
 - ALL PENETRATIONS THROUGH EXTERIOR WALLS TO BE SEALED PER IECC SECTION C402.5.1.1.3.



PROJECT # 2034
 DATE: 01/17/22

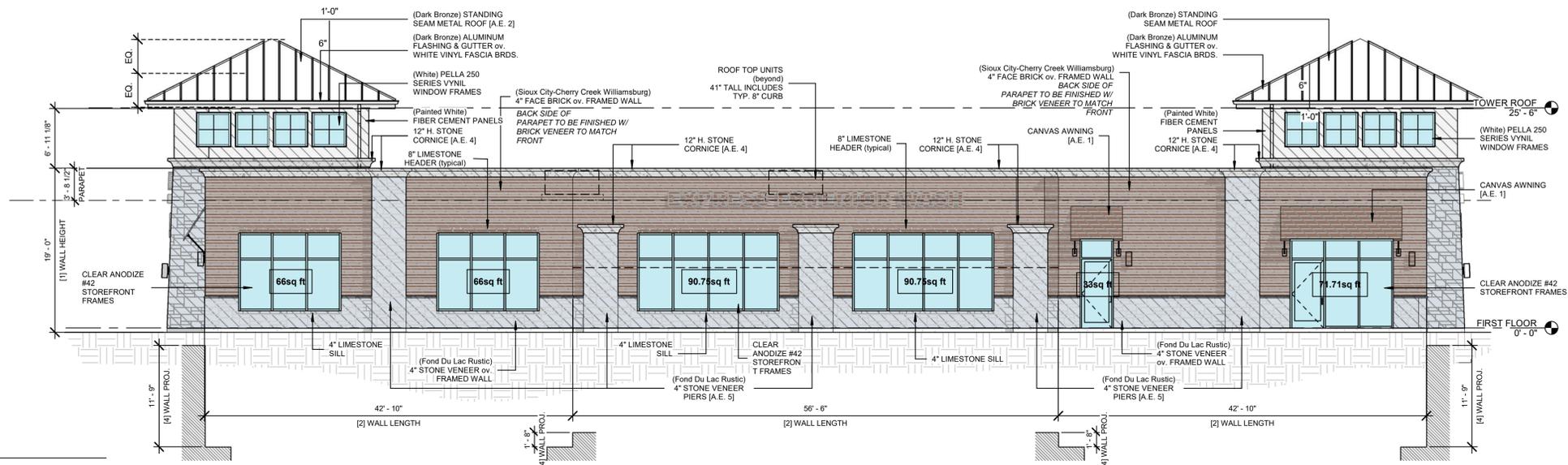
NEW AUTOMATED CARWASH FACILITY
 1720 S JOHN KING BLVD
 ROCKWALL, TEXAS 75087
 (Tract 3-09 of the J. M. Allen Survey, Abstract No. 0002)

10/31/22	ZONING REVISIONS
10/07/22	ZONING REVIEW
REVISIONS	
DRAWN BY:	RAM
APPROVED BY:	GCN / MAM
SCALE:	AS NOTED
DESCRIPTION:	MAIN ELEVATIONS & WINDOW SCHDL.
SHEET NO.	A-5.1

WITNESS OUR HANDS, this _____ day of _____
 Planning & Zoning Commission, Chairman
 Director of Planning and Zoning

MASONRY				
Stone -	720.84 SF	31.6%	94.2%	
Brick -	1,227.39 SF	53.7%		
Stone Cornice	204.21 SF	8.9%		
Fiber Cement -	133.00 SF	5.8%	5.8%	
TOTAL	TOTAL FACADE -	2,285.44 SF	100.0%	100.0%
Window -	804.42 SF			

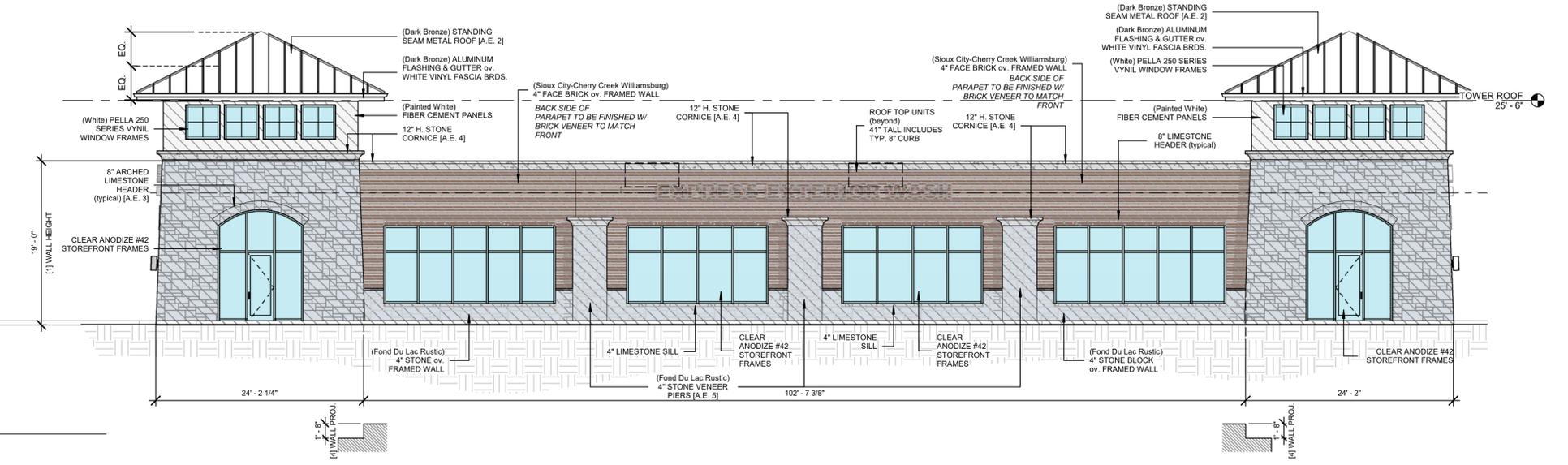
- ARCHITECTURAL ELEMENT(S) - [A.E. #]**
1. Awning
 2. Peaked Roof Form
 3. Arches
 4. Articulated Cornice Line
 5. Offsets, projection Expressing Structural Bay



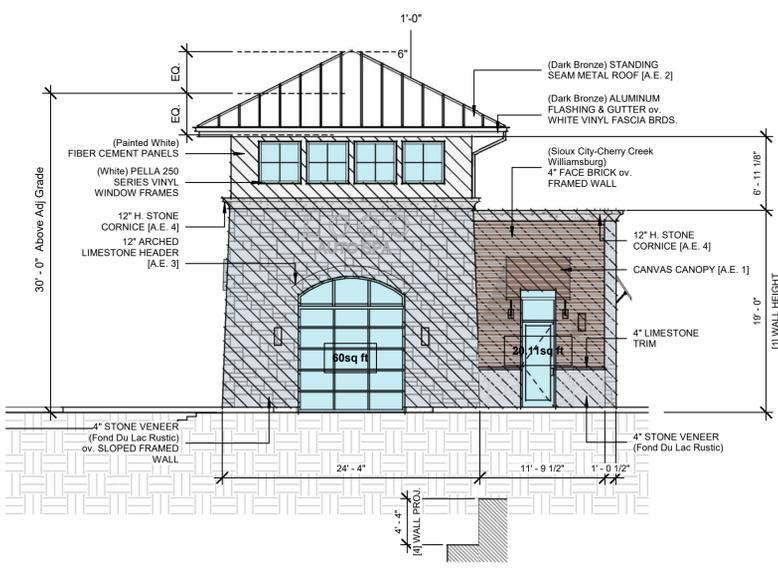
1 Main Elevation-South - material exhibit
SCALE: 1/8" = 1'-0"

MASONRY				
Stone -	979.39 SF	47.4%	93.6%	
Brick -	787.99 SF	38.2%		
Stone Cornice	165.02 SF	8.0%		
Fiber Cement -	133.00 SF	6.4%	6.4%	
TOTAL	TOTAL FACADE -	2,065.40 SF	100.0%	100.0%
Window -	1,030.86 SF			

- ARCHITECTURAL ELEMENT(S) - [A.E. #]**
1. Awning
 2. Peaked Roof Form
 3. Arches
 4. Articulated Cornice Line
 5. Offsets, projection Expressing Structural Bay



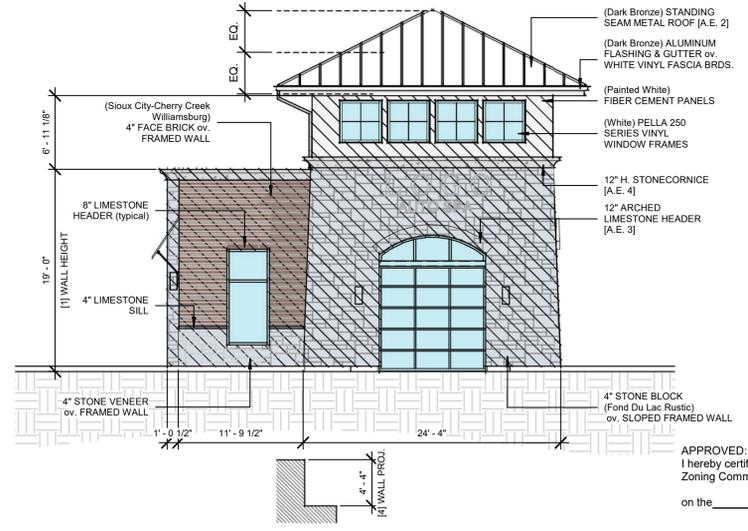
2 Side Elevation-North - material exhibit
SCALE: 1/8" = 1'-0"



3 Entry Elevation - material exhibit
SCALE: 1/8" = 1'-0"

MASONRY				
Stone -	375.77 SF	60.5%	90.0%	
Brick -	145.26 SF	23.4%		
Stone Cornice	37.65 SF	6.1%		
Fiber Cement -	62.30 SF	10.0%	10.0%	
TOTAL	TOTAL FACADE -	620.98 SF	100.0%	100.0%
Window -	223.10 SF			

- ARCHITECTURAL ELEMENT(S) - [A.E. #]**
1. Awning
 2. Peaked Roof Form
 3. Arches
 4. Articulated Cornice Line
 5. Offsets, projection Expressing Structural Bay



4 Exit Elevation - material exhibit
SCALE: 1/8" = 1'-0"

MASONRY				
Stone -	381.69 SF	61.4%	90.0%	
Brick -	140.33 SF	22.6%		
Stone Cornice	37.65 SF	6.0%		
Fiber Cement -	62.30 SF	10.0%	10.0%	
TOTAL	TOTAL FACADE -	621.97 SF	100.0%	100.0%
Window -	258.74 SF			

- ARCHITECTURAL ELEMENT(S) - [A.E. #]**
1. Awning
 2. Peaked Roof Form
 3. Arches
 4. Articulated Cornice Line
 5. Offsets, projection Expressing Structural Bay

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.

WITNESS OUR HANDS, this _____ day of _____.

Planning & Zoning Commission, Chairman
Director of Planning and Zoning

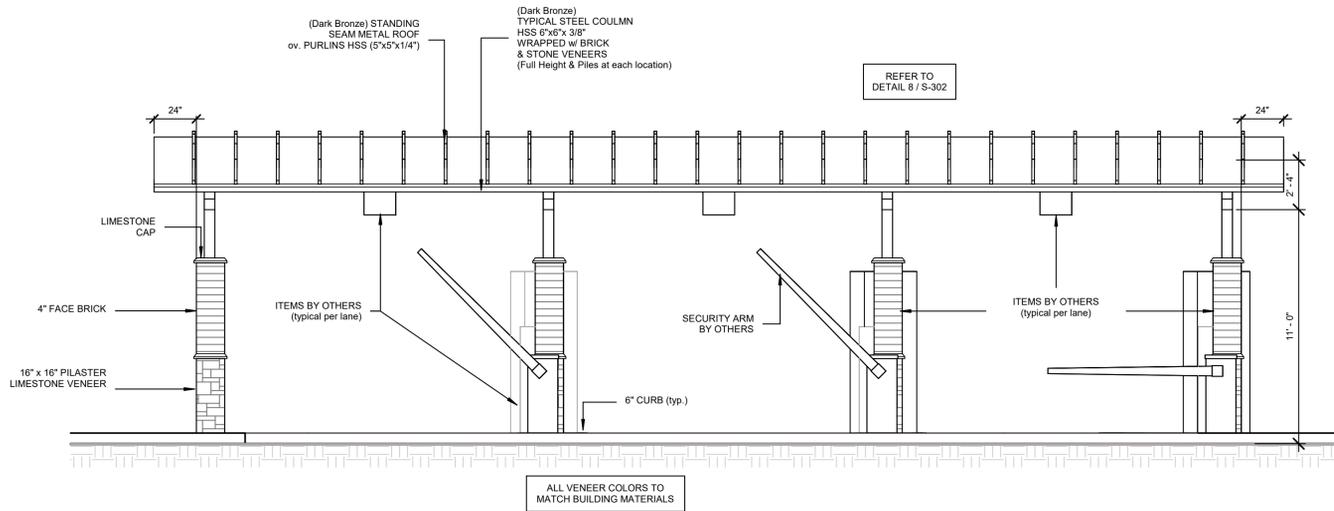
PROJECT # 2034
DATE: 01/17/22

NEW AUTOMATED CARWASH FACILITY

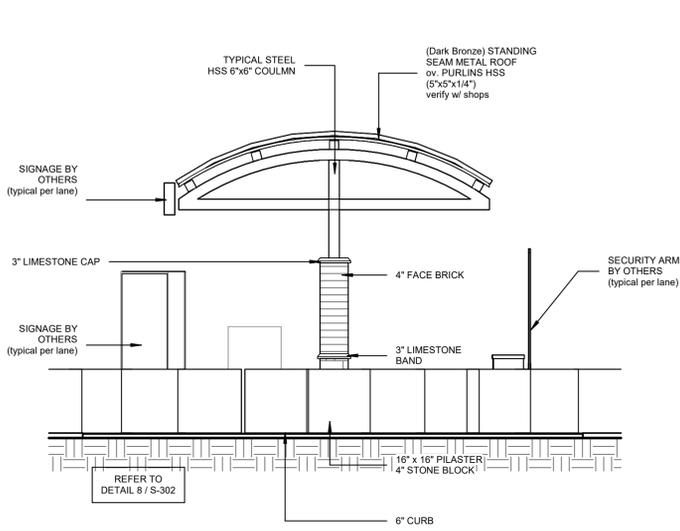
1720 S JOHN KING BLVD
ROCKWALL, TEXAS 75087
(Tract 3-09 of the J. M. Allen Survey, Abstract No. 0002)

REVISIONS	DATE	DESCRIPTION
▲	10/31/22	ZONING REVISIONS
▲	10/07/22	ZONING REVIEW

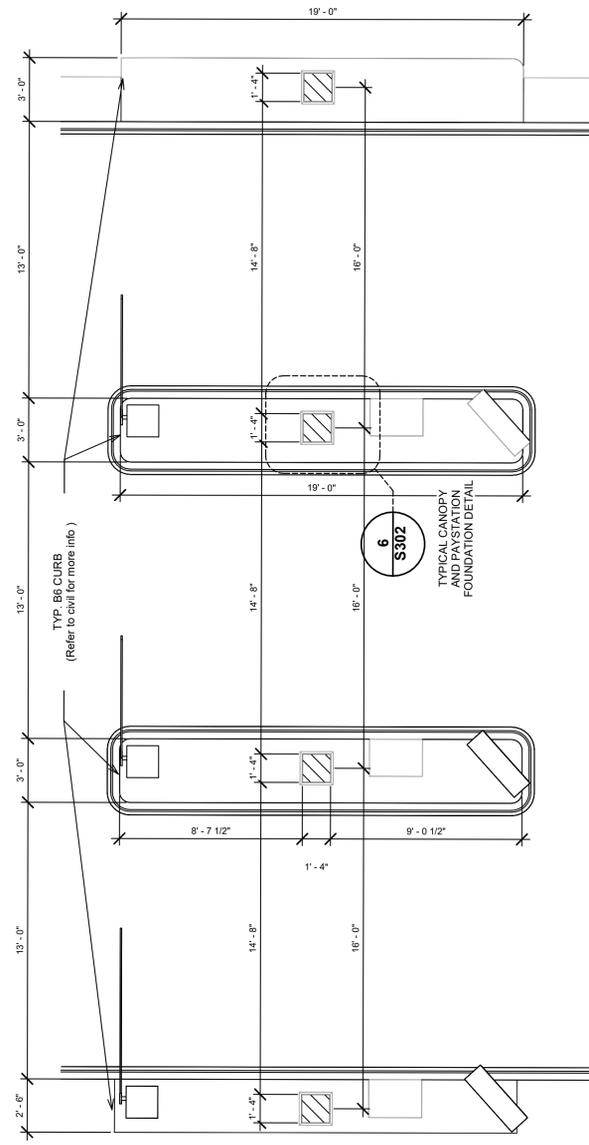
DRAWN BY: RAM
APPROVED BY: GCN / MAM
SCALE: AS NOTED
DESCRIPTION: MAIN ELEVATIONS - material exhibits
SHEET NO.: A-5.2



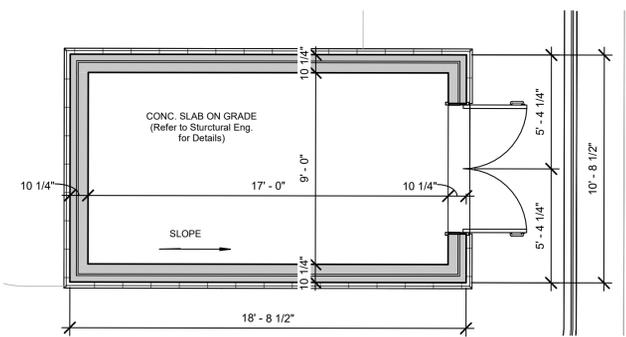
1 PAY STATION (side elevation)
SCALE: 1/4" = 1'-0"



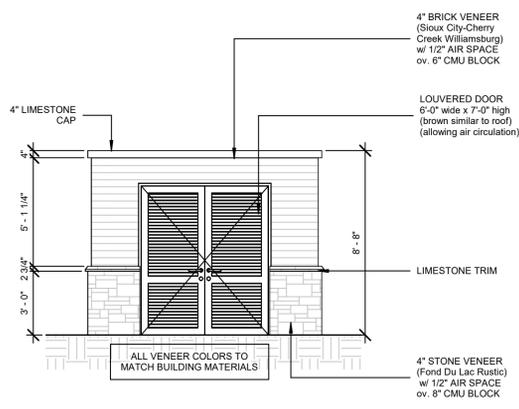
2 PAY STATION (front elevation)
SCALE: 1/4" = 1'-0"



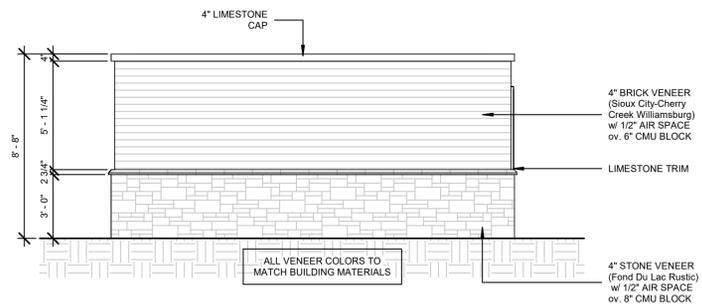
3 PAY STATION PLAN
SCALE: 1/4" = 1'-0"



4 Refuse #1 Plan
SCALE: 1/4" = 1'-0"



5 Refuse #1 (Entry)
SCALE: 1/4" = 1'-0"



6 Refuse #1 (Sides)
SCALE: 1/4" = 1'-0"

BUILDING AND MONUMENT SIGNS ARE UNDER SEPARATE PERMIT
(Coordination required by GC and SUB-Contractor. Notify Architect of Any discrepancies)

EXPRESS EXTERIOR WASH

7 S3 BUILDING SIGN
SCALE: 3/4" = 1'-0"

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall
on the _____ day of _____, _____.
WITNESS OUR HANDS, this _____ day of _____, _____.
Planning & Zoning Commission, Chairman
Director of Planning and Zoning

NERD ARCHITECTS
6400 N NORTHWEST HWY SUITE 4
CHICAGO, IL 60631
TEL: 847.825.9400

NEW AUTOMATED CARWASH FACILITY
1720 S JOHN KING BLVD
ROCKWALL, TEXAS 75087
(Tract 3-09 of the J. M. Allen Survey, Abstract No. 0002)

PROJECT #	2034
DATE:	01/17/22
REVISIONS	
DRAWN BY:	RAM
APPROVED BY:	GCN / MAM
SCALE:	AS NOTED
DESCRIPTION:	SIGNAGE, REFUSE, PAY STATION
SHEET NO.	A-7.0

CASE# SP2022-053



2034

01/17/22

Z-1



VIEW LOOKING NORTHWEST

SCALE: 1/2" = 1'-0"

NEW CAR WASH FACILITY
1720 S JOHN KING BLVD
ROCKWALL, TX 75087

NERI
ARCHITECTS

6400 N NORTHWEST HWY
SUITE 4
CHICAGO IL 60631
TEL 847.825.9400



2034
01/17/22
Z-2

1
Z-2 VIEW LOOKING NORTHEAST
SCALE: 12" = 1'-0"

NEW CAR WASH FACILITY
1720 S JOHN KING BLVD
ROCKWALL, TX 75087

NERI
ARCHITECTS
6400 N NORTHWEST HWY
SUITE 4
CHICAGO IL 60631
TEL 847.825.9400



2034

01/17/22

Z-3



VIEW LOOKING SOUTHWEST

SCALE: 1/2" = 1'-0"

NEW CAR WASH FACILITY
1720 S JOHN KING BLVD
ROCKWALL, TX 75087

NERI
ARCHITECTS

6400 N NORTHWEST HWY
SUITE 4
CHICAGO IL 60631
TEL 847.825.9400



2034

01/17/22

Z-4

1
Z-4 VIEW LOOKING SOUTHEAST

SCALE: 12" = 1'-0"

NEW CAR WASH FACILITY
1720 S JOHN KING BLVD
ROCKWALL, TX 75087

NERI
ARCHITECTS

6400 N NORTHWEST HWY
SUITE 4
CHICAGO IL 60631
TEL 847.825.9400



2034

01/17/22

Z-5

1 VIEW LOOKING NORTHEAST w/ SIGN
Z-5 SCALE: 12" = 1'-0"

NEW CAR WASH FACILITY
1720 S JOHN KING BLVD
ROCKWALL, TX 75087

NERI
ARCHITECTS

6400 N NORTHWEST HWY
SUITE 4
CHICAGO IL 60631
TEL 847.825.9400



2034
01/17/22
Z-6

1
Z-6 AERIAL VIEW LOOKING SOUTH
SCALE: 12" = 1'-0"

NEW CAR WASH FACILITY
1720 S JOHN KING BLVD
ROCKWALL, TX 75087

NERI
ARCHITECTS

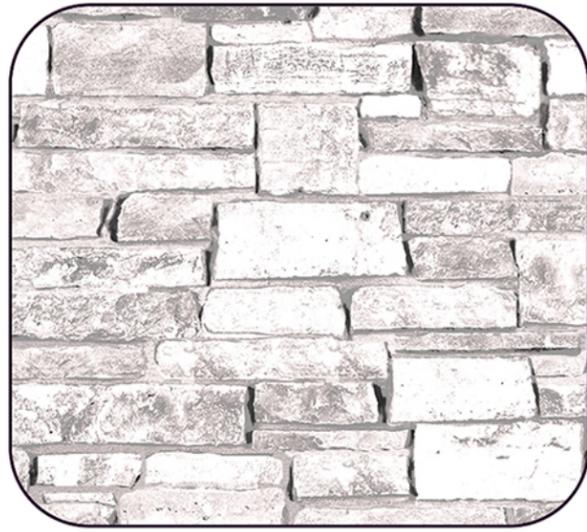
6400 N NORTHWEST HWY
SUITE 4
CHICAGO IL 60631
TEL 847.825.9400



1 METAL ROOFING
DARK BRONZE



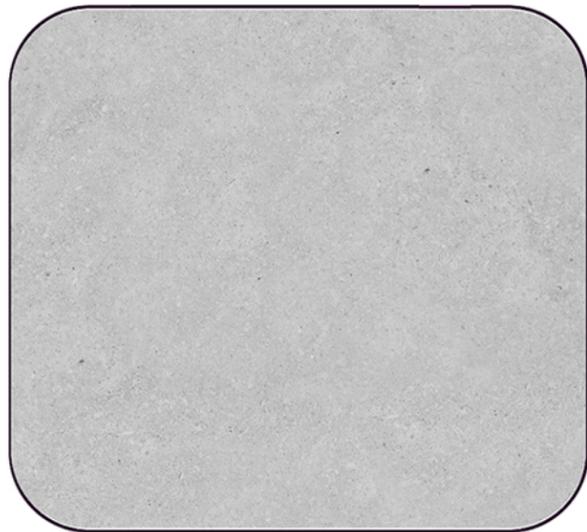
2 GUTTERS/ DOWNSPOUTS
DARK BRONZE



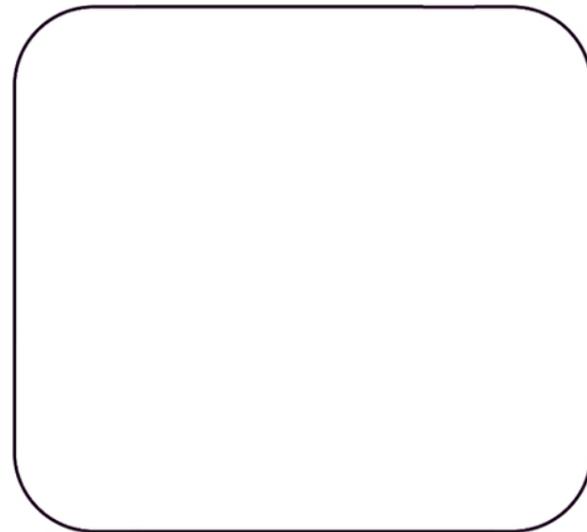
3 STONE VENEER
FOND DU LAC - RUSTIC



4 BRICK VENEER
SIOUX CITY-CHERRY CREEK WILLIAMSBURG



5 SILLS & HEADERS
CUT LIMESTONE



6 UPPER WALL/ CORNICE
PAINTED WHITE



7 ALUMINUM STOREFRONTS
CLEAR - ANNOIDIZED

APPLICANT

DELAYNE REAMSBOTTOM
1837 TRAIL DRIVE ROCKWALL, TX 75087
801.815.2741
delaynereamsbottom@gmail.com

OWNER

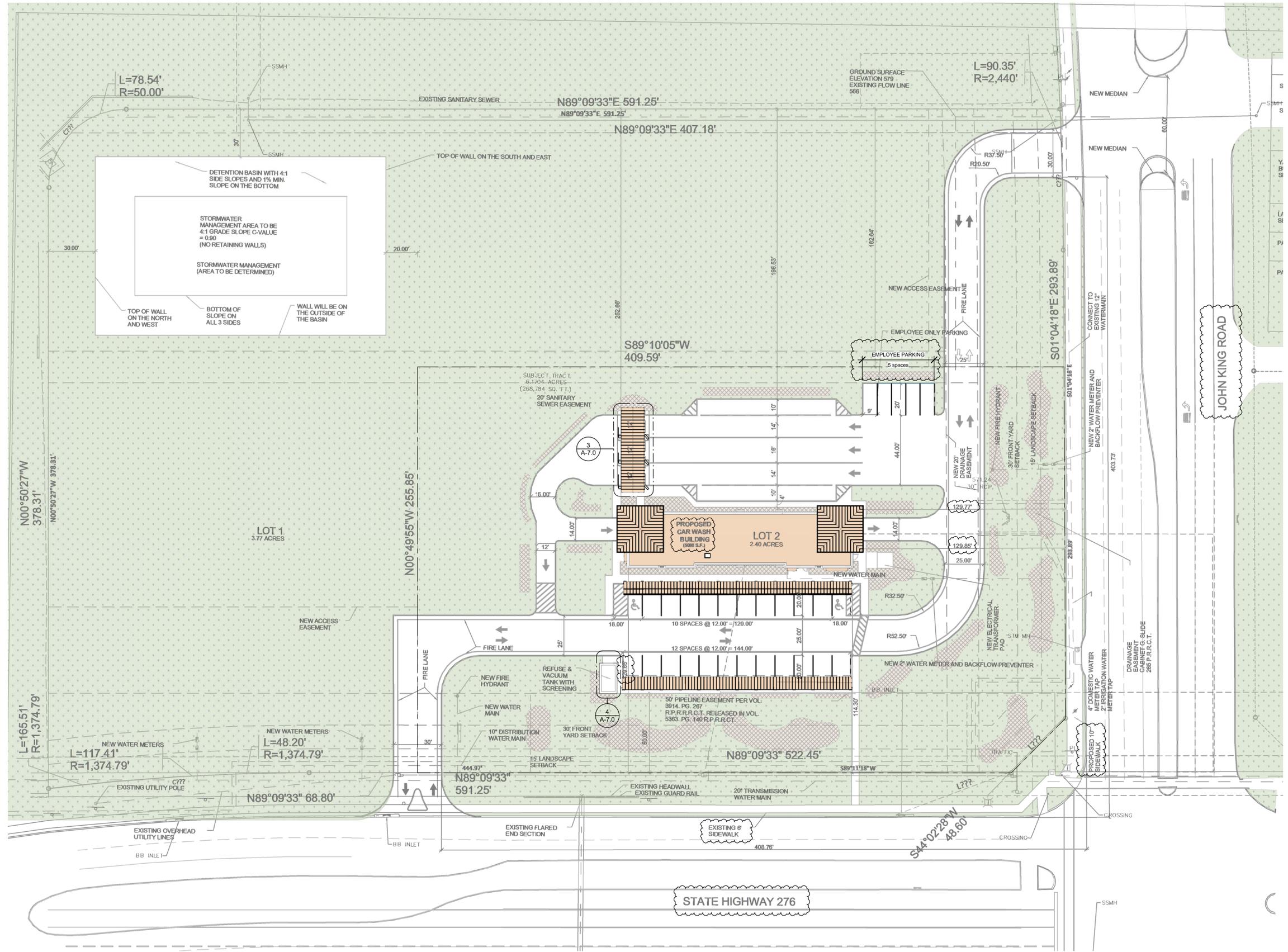
JIM MELINO
THE CAMBRIDGE COMPANIES, INC.
8750 N. CENTRAL EXPY. #1735 DALLAS, TX 75231
214.532.3924
jim@cambridgecos.com

NEW AUTOMATED CARWASH

NW STATE HWY 276 & JOHN KING ROCKWALL, TX 75087

CASE NUMBER

SUBMITTED ON 10.13.22



1 SITE PLAN
 SCALE: 1" = 30'-0"
NOTES:
 ALL OVERHEAD UTILITIES BE PLACED UNDERGROUND

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall
 on the _____ day of _____
 WITNESS OUR HANDS, this _____ day of _____
 Planning & Zoning Commission, Chairman
 Director of Planning and Zoning

NERVO ARCHITECTS

6400 N NORTHWEST HWY
 SUITE 4
 CHICAGO, IL 60631
 TEL: 847.825.9400

PROJECT # 2034
 DATE: 01/17/22

NEW AUTOMATED CARWASH FACILITY

1720 S JOHN KING BLVD
 ROCKWALL, TEXAS 75087
 (Tract 3-09 of the J. M. Allen Survey, Abstract No. 0002)

DATE	REVISIONS
10/31/22	ZONING REVISIONS
10/07/22	ZONING REVIEW

DRAWN BY: RAM
 APPROVED BY: GCN / MAM
 SCALE: AS NOTED
 DESCRIPTION: SITE PLAN

SHEET NO. G-1.2

CASE# SP2022-053

Compliance Table

LOT ZONING: Overlay District:	(C) commercial (SH-205 BY OV) SH-205 By-Pass Overlay District
lot area:	104,544.0 s.f. (2.40 Acres)
FLOOR AREA CALCULATIONS:	PROPOSED ALLOWED (4:1)
ground floor:	5,080.0
TOTAL FLOOR AREA:	5,080.0 418,176.0
LOT COVERAGE CALCULATIONS:	PROPOSED ALLOWED (60%)
ground floor:	5,080.0
TOTAL LOT COVERAGE:	5,080.0 62,726.4
MAXIMUM IMP PARKING CALC:	PROPOSED ALLOWED (85-90%)
Employee Parking area:	910.8
Vacuum Parking area:	9,966.0
TOTAL IMP PARKING AREA:	10,876.6 88,862.4 - 94,089.6
MINIMUM LANDSCAPING CALC:	PROPOSED REQUIRED (20%)
Commercial (C) District Impervious Area: Landscape Area:	47,647.1 83,692.9
TOTAL LANDSCAPE AREA:	83,692.9 20,908.8
Area of Landscaping in Front and Along side of Building	PROPOSED REQUIRED (50%)
	43,066.0 41,646.45

GENERAL NOTES

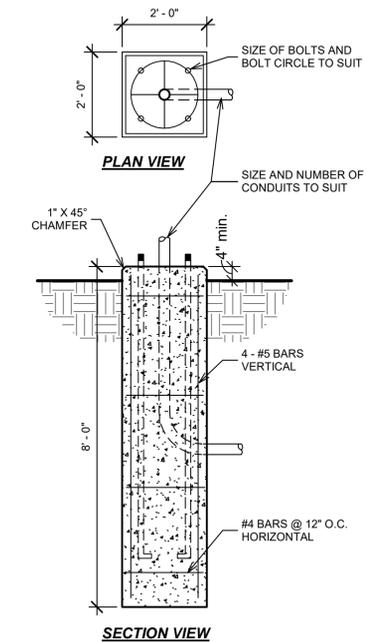
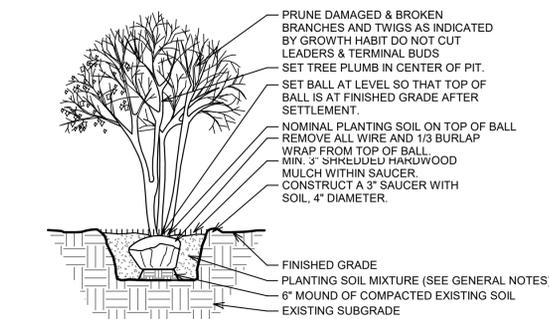
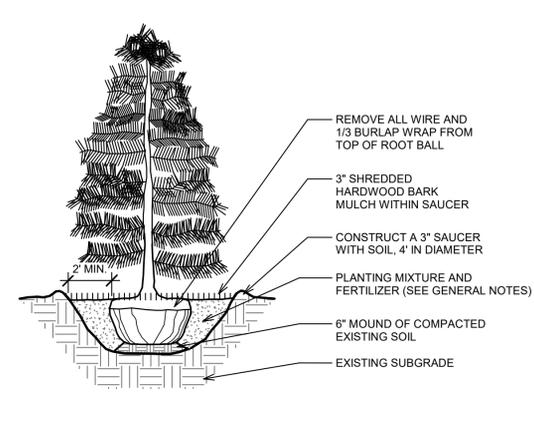
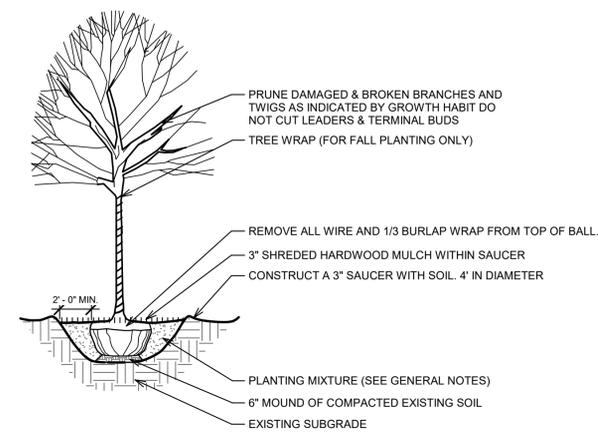
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT /OWNER IMMEDIATELY OF ANY DISCREPANCIES, OBSTACLES AND/OR PROBLEMS.
- VERIFICATION OF DIMENSIONS AND GRADES, BOTH EXISTING AND PROPOSED, SHALL BE THE CONTRACTOR'S RESPONSIBILITY PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES.
- ALL SURFACE DRAINAGE SHALL BE DIRECTED AWAY FROM STRUCTURES. SURFACE DRAINAGE SHALL BE DIRECTED TO EXISTING CATCH BASINS DESIGNATED FOR THE COLLECTION OF SURFACE RUN-OFF.
- CONTRACTOR SHALL NOTIFY OWNER OF ANY UNDESIRABLE DRAINAGE CONDITIONS AND RECOMMEND SUITABLE SOLUTIONS. WHERE NECESSARY TO ACHIEVE PROPER DRAINAGE, UNDER DRAINAGE FOR TREE PITS SHALL BE INSTALLED AT THE DIRECTION OF THE LANDSCAPE ARCHITECT.
- LANDSCAPE CONTRACTOR SHALL REPAIR IN KIND ALL AREAS DAMAGED AS A RESULT OF LANDSCAPE OPERATIONS.
- ALL TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 3" OF SHREDDED HARDWOOD MULCH.
- ALL GROUND COVER/ PERENNIAL BEDS TO RECEIVE A MINIMUM 2" OF MUSHROOM COMPOST.
- SIZES SHOWN ON PLANTING PLAN ARE MINIMUM ACCEPTABLE SIZES.
- LANDSCAPE CONTRACTOR SHALL WARRANT ALL TREES, SHRUBS, VINES, GROUNDCOVERS AND PERENNIALS UNDER THIS CONTRACT WILL BE HEALTHY AND IN FLOURISHING CONDITION OF ACTIVE GROWTH ONE YEAR FROM DATE OF FINAL ACCEPTANCE.
- SOIL TO BE USED FOR THE PLANTING MEDIUM FOR THE PROJECT SHALL BE FERTILE, WELL DRAINED, OF UNIFORM QUALITY, FREE OF STONES OVER 1" IN DIAMETER, STICKS, OILS, CHEMICALS, PLASTER, CONCRETE AND OTHER DELETERIOUS MATERIALS.
- THE LANDSCAPE CONTRACTOR SHALL PREPARE PLANTING BEDS BY ADDING SOIL AMENDMENTS TO TOPSOIL MIX IN THE FOLLOWING QUANTITIES: TOPSOIL MIX FOR TREES AND SHRUBS SHALL BE THREE (3) PARTS TOPSOIL, ONE (1) PART PEAT, AND ONE (1) PART SAND. TOPSOIL MIX FOR PERENNIALS, BULBS, AND GROUND COVERS SHALL BE THREE (3) PARTS TOPSOIL, ONE (1) PART SAND AND TWO (2) PARTS DECOMPOSED MUSHROOM COMPOST. SOIL SHALL MEET THE FOLLOWING REQUIREMENTS: SOIL COMPOSITION-45-77% SILT, 0-25% CLAY, 25-33% SAND; SOIL ACIDITY: Ph 6.0-7.0; SOIL ORGANIC CONTENT: THREE (3) TO FIVE (5) PERCENT.
- ALL PLANTS TO BE BALLED IN BURLAP OR CONTAINER GROWN AS SPECIFIED ON PLANTING PLAN. ALL PLASTIC ROOT WRAPPING MATERIAL AND METAL WIRE BASKETS SHALL BE REMOVED.
- LANDSCAPE CONTRACTOR SHALL STAKE THE LOCATION OF ALL TREES AND PLANTING BED LINES AND HAVE LAYOUT APPROVED BY LANDSCAPE ARCHITECT/OWNER PRIOR TO PLANTING.
- WATER ALL PLANTS IMMEDIATELY AFTER PLANTING. FLOOD PLANTS TWICE DURING FIRST TWENTY-FOUR HOUR PERIOD AFTER PLANTING.
- ALL NEW AND TRANSPLANTED PLANTS TO BE SPRAYED WITH AN ANTI-DESICCANT WITHIN TWENTY FOUR HOURS AFTER PLANTING. ANTI-DESICCANT SHALL BE EQUAL TO "WILTPROOF".
- ALL MUD SHALL BE REMOVED FROM ALL TIRES BEFORE LEAVING THE SITE AND ROADS SHALL BE KEPT CLEAR OF MUD AND DEBRIS AT ALL TIMES.
- ALL GRASS AREAS SHALL BE 6 INCHES OF TOPSOIL AND KENTUCKY BLUEGRASS SOD.

Planting Schedule per CITY OF ROCKWALL - UNIFIED DEVELOPMENT CODES

LEGEND	QUANT. - %	BOTANICAL NAME	COMMON NAME	MIN. SIZE	TOTAL (inches)	NOTES/SPECIAL CONDITIONS
CANOPY / SHADE / PARKWAY DECIDUOUS TREES (Min. Size at planting 4" Caliper - Parkway Trees shall be max 40' apart)						
TD	7	Taxodium Distichum	Bald Cypress	4" caliper / 8' ht	28	mature height 120'
AR	5	Acer Rubrum	October Glory Maple	4" caliper / 8' ht	20	mature height 40' - 50'
FT	6	Fraxinus Texensis	Texas Ash	4" caliper / 8' ht	24	mature height 45'
OB	9	Quercus Buckleiji	Texas Red Oak	4" caliper / 8' ht	36	mature height 30' - 55'
MG	5	Magnolia Grandiflora	Little Gem Magnolia	4" caliper / 8' ht	20	mature height 15' - 20'
TOTAL					128	
ACCENT TREES (Plant this size tree no closer than 10 feet from the center of pole line.)						
SM	6	Acer truncatum	Shantung Maple	2.5" caliper / 8' ht	15	mature height 25' - 35'
CL	4	Chilopsis linearis	Desert Willow	2.5" caliper / 8' ht	10	mature height 15' - 20'
IV	16	Ilex vomitoria	Yapou Holly	2.5" caliper / 8' ht	40	mature height 10' - 20'
FL	10	Rhus lanceolata	Flame Leaf Sumac	2.5" caliper / 8' ht	25	mature height 40' - 50'
CC	6	Cercis canadensis	Eastern Redbud	2.5" caliper / 8' ht	15	mature height 20' - 30'
TOTAL					105	
TOTAL					233	
EVERGREEN TREES (Min. Size at planting 6' hgt.)						
PS	3	Pinus strobus	Eastern White Pine	6' ht		
TO	12	Thuja occidentalis	White Cedar	6' ht		mature height 8'-12'
JT	8	Juniperus virginiana 'Taylor'	Taylor Juniper	6' ht		mature height 18'
TOTAL						
SHRUBS (All Hedges to be maintained and kept below @ max. 4' 0" tall)						
CT	42	Leucophyllum sp.	Cenizo (Texas Sage)	30" spr. / 24" ht		Medium Shrub
BJ	100	Buxus japonica	Japanese Boxwood	30" spr. / 24" ht		Small Shrub
TM	10	Taxus media 'Hicksii'	Hicks Yew Hedge	30" spr. / 24" ht		Large Shrub
FI	81	Forsythia intermedia 'Spectabilis'	Forsythia	30" spr. / 24" ht		Large Shrub
NO	26	Nerium oleander	Oleander	30" spr. / 24" ht		Large Shrub
DY	76	Ilex vomitoria 'Nana'	Dwarf Yaupon Holly	30" spr. / 24" ht		Small Shrub
TOTAL						
ORNAMENTAL GRASS						
SOD	-	Cynodon dactylon	Bermuda Grass	56,497 Sq. Ft.		Typical Ground Cover w/o plantings
WG	476	Eragrostis curvula	Weeping Love Grass			Ground Cover
PD	16	Sporobolus heterolepis	Prairie Dropseed			
JB	98	Imperata cylindrica 'Red Baron'	Japanese Blood Grass			
PERENNIALS, GROUNDCOVERS - (plants in mulch beds)						
RL	1bd	Rudbeckia laciniata	Green headed Coneflower	2" pots		Use in Wetland Basin / Embankment
VM	270	Vinca minor	Periwinkle	18" spread / 2" pots		perennials mature height 18"
AT	110	Asclepias tuberosa	Butterfly Weed	18" spread / 2" pots		perennials
EP	74	Echinacea purpurea	Purple Coneflower	18" spread / 2" pots		perennials
WF	37	Waldsteinia fragarioides	Barren Strawberry	18" spread / 2" pots		perennials
RS	230	Rudbeckia speciosa	Black-eyed Susan	18" spread / 2" pots		perennials
PT	182	Pyroanthemum tenuifolium	Slender Mountain Mint			ground cover

NOTES:

- ONCE A TREESCAPE PLAN HAS BEEN APPROVED FOR A PROPERTY, A TREE REMOVAL PERMIT WILL BE REQUIRED TO REMOVE ANY TREE(S).
- ALL LANDSCAPE BUFFERS AND PUBLIC RIGHT-OF-WAY LOCATED ADJACENT TO A PROPOSED DEVELOPMENT SHALL BE IMPROVED WITH GRASS (I.E. SOD - HYDRO MULCH SHALL BE PROHIBITED IN THESE AREAS) PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SEEDING AREA, INCLUDING WATERING, UNTIL A "PERMANENT STAND OF GRASS" IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A "STAND OF GRASS" CONSISTS OF 75% TO 80% COVERAGE AND MINIMUM HEIGHT OF ONE (1) INCH IN HEIGHT.
- IRRIGATION: LANDSCAPE DESIGN PURSUANT TO THE REQUIREMENTS OF THIS CHAPTER SHALL RECOGNIZE THE NEED FOR IRRIGATION AND WATER CONSERVATION. SPRINKLER IRRIGATION SYSTEMS MAY BE REQUIRED FOR CERTAIN LANDSCAPED AREAS, AS DETERMINED BY A LANDSCAPE ARCHITECT. THE NEED FOR SPRINKLER IRRIGATION SYSTEMS SHALL BE DETERMINED BY THE TYPE OF PLANT MATERIAL AND THE CONDITION/GROWING MEDIUM THAT THEY ARE INSTALLED IN. FOR INSTANCE, WHETHER THERE IS A PERMANENT MEANS AVAILABLE TO WATER PLANT MATERIAL, SUCH AS HOSE BIBS, SHALL BE A CONSIDERATION. ALL IRRIGATION SYSTEMS SHALL BE DESIGNED TO MINIMIZE THE USE OF WATER.
- TREES MUST BE PLANTED AT LEAST FIVE (5) FEET FROM WATER, SEWER, AND STORM SEWER LINES.



APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall

on the _____ day of _____, _____.

WITNESS OUR HANDS, this _____ day of _____, _____.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

NERI ARCHITECTS

6400 N NORTHWEST HWY
SUITE 4
CHICAGO, IL 60631
TEL: 847.625.9400

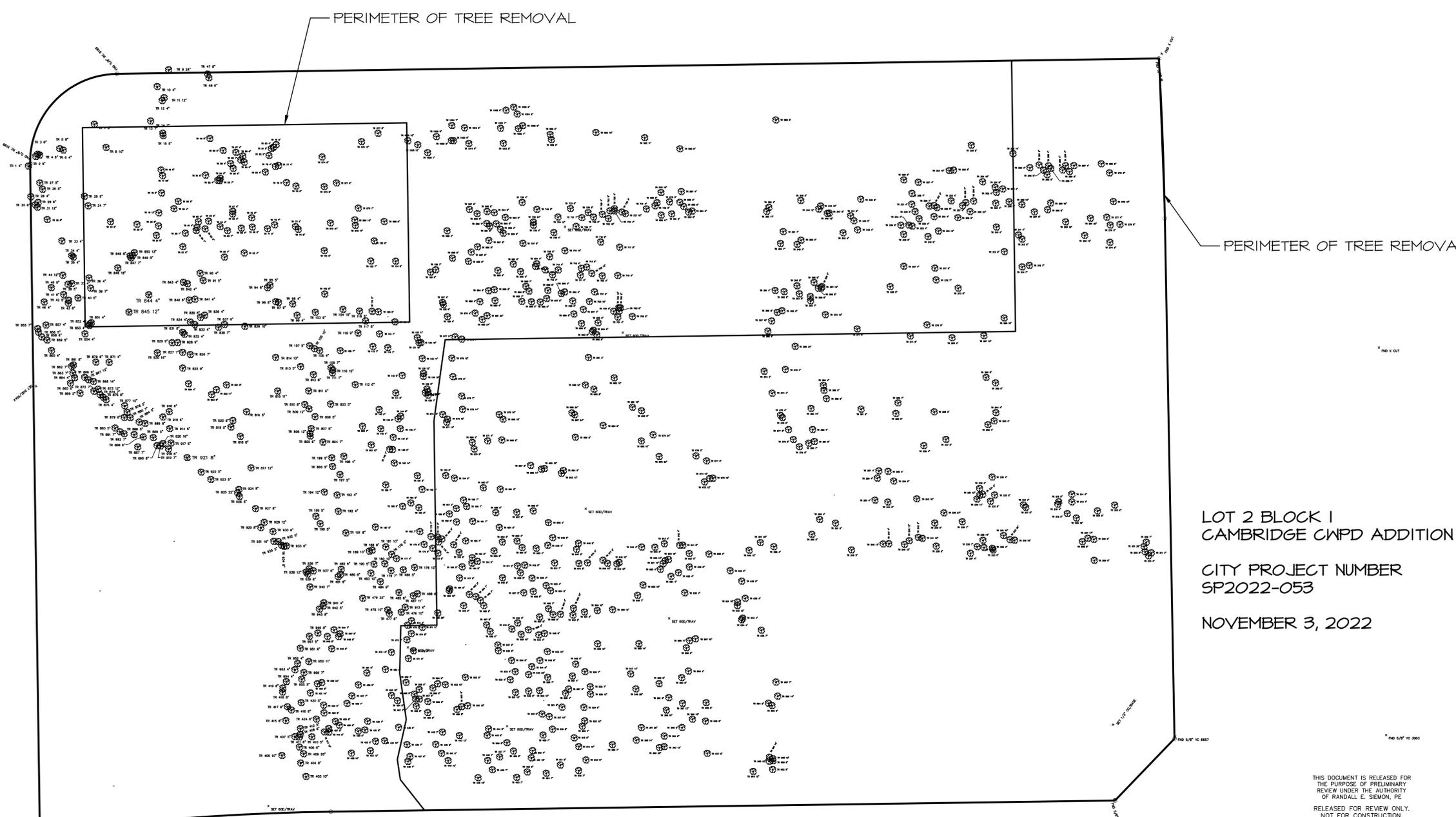
PROJECT # 2034
DATE: 01/17/22

NEW AUTOMATED CARWASH FACILITY

**1720 S JOHN KING BLVD
ROCKWALL, TEXAS 75087**
(Tract 3-09 of the J. M. Allen Survey, Abstract No. 0002)

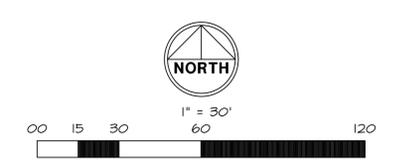
10/31/22	ZONING REVISIONS
10/07/22	ZONING REVIEW
REVISIONS	
DRAWN BY:	RAM
APPROVED BY:	GCN / MAM
SCALE:	AS NOTED
DESCRIPTION:	LANDSCAPE DETAILS & NOTES
SHEET NO.	L1.1

CASE# SP2022-053



LOT 2 BLOCK 1
 CAMBRIDGE CNPD ADDITION
 CITY PROJECT NUMBER
 SP2022-053
 NOVEMBER 3, 2022

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF PRELIMINARY REVIEW UNDER THE AUTHORITY OF RANDALL E. SIMON, PE
 RELEASED FOR REVIEW ONLY. NOT FOR CONSTRUCTION.
 RANDALL E. SIMON, PE
 TEXAS PE
 73607
 11/3/22



CAR WASH ROCKWALL
TREES REMOVED FROM DETENTION AREA

Tree Tag	Species	TREE TYPE FEATURED (NONE) SECONDARY PRIMARY	CAPLIER INCH	HEIGHT (FEET)	OUTSIDE CLEAR ZONE (1)OR REMOVE (0)	HEALTH	MIT REQD (INCHES)	Health	TREES IN DETENTION AREA YES=1 BLANK=NO
		ESTIMATED MITIGATION		560.25	INCHES				
1	Honey Locust	non-protect	4	0	1	4	0	- Good	
2	Bois D'arc	non Protect	4	0	1	5	0	- Excellent	
3	Green Ash		5	0	1	5	0	- Excellent	
5	Bois D'arc	non Protect	6	0	1	5	0	- Excellent	1
6	Bois D'arc	non Protect	4	0	1	5	0	- Excellent	
7	Bois D'arc	non Protect	5	0	1	5	0	- Excellent	
8	Bois D'arc	non Protect	4.5	0	0	5		- Excellent	1
9	Hackberry	non Protect	22	0	1	4	0	- Good	
10	Eastern Red Cedar		0	12	1	5	0	- Excellent	
11	Hackberry	non Protect	8.5	0	1	4	0	- Good	
13	Hackberry	non Protect	4	0	1	4	0	- Good	
14	Hackberry	non Protect	6	0	1	5	0	- Excellent	
16	Hackberry	non Protect	5.5	0	0	3		- Viable with	1
17	Hackberry	non Protect	12	0	0	4	0	- Good	1
18	Hackberry	non Protect	5.5	0	0	4		- Good	1
19	Hackberry	non Protect	9	0	0	4		- Good	1
20	Honey Locust	non Protect	4.5	0	0	4	0	- Good	1
21	Hackberry	non Protect	8.5	0	0	4		- Good	1
22	Honey Locust	non Protect	4.5	0	0	5	0	- Excellent	1
23	Green Ash		9	0	0	5	0	- Excellent	1
24	Eastern Red Cedar		0	22	0	5	0	- Excellent	1
25	Green Ash		4.5	0	0	5	2.25	- Excellent	
26	Honey Locust	non Protect	7	0	1	4	0	- Good	
27	Hackberry	non Protect	4.5	0	1	4	0	- Good	
28	Hackberry	non Protect	4	0	1	4	0	- Good	
29	Hackberry	non Protect	5.5	0	1	5	0	- Excellent	
30	Hackberry	non Protect	4.5	0	1	5	0	- Excellent	
31	Eastern Red Cedar		0	27	1	5	0	- Excellent	
32	Honey Locust	non Protect	5	0	1	4	0	- Good	
33	Honey Locust	non Protect	3.5	0	1	5	0	- Excellent	
34	Honey Locust	non Protect	4	0	1	4	0	- Good	
36	Bois D'arc	non Protect	3.5	0	0	4		- Good	1
39	Hackberry	non Protect	6	0	0	5		- Excellent	1
40	Hackberry	non Protect	3.5	0	0	5		- Excellent	1
41	Honey Locust	non Protect	5	0	1	4	0	- Good	
42	Honey Locust	non Protect	4	0	1	4	0	- Good	
43	Honey Locust	non Protect	5.5	0	1	4	0	- Good	
44	Honey Locust	non Protect	6.5	0	1	4	0	- Good	
45	Honey Locust	non Protect	4	0	1	4	0	- Good	
47	Hackberry	non Protect	9	0	1	4	0	- Good	
48	Hackberry	non Protect	6	0	1	5	0	- Excellent	
49	Honey Locust	non Protect	3.5	0	0	4	0	- Good	1
50	Honey Locust	non Protect	4.5	0	0	4	0	- Good	1
51	Hackberry	non Protect	6	0	0	5	0	- Excellent	1
53	Bois D'arc	non Protect	6	0	0	4	0	- Good	1
54	Bois D'arc	non Protect	5	0	0	4		- Good	1
55	Honey Locust	non Protect	5	0	1	4	0	- Good	
57	Honey Locust	non Protect	5	0	0	4	0	- Good	1
58	Hackberry	non Protect	6.5	0	0	4		- Good	1
59	Hackberry	non Protect	7	0	1	4	0	- Good	1
60	Honey Locust	non Protect	3.5	0	0	3	0	- Viable with	1
62	Hackberry	non Protect	6	0	0	4		- Good	1
63	Honey Locust	non Protect	4.5	0	0	4	0	- Good	1
65	Hackberry	non Protect	7.5	0	0	4		- Good	1
69	Hackberry	non Protect	8	0	0	4		- Good	1
70	Honey Locust	non Protect	4	0	0	1		- Dead	1
71	Hackberry	non Protect	4.5	0	0	5		- Excellent	1

CAR WASH ROCKWALL
TREES REMOVED FROM DETENTION AREA

Tree Tag	Species	TREE TYPE	CAPLIER	HEIGHT	OUTSIDE CLEAR		MIT REQD	Health	TREES IN DETENTION AREA YES=1 BLANK=NO
		FEATURED (NONE)			SECONDARY PRIMARY	INCH			
72	Hackberry	non Protect	6.5	0	0	4		- Good	1
73	Hackberry	non Protect	4	0	0	4		- Good	1
74	Hackberry	non Protect	5.5	0	0	4		- Good	1
75	Hackberry	non Protect	8	0	0	4		- Good	1
76	Honey Locust	non Protect	4.5	0	0	2		- Diseased	1
77	Honey Locust	non Protect	3.5	0	0	3	0	- Viable with	1
79	Honey Locust	non Protect	4	0	0	3	0	- Viable with	1
81	Honey Locust	non Protect	4.5	0	0	4	0	- Good	1
82	Honey Locust	non Protect	4	0	0	4	0	- Good	1
83	Honey Locust	non Protect	3.5	0	0	3	0	- Viable with	1
84	Hackberry	non Protect	6	0	0	5		- Excellent	1
85	Hackberry	non Protect	7.5	0	0	5		- Excellent	1
86	Honey Locust	non Protect	5	0	0	4	0	- Good	1
88	Honey Locust	non Protect	3.5	0	0	3	0	- Viable with	1
89	Honey Locust	non Protect	4	0	1	4	0	- Good	1
91	Honey Locust	non Protect	3.5	0	0	5	0	- Excellent	1
93	Bois D'arc	non Protect	4	0	1	4		- Good	1
94	Bois D'arc	non Protect	8	0	0	4		- Good	1
95	Honey Locust	non Protect	4	0	0	3	0	- Viable with	1
97	Hackberry	non Protect	8	0	0	5		- Excellent	1
99	Honey Locust	non Protect	4	0	0	2		- Diseased	1
101	Honey Locust	non Protect	4.5	0	0	4	0	- Good	1
102	Honey Locust	non Protect	6.5	0	0	3	0	- Viable with	1
103	Green Ash		6	0	0	5	0	- Excellent	1
104	Green Ash		4.5	0	0	4	0	- Good	1
105	Hackberry	non Protect	8.5	0	1	4	0	- Good	
106	Hackberry	non Protect	4	0	1	4	0	- Good	
107	Hackberry	non Protect	4	0	1	5	0	- Excellent	
108	Green Ash		7	0	1	4	0	- Good	
110	Hackberry	non Protect	9.5	0	1	5	0	- Excellent	
111	Hackberry	non Protect	6	0	1	4	0	- Good	
112	Green Ash		5.5	0	1	5	0	- Excellent	
113	Green Ash		6.5	0	1	5	0	- Excellent	
114	Green Ash		5	0	1	4	0	- Good	
115	Green Ash		6	0	1	4	0	- Good	
116	Green Ash		9	0	1	4	0	- Good	
117	Green Ash		8	0	0	4	4	- Good	1
118	Green Ash		4	0	0	4	2	- Good	1
119	Green Ash		4	0	1	4	0	- Good	1
120	Green Ash		4.5	0	0	5	0	- Excellent	1
121	Green Ash		5	0	0	4	2.5	- Good	
122	Hackberry	non Protect	5.5	0	0	4		- Good	1
123	Hackberry	non Protect	5	0	0	4		- Good	1
124	Hackberry	non Protect	5.5	0	0	4		- Good	1
125	Bois D'arc	non Protect	4.5	0	1	4	0	- Good	
126	Bois D'arc	non Protect	4.5	0	1	5	0	- Excellent	
128	Hackberry	non Protect	5.5	0	1	4	0	- Good	
130	Bois D'arc	non Protect	15	0	1	3	0	- Viable with	
131	Hackberry	non Protect	10	0	1	3	0	- Viable with	
133	Bois D'arc	non Protect	7	0	1	3	0	- Viable with	
134	Bois D'arc	non Protect	8	0	1	2		- Diseased	
135	Hackberry	non Protect	8.5	0	1	3	0	- Viable with	
136	Cedar Elm		4	0	1	4	0	- Good	
137	Bois D'arc	non Protect	10	0	1	3	0	- Viable with	
139	Hackberry	non Protect	9	0	1	4	0	- Good	
140	Green Ash		4.5	0	1	4	0	- Good	
141	Green Ash		7.5	0	1	5	0	- Excellent	
142	Hackberry	non Protect	5.5	0	1	4	0	- Good	
143	Green Ash		6	0	1	4	0	- Good	
144	Green Ash		7.5	0	1	5	0	- Excellent	

CAR WASH ROCKWALL
TREES REMOVED FROM DETENTION AREA

Tree Tag	Species	TREE TYPE	CAPLIER	HEIGHT	OUTSIDE CLEAR		MIT REQD	Health	TREES IN DETENTION AREA YES=1 BLANK=NO
		FEATURED (NONE)			ZONE (1)OR REMOVE (0)	HEALTH			
		SECONDARY PRIMARY	INCH	(FEET)			(INCHES)		
145	Green Ash		6	0	1	5	0	- Excellent	
147	Green Ash		5	0	1	3	0	- Viable with	
149	Green Ash		7.5	0	1	4	0	- Good	
150	Green Ash		10	0	1	5	0	- Excellent	
151	Green Ash		5	0	1	5	0	- Excellent	
152	Green Ash		6	0	1	5	0	- Excellent	
153	Green Ash		5.5	0	0	5	2.75	- Excellent	
154	Green Ash		5.5	0	0	5	2.75	- Excellent	
155	Green Ash		6	0	0	4	3	- Good	
156	Green Ash		5.5	0	0	5	2.75	- Excellent	
158	Green Ash		7.5	0	0	4	3.75	- Good	
159	Green Ash		4.5	0	0	4	2.25	- Good	
160	Green Ash		7	0	0	4	3.5	- Good	
161	Green Ash		7	0	0	5	3.5	- Excellent	
162	Green Ash		4.5	0	0	5	2.25	- Excellent	
163	Green Ash		4	0	0	5	2	- Excellent	
164	Green Ash		7.5	0	0	5	3.75	- Excellent	
165	Green Ash		7.5	0	0	5	3.75	- Excellent	
166	Green Ash		4	0	1	5	0	- Excellent	
167	Green Ash		8.5	0	0	5	4.25	- Excellent	
169	Green Ash		5	0	0	4	2.5	- Good	
170	Green Ash		4	0	0	4	2	- Good	
171	Green Ash		5	0	0	4	2.5	- Good	
172	Green Ash		6	0	1	4	0	- Good	
173	Green Ash		5	0	1	4	0	- Good	
174	Green Ash		5	0	1	4	0	- Good	
175	Green Ash		5	0	1	4	0	- Good	
176	Bois D'arc		8	0	1	2	0	- Diseased	
178	Green Ash		5	0	1	4	0	- Good	
179	Green Ash		6	0	1	4	0	- Good	
180	Green Ash		9	0	1	5	0	- Excellent	
181	Green Ash		8.5	0	1	5	0	- Excellent	
182	Green Ash		6.5	0	1	4	0	- Good	
183	Green Ash		4	0	1	4	0	- Good	
184	Green Ash		4.5	0	1	4	0	- Good	
185	Green Ash		4	0	1	5	0	- Excellent	
186	Honey Locust	non Protect	5.5	0	1	3	0	- Viable with	
187	Honey Locust	non Protect	4	0	1	3	0	- Viable with	
188	Green Ash		5.5	0	1	4	0	- Good	
189	Green Ash		9	0	1	5	0	- Excellent	
190	Green Ash		4	0	1	4	0	- Good	
191	Green Ash		3.5	0	1	4	0	- Good	
194	Green Ash		8.5	0	1	5	0	- Excellent	
195	Hackberry	non Protect	4	0	1	5	0	- Excellent	
196	Green Ash		4	0	1	5	0	- Excellent	
197	Honey Locust		4	0	1	3	0	- Viable with	
199	Green Ash		4	0	1	4	0	- Good	
200	Hackberry	non Protect	9	0	0	5		- Excellent	
201	Bois D'arc	non Protect	18	0	0	3	0	- Viable with	
202	Hackberry	non Protect	7.5	0	0	5		- Excellent	
203	Hackberry	non Protect	6	0	0	5		- Excellent	
204	Black Willow		8.5	0	0	5	4.25	- Excellent	
205	Black Willow		11	0	1	4	0	- Good	
206	Bois D'arc	non Protect	7	0	1	3	0	- Viable with	
207	Bois D'arc	non Protect	18	0	0	3		- Viable with	
208	Hackberry	non Protect	10	0	0	2		- Diseased	
209	Hackberry	non Protect	4.5	0	0	5		- Excellent	
210	Hackberry	non Protect	4.5	0	0	5		- Excellent	
212	Black Willow		4	0	0	4	2	- Good	
213	Hackberry	non Protect	4	0	0	5		- Excellent	

CAR WASH ROCKWALL
TREES REMOVED FROM DETENTION AREA

Tree Tag	Species	TREE TYPE	CAPLIER	HEIGHT	OUTSIDE CLEAR		MIT REQD	Health	TREES IN DETENTION AREA YES=1 BLANK=NO
		FEATURED (NONE)			SECONDARY PRIMARY	ZONE (1)OR REMOVE (0)			
214	Hackberry	non Protect	5	0	0	5	0	- Excellent	
217	Hackberry	non Protect	3	0	0	4	0	- Good	
219	Bois D'arc	non Protect	12.5	0	0	3	0	- Viable with	
220	Bois D'arc	non Protect	13	0	1	3	0	- Viable with	
223	Hackberry	non Protect	4.5	0	0	5	0	- Excellent	
224	Hackberry	non Protect	7	0	0	4	0	- Good	
225	Hackberry	non Protect	8.5	0	0	2	0	- Diseased	
226	Hackberry	non Protect	12	0	0	4	0	- Good	
229	Hackberry	non Protect	7	0	0	3	0	- Viable with	
230	Bois D'arc	non Protect	20	0	0	3	0	- Viable with	
231	Hackberry	non Protect	14	0	0	3	0	- Viable with	
232	Hackberry	non Protect	4	0	0	5	0	- Excellent	
233	Hackberry	non Protect	4.5	0	1	4	0	- Good	
234	Hackberry	non Protect	5	0	0	2	0	- Diseased	
235	Hackberry	non Protect	4	0	1	5	0	- Excellent	
236	Hackberry	non Protect	4.5	0	0	4	0	- Good	
237	Hackberry	non Protect	6	0	1	5	0	- Excellent	
239	Bois D'arc	non Protect	28	0	1	3	0	- Viable with	
240	Hackberry	non Protect	10	0	0	2	0	- Diseased	
241	Hackberry	non Protect	10.5	0	0	5	0	- Excellent	
242	Eastern Red Cedar		0	9	0	4	0	- Good	
243	Bois D'arc	non Protect	16	0	0	4	0	- Good	
244	Hackberry	non Protect	10	0	0	5	0	- Excellent	
245	Hackberry	non Protect	10.5	0	0	5	0	- Excellent	
246	Hackberry	non Protect	11	0	0	5	0	- Excellent	
247	Hackberry	non Protect	4	0	0	4	0	- Good	
248	Hackberry	non Protect	13	0	0	4	0	- Good	
249	Bois D'arc	non Protect	3.5	0	0	4	0	- Good	
250	Honey Locust	non Protect	5	0	0	5	2.5	- Excellent	
252	Black Willow		4	0	0	5	2	- Excellent	
253	Hackberry	non Protect	5	0	0	4	0	- Good	
254	Hackberry	non Protect	5	0	0	4	0	- Good	
255	Hackberry	non Protect	4.5	0	0	4	0	- Good	
256	Hackberry	non Protect	3	0	0	4	0	- Good	
257	Hackberry	non Protect	4.5	0	0	4	0	- Good	
258	Hackberry	non Protect	5	0	0	5	0	- Excellent	
259	Hackberry	non Protect	7.5	0	0	5	0	- Excellent	
260	Hackberry	non Protect	5	0	0	5	0	- Excellent	
261	Hackberry	non Protect	5	0	0	5	0	- Excellent	
262	Hackberry	non Protect	5	0	0	5	0	- Excellent	
263	Hackberry	non Protect	4	0	0	5	0	- Excellent	
264	American Elm		4	0	0	5	2	- Excellent	
265	Hackberry	non Protect	6	0	0	5	0	- Excellent	
266	Hackberry	non Protect	6.5	0	0	5	0	- Excellent	
267	Hackberry	non Protect	7.5	0	0	5	0	- Excellent	
268	Hackberry	non Protect	5.5	0	1	5	0	- Excellent	
270	Honey Locust	non Protect	4.5	0	1	5	0	- Excellent	
271	Honey Locust	non Protect	5.5	0	0	5	0	- Excellent	
272	Hackberry	non Protect	4.5	0	1	5	0	- Excellent	
273	Hackberry	non Protect	3.5	0	1	5	0	- Excellent	
274	Hackberry	non Protect	4.5	0	0	5	0	- Excellent	
275	Hackberry	non Protect	5	0	0	5	0	- Excellent	
276	Hackberry	non Protect	5.5	0	0	5	0	- Excellent	
277	Hackberry	non Protect	5	0	0	5	0	- Excellent	
278	Bois D'arc	non Protect	12.5	0	0	3	0	- Viable with	
279	Hackberry	non Protect	4	0	0	5	0	- Excellent	
280	Eastern Red Cedar		0	16	0	5	0	- Excellent	
281	Hackberry	non Protect	24	0	1	4	0	- Good	
282	Bois D'arc	non Protect	7	0	1	4	0	- Good	
283	Hackberry	non Protect	20	0	1	4	0	- Good	

CAR WASH ROCKWALL
TREES REMOVED FROM DETENTION AREA

Tree Tag	Species	TREE TYPE	CAPPLIER	HEIGHT	OUTSIDE CLEAR		MIT REQD	Health	TREES IN DETENTION AREA YES=1 BLANK=NO
		FEATURED (NONE)			SECONDARY PRIMARY	ZONE (1)OR REMOVE (0)			
286	Eastern Red Cedar		0	21	0	4	0	- Good	
287	Honey Locust	non Protect	4	0	1	4	0	- Good	
288	Honey Locust	non Protect	7	0	0	4	0	- Good	
289	Hackberry	non Protect	4	0	0	4	0	- Good	
290	Honey Locust	non Protect	5	0	0	4	0	- Good	
291	Honey Locust	non Protect	7	0	0	4	0	- Good	
292	Eastern Red Cedar		0	20	0	5	0	- Excellent	
293	Honey Locust	non Protect	4.5	0	0	4	0	- Good	
294	Eastern Red Cedar		0	27	1	5	0	- Excellent	
295	Bois D'arc	non Protect	9	0	1	3	0	- Viable with	
296	Bois D'arc	non Protect	9	0	1	3	0	- Viable with	
297	Eastern Red Cedar		0	17	0	5	0	- Excellent	
298	Hackberry	non Protect	11.5	0	0	4	0	- Good	
299	Eastern Red Cedar		0	17	1	4	0	- Good	
300	Hackberry	non Protect	4.5	0	1	4	0	- Good	
301	Bois D'arc	non Protect	5	0	1	4	0	- Good	
302	Hackberry	non Protect	4.5	0	1	5	0	- Excellent	
303	Bois D'arc	non Protect	4	0	1	4	0	- Good	
304	Eastern Red Cedar		0	25	1	5	0	- Excellent	
305	Bois D'arc	non Protect	5.5	0	1	3	0	- Viable with	
306	Hackberry	non Protect	7	0	1	5	0	- Excellent	
308	Bois D'arc	non Protect	19	0	1	4	0	- Good	
309	Bois D'arc	non Protect	5	0	1	4	0	- Good	
310	Hackberry	non Protect	4	0	1	5	0	- Excellent	
312	Hackberry	non Protect	5	0	0	5	0	- Excellent	
313	Hackberry	non Protect	5.5	0	1	5	0	- Excellent	
314	Hackberry	non Protect	4.5	0	0	5	0	- Excellent	
315	Hackberry	non Protect	5	0	0	5	0	- Excellent	
316	Hackberry	non Protect	5	0	1	5	0	- Excellent	
317	Hackberry	non Protect	3.5	0	1	5	0	- Excellent	
318	Hackberry	non Protect	5	0	1	5	0	- Excellent	
319	Hackberry	non Protect	5	0	1	5	0	- Excellent	
320	Hackberry	non Protect	5	0	1	5	0	- Excellent	
321	Hackberry	non Protect	6	0	1	5	0	- Excellent	
322	Hackberry	non Protect	4	0	1	5	0	- Excellent	
323	Eastern Red Cedar		0	22	1	4	0	- Good	
324	Eastern Red Cedar		0	24	1	5	0	- Excellent	
325	Eastern Red Cedar		0	22	1	5	0	- Excellent	
326	Hackberry	non Protect	6.5	0	1	5	0	- Excellent	
329	Hackberry	non Protect	5	0	1	5	0	- Excellent	
330	Hackberry	non Protect	4	0	1	4	0	- Good	
331	Hackberry	non Protect	4	0	1	5	0	- Excellent	
335	Hackberry	non Protect	4	0	1	5	0	- Excellent	
336	Hackberry	non Protect	4	0	1	5	0	- Excellent	
337	Hackberry	non Protect	4	0	1	5	0	- Excellent	
338	Hackberry	non Protect	5	0	1	5	0	- Excellent	
339	Hackberry	non Protect	4	0	1	4	0	- Good	
340	Hackberry	non Protect	4	0	1	4	0	- Good	
341	Honey Locust		7	0	1	4	0	- Good	
342	Hackberry	non Protect	3	0	1	5	0	- Excellent	
344	Hackberry	non Protect	12	0	1	4	0	- Good	
346	Hackberry	non Protect	13	0	1	4	0	- Good	
347	Eastern Red Cedar		0	16	1	5	0	- Excellent	
348	Honey Locust		4.5	0	1	4	0	- Good	
350	Bois D'arc	non Protect	3.5	0	1	4	0	- Good	
351	Hackberry	non Protect	6.5	0	1	5	0	- Excellent	
353	Eastern Red Cedar		8.5	0	1	5	0	- Excellent	
354	Hackberry	non Protect	3.5	0	1	5	0	- Excellent	
355	Honey Locust	non Protect	7.5	0	1	3	0	- Viable with	
356	Honey Locust	non Protect	4	0	1	5	0	- Excellent	

CAR WASH ROCKWALL
TREES REMOVED FROM DETENTION AREA

Tree Tag	Species	TREE TYPE FEATURED (NONE) SECONDARY PRIMARY	CAPLIER INCH	HEIGHT (FEET)	OUTSIDE CLEAR ZONE (1)OR REMOVE (0)	HEALTH	MIT REQD (INCHES)	Health	TREES IN DETENTION AREA YES=1 BLANK=NO
357	Hackberry	non Protect	9	0	1	5	0	- Excellent	
358	Hackberry	non Protect	8	0	1	5	0	- Excellent	
359	Hackberry	non Protect	8.5	0	1	5	0	- Excellent	
361	Hackberry	non Protect	4.5	0	1	5	0	- Excellent	
362	Hackberry	non Protect	6.5	0	1	4	0	- Good	
363	Hackberry	non Protect	10	0	1	4	0	- Good	
364	Eastern Red Cedar		0	16	1	5	0	- Excellent	
365	Hackberry	non Protect	8	0	1	4	0	- Good	
366	Hackberry	non Protect	7	0	1	4	0	- Good	
367	Hackberry	non Protect	11	0	1	5	0	- Excellent	
368	Hackberry	non Protect	4	0	1	5	0	- Excellent	
369	Bois D'arc	non Protect	22	0	0	3	11	- Viable with	
370	Hackberry	non Protect	4.5	0	1	5	0	- Excellent	
371	Hackberry	non Protect	3.5	0	1	5	0	- Excellent	
373	Hackberry	non Protect	4	0	0	5	2	- Excellent	
374	Hackberry	non Protect	4	0	0	5	2	- Excellent	
375	Hackberry	non Protect	3	0	0	5	1.5	- Excellent	
376	Hackberry	non Protect	5	0	0	5	2.5	- Excellent	
377	Hackberry	non Protect	4.5	0	0	4	2.25	- Good	
378	Hackberry	non Protect	5.5	0	0	5	2.75	- Excellent	
379	Hackberry	non Protect	4	0	0	5	2	- Excellent	
380	Hackberry	non Protect	5	0	0	5	2.5	- Excellent	
381	Hackberry	non Protect	5.5	0	0	5	2.75	- Excellent	
383	Bois D'arc	non Protect	28	0	0	3	14	- Viable with	
384	Hackberry	non Protect	4.5	0	0	4	2.25	- Good	
385	Hackberry	non Protect	4.5	0	0	4	2.25	- Good	
386	Hackberry	non Protect	4	0	0	4	2	- Good	
387	Bois D'arc	non Protect	17	0	0	3	8.5	- Viable with	
389	Green Ash		8	0	0	3	4	- Viable with	
390	Hackberry	non Protect	13	0	0	4	6.5	- Good	
391	Bois D'arc	non Protect	14	0	0	2		- Diseased	
392	Bois D'arc	non Protect	7.5	0	0	3	3.75	- Viable with	
393	Bois D'arc	non Protect	8	0	0	3	4	- Viable with	
394	Hackberry	non Protect	6.5	0	0	5	3.25	- Excellent	
395	Hackberry	non Protect	4.5	0	0	5	2.25	- Excellent	
396	Green Ash		9	0	0	4	4.5	- Good	
397	Hackberry	non Protect	9.5	0	0	5	4.75	- Excellent	
398	Green Ash		9	0	0	3	4.5	- Viable with	
399	Green Ash		11	0	0	4	5.5	- Good	
403	Eastern Red Cedar		0	26	1	4	0	- Good	
404	Hackberry	non Protect	7.5	0	1	4	0	- Good	
405	Eastern Red Cedar		0	16	1	5	0	- Excellent	
406	Honey Locust	non Protect	4.5	0	1	3	0	- Viable with	
408	Hackberry	non Protect	5.5	0	1	3	0	- Viable with	
409	Bois D'arc	non Protect	14	0	1	4	0	- Good	
410	Eastern Red Cedar		0	17	1	4	0	- Good	
413	Hackberry	non Protect	15.5	0	1	5	0	- Excellent	
414	Bois D'arc	non Protect	4.5	0	1	2	0	- Diseased	
415	Eastern Red Cedar		0	20	1	4	0	- Good	
416			0	13	1	4	0	- Good	
417	Eastern Red Cedar		0	17	1	4	0	- Good	
418	Eastern Red Cedar		0	17	1	5	0	- Excellent	
419	Eastern Red Cedar		0	16	1	5	0	- Excellent	
420	Eastern Red Cedar		0	16	1	3	0	- Viable with	
421	Bois D'arc	non Protect	13	0	1	4	0	- Good	
422	Eastern Red Cedar		0	18	1	4	0	- Good	
423	Bois D'arc	non Protect	5	0	1	2	0	- Diseased	
424	Bois D'arc	non Protect	6	0	1	2	0	- Diseased	
425	Eastern Red Cedar		0	25	1	5	0	- Excellent	
426	Other		4.5	0	1	3	0	- Viable with	

CAR WASH ROCKWALL
TREES REMOVED FROM DETENTION AREA

Tree Tag	Species	TREE TYPE	CAPLIER	HEIGHT	OUTSIDE CLEAR	HEALTH	MIT REQD	Health	TREES IN DETENTION AREA YES=1 BLANK=NO
		FEATURED (NONE)			ZONE (1)OR REMOVE (0)				
427	Bois D'arc	non Protect	5	0	1	3	0	- Viable with	
428	Eastern Red Cedar		0	24	1	4	0	- Good	
429	Eastern Red Cedar		0	26	1	4	0	- Good	
430	Green Ash		6.5	0	1	4	0	- Good	
431	Eastern Red Cedar		0	24	1	5	0	- Excellent	
432	Green Ash		5.5	0	1	4	0	- Good	
433	Green Ash		5	0	1	4	0	- Good	
434	Green Ash		8.5	0	1	4	0	- Good	
435	Hackberry	non Protect	6.5	0	1	4	0	- Good	
436	Green Ash		6	0	0	4	3	- Good	
437	Green Ash		9	0	0	5	4.5	- Excellent	
438	Green Ash		7	0	0	4	3.5	- Good	
439	Hackberry	non Protect	7	0	0	4	3.5	- Good	
440	Hackberry	non Protect	10.5	0	0	4	5.25	- Good	
441	Green Ash		5.5	0	0	4	2.75	- Good	
442	Green Ash		5.5	0	0	4	2.75	- Good	
443	Cedar Elm		12.5	0	0	3	6.25	- Viable with	
444	Honey Locust	non Protect	5	0	0	3	0	- Viable with	
445	Honey Locust	non Protect	4.5	0	0	3	0	- Viable with	
446	Hackberry	non Protect	6.5	0	0	5	0	- Excellent	
447	Hackberry	non Protect	6	0	0	4	0	- Good	
448	Hackberry	non Protect	5.5	0	0	4	0	- Good	
449	Hackberry	non Protect	11.5	0	0	4	0	- Good	
450	Honey Locust	non Protect	4	0	0	3	0	- Viable with	
451	Green Ash		11	0	0	4	5.5	- Good	
452	Honey Locust	non Protect	5.5	0	0	4	0	- Good	
453	Hackberry	non Protect	8	0	0	5	0	- Excellent	
454	Green Ash		5	0	0	4	2.5	- Good	
455	Green Ash		7	0	0	4	3.5	- Good	
456	Eastern Red Cedar		0	18	1	2	0	- Diseased	
457	Eastern Red Cedar		0	19	1	3	0	- Viable with	
458	Eastern Red Cedar		0	20	1	4	0	- Good	
459	Bois D'arc	non Protect	9	0	1	3	0	- Viable with	
460	Bois D'arc	non Protect	7.5	0	1	4	0	- Good	
461	Green Ash		4.5	0	1	4	0	- Good	
462	Other		4.5	0	1	5	0	- Excellent	
463	Green Ash		10	0	1	4	0	- Good	
464	Green Ash		8	0	1	4	0	- Good	
465	Green Ash		6.5	0	0	4	3.25	- Good	
466	Green Ash		5.5	0	0	4	2.75	- Good	
467	Green Ash		5.5	0	0	5	2.75	- Excellent	
468	Green Ash		4	0	0	4	2	- Good	
469	Green Ash		7	0	0	4	3.5	- Good	
470	Green Ash		11	0	1	4	0	- Good	
471	Green Ash		8.5	0	0	4	4.25	- Good	
472	Green Ash		4.5	0	0	5	2.25	- Excellent	
473	Green Ash		6.5	0	0	4	3.25	- Good	
474	Green Ash		5.5	0	0	4	2.75	- Good	
475	Green Ash		5.5	0	0	5	2.75	- Excellent	
476	Green Ash		10	0	1	5	0	- Excellent	
477	Green Ash		5.5	0	1	5	0	- Excellent	
478	Green Ash		8.5	0	1	5	0	- Excellent	
479	Green Ash		10	0	1	4	0	- Good	
480	Hackberry	non Protect	3	0	1	4	0	- Good	
481	Hackberry	non Protect	4	0	1	5	0	- Excellent	
482	Green Ash		4.5	0	1	5	0	- Excellent	
483	Hackberry	non Protect	8.5	0	1	4	0	- Good	
484	Green Ash		8	0	1	4	0	- Good	
485	Green Ash		5	0	1	4	0	- Good	
487	Honey Locust	non Protect	8	0	1	1	0	- Dead	

CAR WASH ROCKWALL
TREES REMOVED FROM DETENTION AREA

Tree Tag	Species	TREE TYPE	CAPPLIER	HEIGHT	OUTSIDE CLEAR	HEALTH	MIT REQD	Health	TREES IN DETENTION AREA YES=1 BLANK=NO
		FEATURED (NONE)							
488	Green Ash		5	0	1	5	0	- Excellent	
489	Bois D'arc	non Protect	7.5	0	1	2	0	- Diseased	
490	Green Ash		7.5	0	0	5	3.75	- Excellent	
492	Hackberry	non Protect	6.5	0	0	4	0	- Good	
493	Green Ash		4.5	0	0	4	2.25	- Good	
494	Green Ash		7	0	0	4	3.5	- Good	
495	Bois D'arc	non Protect	6.5	0	0	4	0	- Good	
496	Green Ash		6.5	0	0	4	3.25	- Good	
497	Green Ash		7	0	0	3	3.5	- Viable with	
499	Bois D'arc	non Protect	7	0	0	3	0	- Viable with	
500	Bois D'arc	non Protect	8.5	0	0	2		- Diseased	
501	Bois D'arc	non Protect	6.5	0	0	3	0	- Viable with	
502	Green Ash		7.5	0	0	4	3.75	- Good	
503	Green Ash		4	0	0	4	2	- Good	
505	Green Ash		4.5	0	0	4	2.25	- Good	
506	Green Ash		6	0	0	5	3	- Excellent	
507	Green Ash		4	0	0	4	2	- Good	
508	Green Ash		5.5	0	0	4	2.75	- Good	
509	Honey Locust	non Protect	4	0	1	3	0	- Viable with	
510	Green Ash		7	0	1	3	0	- Viable with	
511	Green Ash		5.5	0	0	4	2.75	- Good	
512	Green Ash		8	0	0	3	4	- Viable with	
513	Green Ash		9	0	0	3	4.5	- Viable with	
514	Green Ash		4.5	0	0	3	2.25	- Viable with	
515	Green Ash		6	0	0	3	3	- Viable with	
516	Honey Locust	non Protect	6.5	0	0	3	0	- Viable with	
517	Green Ash		9.5	0	0	4	4.75	- Good	
518	Green Ash		5.5	0	0	5	2.75	- Excellent	
519	Green Ash		5	0	1	5	0	- Excellent	
520	Green Ash		7.5	0	0	4	3.75	- Good	
521	Green Ash		6	0	0	4	3	- Good	
522	Bois D'arc	non Protect	3.5	0	0	3	0	- Viable with	
523	Green Ash		10	0	0	5	5	- Excellent	
524	Green Ash		5.5	0	0	3	2.75	- Viable with	
525	Hackberry		7.5	0	0	3	3.75	- Viable with	
526	American Elm		8	0	0	2		- Diseased	
527	Green Ash		4.5	0	0	4	2.25	- Good	
528	Green Ash		4	0	0	5	2	- Excellent	
529	Green Ash		6.5	0	0	4	3.25	- Good	
530	Green Ash		7.5	0	0	4	3.75	- Good	
531	Green Ash		9.5	0	0	4	4.75	- Good	
532	Green Ash		4	0	0	3	2	- Viable with	
533	Green Ash		4	0	0	4	2	- Good	
534	Green Ash		4	0	0	4	2	- Good	
535	Green Ash		7	0	0	4	3.5	- Good	
536	Green Ash		4	0	1	4	0	- Good	
537	Green Ash		6.5	0	0	4	3.25	- Good	
539	Green Ash		8	0	0	4	4	- Good	
540	Green Ash		8.5	0	1	4	0	- Good	
541	Green Ash		5	0	0	4	2.5	- Good	
542	Green Ash		7.5	0	0	4	3.75	- Good	
543	Green Ash		7	0	0	4	3.5	- Good	
545	Green Ash		6.5	0	0	4	3.25	- Good	
546	Green Ash		4	0	0	5	2	- Excellent	
547	Hackberry	non Protect	9	0	0	3	0	- Viable with	
548	Bois D'arc	non Protect	16.5	0	0	3	0	- Viable with	
549	Green Ash		5	0	0	4	2.5	- Good	
550	Green Ash		11.5	0	0	3	5.75	- Viable with	
553	Eastern Red Cedar		0	16	1	3	0	- Viable with	
555	Eastern Red Cedar		0	24	1	5	0	- Excellent	

CAR WASH ROCKWALL
TREES REMOVED FROM DETENTION AREA

Tree Tag	Species	TREE TYPE FEATURED (NONE) SECONDARY PRIMARY	CAPLIER INCH	HEIGHT (FEET)	OUTSIDE CLEAR ZONE (1)OR REMOVE (0)	HEALTH	MIT REQD (INCHES)	Health	TREES IN DETENTION AREA YES=1 BLANK=NO
556	Hackberry	non Protect	4.5	0	1	5	0	- Excellent	
557	Hackberry	non Protect	9	0	1	3	0	- Viable with	
558	Eastern Red Cedar		0	20	1	5	0	- Excellent	
559	Eastern Red Cedar		0	23	1	5	0	- Excellent	
560	Eastern Red Cedar		0	18	1	5	0	- Excellent	
561	Eastern Red Cedar		0	17	1	5	0	- Excellent	
562	Hackberry	non Protect	5.5	0	1	5	0	- Excellent	
563	Eastern Red Cedar		0	18	1	5	0	- Excellent	
564	Eastern Red Cedar		0	17	1	5	0	- Excellent	
565	Eastern Red Cedar		0	15	1	3	0	- Viable with	
566	Eastern Red Cedar		0	17	1	4	0	- Good	
567	Eastern Red Cedar		0	16	1	5	0	- Excellent	
568	Honey Locust		5	0	0	4	0	- Good	1
570	Hackberry	non Protect	15.5	0	0	4	0	- Good	1
571	Hackberry	non Protect	5	0	0	4	0	- Good	1
572	Bois D'arc	non Protect	7	0	0	3	0	- Viable with	1
573	Honey Locust	non Protect	4.5	0	0	4	0	- Good	1
574	Honey Locust	non Protect	4.5	0	0	3	0	- Viable with	1
575	Eastern Red Cedar		0	10	0	3	0	- Viable with	1
576	Bois D'arc	non Protect	5.5	0	0	4	0	- Good	1
577	Bois D'arc	non Protect	5.5	0	0	4	0	- Good	1
578	Eastern Red Cedar		0	21	1	5	0	- Excellent	
579	Eastern Red Cedar		0	19	1	5	0	- Excellent	
580	Eastern Red Cedar		0	17	1	5	0	- Excellent	
581	Hackberry	non Protect	5.5	0	1	5	0	- Excellent	
582	Eastern Red Cedar		0	26	1	5	0	- Excellent	
583	Eastern Red Cedar		0	25	1	5	0	- Excellent	
584	Eastern Red Cedar		0	19	1	5	0	- Excellent	
585	Eastern Red Cedar		0	22	1	5	0	- Excellent	
586	Eastern Red Cedar		0	18	1	5	0	- Excellent	
587	Eastern Red Cedar		0	15	1	5	0	- Excellent	
588	Eastern Red Cedar		0	24	1	5	0	- Excellent	
590	Eastern Red Cedar		0	20	1	5	0	- Excellent	
592	Eastern Red Cedar		0	23	1	5	0	- Excellent	
594	Eastern Red Cedar		0	22	1	5	0	- Excellent	
596	Eastern Red Cedar		0	13	1	5	0	- Excellent	
598	Eastern Red Cedar		0	15	1	5	0	- Excellent	
600	Green Ash		8	0	0	4	4	- Good	
601	Green Ash		4	0	0	4	2	- Good	
602	Green Ash		8.5	0	0	4	4.25	- Good	
604	Green Ash		8.5	0	0	4	4.25	- Good	
605	Green Ash		4.5	0	0	4	2.25	- Good	
606	Green Ash		6.5	0	0	3	3.25	- Viable with	
607	Green Ash		9	0	0	3	4.5	- Viable with	
608	Hackberry	non Protect	5	0	0	4	0	- Good	
610	Hackberry	non Protect	8	0	0	1	0	- Dead	
611	Hackberry	non Protect	5.5	0	0	4	0	- Good	
612	Hackberry	non Protect	8	0	0	5	0	- Excellent	
613	Hackberry	non Protect	8	0	0	3	0	- Viable with	
614	Hackberry	non Protect	4.5	0	0	4	0	- Good	
615	Green Ash		4	0	0	4	2	- Good	
616	Hackberry	non Protect	9.5	0	0	4	0	- Good	
617	Green Ash		5	0	0	4	2.5	- Good	
618	Hackberry	non Protect	8.5	0	0	3	0	- Viable with	
619	Eastern Red Cedar		0	14	0	3	0	- Viable with	
620	Eastern Red Cedar		0	15	0	5	0	- Excellent	
621	Hackberry	non Protect	11	0	0	4	0	- Good	
623	Hackberry	non Protect	10	0	0	2		- Diseased	
624	Eastern Red Cedar		0	19	0	4	0	- Good	
625	Eastern Red Cedar		0	19	0	4	0	- Good	

CAR WASH ROCKWALL
TREES REMOVED FROM DETENTION AREA

Tree Tag	Species	TREE TYPE	CAPLIER	HEIGHT	OUTSIDE CLEAR	HEALTH	MIT REQD	Health	TREES IN DETENTION AREA YES=1 BLANK=NO
		FEATURED (NONE)			ZONE (1)OR REMOVE (0)				
626	Eastern Red Cedar		0	24	0	5	0	- Excellent	
627	Eastern Red Cedar		0	19	0	5	0	- Excellent	
628	Hackberry	non Protect	5	0	0	5	0	- Excellent	
629	Eastern Red Cedar		0	18	0	5	0	- Excellent	
632	Hackberry	non Protect	11.5	0	0	4	0	- Good	
634	Hackberry	non Protect	3	0	0	5	0	- Excellent	
635	Hackberry	non Protect	5	0	0	5	0	- Excellent	
636	Black Willow		7.5	0	0	1		- Dead	
637	Hackberry	non Protect	8	0	0	3	0	- Viable with	
638	Hackberry	non Protect	4.5	0	0	5	0	- Excellent	
639	Eastern Red Cedar		0	15	1	4	0	- Good	
640	Hackberry	non Protect	12	0	0	4	0	- Good	
641	Hackberry	non Protect	9.5	0	0	4	0	- Good	
642	Eastern Red Cedar		0	14	0	4	0	- Good	
643	Eastern Red Cedar		0	14	0	4	0	- Good	
644	Eastern Red Cedar		0	12	0	3	0	- Viable with	
645	Eastern Red Cedar		0	15	0	4	0	- Good	
646	Green Ash		6	0	0	4	3	- Good	
647	Green Ash		6	0	0	4	3	- Good	
648	Green Ash		8	0	0	4	4	- Good	
649	Green Ash		4.5	0	0	4	2.25	- Good	
650	Green Ash		4.5	0	0	4	2.25	- Good	
651	Green Ash		6	0	0	4	3	- Good	
653	Green Ash		4.5	0	0	4	2.25	- Good	
654	Bois D'arc	non Protect	6	0	0	3	0	- Viable with	
655	Green Ash		5	0	0	4	2.5	- Good	
656	Hackberry	non Protect	11	0	0	5	0	- Excellent	
657	Texas Redbud		5	0	0	3	2.5	- Viable with	
658	Green Ash		5	0	0	4	2.5	- Good	
659	Hackberry	non Protect	5.5	0	0	4	0	- Good	
660	Green Ash		5.5	0	0	5	2.75	- Excellent	
661	Eastern Red Cedar		0	14	0	4	0	- Good	
663	Bois D'arc	non Protect	10	0	1	3	0	- Viable with	
664	Eastern Red Cedar		0	16	0	3	0	- Viable with	
665	Bois D'arc	non Protect	13.5	0	0	3	0	- Viable with	
666	Hackberry	non Protect	10.5	0	0	3	0	- Viable with	
667	Eastern Red Cedar		0	20	0	3	0	- Viable with	
668	Green Ash		8	0	0	4	4	- Good	
669	Hackberry	non Protect	5	0	0	4	0	- Good	
671	Bois D'arc	non Protect	9.5	0	0	3	0	- Viable with	
672	Bois D'arc	non Protect	10	0	0	3	0	- Viable with	
673	Bois D'arc	non Protect	10.5	0	1	2	0	- Diseased	
675	Hackberry	non Protect	15	0	1	5	0	- Excellent	
676	Hackberry	non Protect	5.5	0	0	5	0	- Excellent	
677	Hackberry	non Protect	4.5	0	0	5	0	- Excellent	
678	Bois D'arc	non Protect	23	0	0	2	0	- Diseased	
679	Bois D'arc	non Protect	21	0	0	3	0	- Viable with	
680	Bois D'arc	non Protect	17	0	0	3	0	- Viable with	
681	Hackberry	non Protect	10	0	0	5	0	- Excellent	
682	Bois D'arc	non Protect	8	0	0	3	0	- Viable with	
683	Hackberry	non Protect	6	0	0	5	0	- Excellent	
684	Hackberry	non Protect	7	0	1	4	0	- Good	
686	Green Ash		8	0	1	4	0	- Good	
687	Black Willow		15	0	1	5	0	- Excellent	
689	Green Ash		9	0	0	5	4.5	- Excellent	
690	Hackberry	non Protect	7.5	0	0	4	0	- Good	
691	Green Ash		4	0	0	4	2	- Good	
692	Eastern Red Cedar		0	20	1	5	0	- Excellent	
693	Hackberry	non Protect	9.5	0	1	5	0	- Excellent	
694	Eastern Red Cedar		0	18	1	4	0	- Good	

CAR WASH ROCKWALL
TREES REMOVED FROM DETENTION AREA

Tree Tag	Species	TREE TYPE	CAPLIER	HEIGHT	OUTSIDE CLEAR	HEALTH	MIT REQD	Health	TREES IN DETENTION AREA YES=1 BLANK=NO
		FEATURED (NONE)			ZONE (1)OR REMOVE (0)				
695	Eastern Red Cedar		0	21	1	5	0	- Excellent	
696	Eastern Red Cedar		0	20	1	5	0	- Excellent	
697	Eastern Red Cedar		0	22	1	5	0	- Excellent	
698			0	25	1	5	0	- Excellent	
699	Eastern Red Cedar		0	22	1	5	0	- Excellent	
700	Eastern Red Cedar		0	26	1	5	0	- Excellent	
702	Honey Locust		5.5	0	1	3	0	- Viable with	
703	Hackberry	non Protect	4.5	0	1	5	0	- Excellent	
704	Hackberry	non Protect	6	0	1	5	0	- Excellent	
705	Hackberry	non Protect	10.5	0	1	5	0	- Excellent	
706	Other		4	0	1	4	0	- Good	
707	Eastern Red Cedar		0	25	1	5	0	- Excellent	
708	Bois D'arc	non Protect	8	0	1	2	0	- Diseased	
709	Eastern Red Cedar		0	11	1	4	0	- Good	
711	Hackberry	non Protect	5	0	1	4	0	- Good	
712	Eastern Red Cedar		18	0	1	5	0	- Excellent	
713	Hackberry	non Protect	9	0	1	4	0	- Good	
714	Eastern Red Cedar		0	21	1	5	0	- Excellent	
715	Eastern Red Cedar		0	21	1	5	0	- Excellent	
717	Eastern Red Cedar		0	19	1	4	0	- Good	
718	Bois D'arc	non Protect	4.5	0	1	4	0	- Good	
719	Hackberry	non Protect	9	0	1	4	0	- Good	
720	Eastern Red Cedar		0	26	1	5	0	- Excellent	
721	Eastern Red Cedar		0	23	1	5	0	- Excellent	
722	Eastern Red Cedar		0	25	1	5	0	- Excellent	
723	Eastern Red Cedar		0	25	1	5	0	- Excellent	
724	Eastern Red Cedar		0	24	1	5	0	- Excellent	
725	Eastern Red Cedar		0	24	1	5	0	- Excellent	
726	Eastern Red Cedar		0	14	1	5	0	- Excellent	
727	Eastern Red Cedar		0	23	1	5	0	- Excellent	
728	Eastern Red Cedar		0	22	1	5	0	- Excellent	
729	Eastern Red Cedar		0	23	1	5	0	- Excellent	
730	Eastern Red Cedar		0	15	1	5	0	- Excellent	
731	Eastern Red Cedar		0	22	1	5	0	- Excellent	
732	Bois D'arc	non Protect	7	0	1	4	0	- Good	
733	Eastern Red Cedar		0	20	1	5	0	- Excellent	
734	Bois D'arc	non Protect	12	0	1	4	0	- Good	
735	Bois D'arc	non Protect	9.5	0	1	4	0	- Good	
736	Eastern Red Cedar		0	15	1	5	0	- Excellent	
737	Green Ash		5	0	1	4	0	- Good	
738	Eastern Red Cedar		0	16	1	4	0	- Good	
739	Eastern Red Cedar		0	16	1	5	0	- Excellent	
740	Eastern Red Cedar		0	16	1	5	0	- Excellent	
741			0	20	1	5	0	- Excellent	
742	Eastern Red Cedar		0	18	1	5	0	- Excellent	
800	Honey Locust		4.5	0	1	3	0	- Viable with	
801	Bois D'arc	non Protect	5.5	0	1	4	0	- Good	
802	Hackberry	non Protect	5.5	0	1	5	0	- Excellent	
804	Green Ash		4.5	0	1	4	0	- Good	
806	Hackberry	non Protect	7	0	1	4	0	- Good	
807	Hackberry	non Protect	4.5	0	1	5	0	- Excellent	
808	Green Ash		4	0	1	5	0	- Excellent	
809	American Elm		11	0	1	5	0	- Excellent	
810	Hackberry	non Protect	6	0	1	5	0	- Excellent	
811	Hackberry	non Protect	4	0	1	5	0	- Excellent	
812	Green Ash		7.5	0	1	5	0	- Excellent	
814	Green Ash		11.5	0	1	3	0	- Viable with	
815	Green Ash		6	0	1	5	0	- Excellent	
817	Green Ash		7.5	0	1	4	0	- Good	
818	Honey Locust	non Protect	5.5	0	1	4	0	- Good	

CAR WASH ROCKWALL
TREES REMOVED FROM DETENTION AREA

Tree Tag	Species	TREE TYPE	CAPLIER	HEIGHT	OUTSIDE CLEAR		MIT REQD	Health	TREES IN DETENTION AREA YES=1 BLANK=NO
		FEATURED (NONE)			SECONDARY PRIMARY	INCH			
819	Honey Locust	non Protect	3	0	1	3	0	- Viable with	
820	Honey Locust	non Protect	5	0	1	4	0	- Good	
821	Hackberry	non Protect	6	0	1	4	0	- Good	
822	Green Ash		7	0	1	4	0	- Good	
823	Bois D'arc	non Protect	3.5	0	1	5	0	- Excellent	
825	Hackberry		8	0	1	5	0	- Excellent	
826	Bois D'arc	non Protect	3.5	0	1	4	0	- Good	
827	Honey Locust		6.5	0	1	4	0	- Good	
828	Bois D'arc	non Protect	4	0	1	4	0	- Good	
829	American Elm		8.5	0	1	4	0	- Good	
830	Green Ash		7	0	1	4	0	- Good	
831	Honey Locust	non Protect	7.5	0	1	4	0	- Good	
835	Honey Locust	non Protect	4.5	0	0	3	0	- Viable with	1
837	Hackberry	non Protect	4.5	0	0	5	0	- Excellent	1
838	Green Ash		5	0	1	4	0	- Good	1
839	Green Ash		9.5	0	1	4	0	- Good	
840	Honey Locust	non Protect	5	0	0	5	0	- Excellent	1
845	Bois D'arc	non Protect	6	0	0	4	0	- Good	1
846	Bois D'arc	non Protect	9.5	0	0	4	0	- Good	1
847	Hackberry	non Protect	7	0	0	3	0	- Viable with	1
848	Bois D'arc	non Protect	6	0	0	3	0	- Viable with	1
850	Hackberry	non Protect	7.5	0	0	4	0	- Good	1
853	Honey Locust	non Protect	3.5	0	1	3	0	- Viable with	
855	Hackberry	non Protect	6.5	0	1	5	0	- Excellent	
856	Hackberry	non Protect	3.5	0	1	5	0	- Excellent	
857	Hackberry	non Protect	3.5	0	1	5	0	- Excellent	
858	Hackberry	non Protect	3.5	0	1	5	0	- Excellent	
859	Hackberry	non Protect	3.5	0	1	5	0	- Excellent	
861	Hackberry	non Protect	7	0	1	4	0	- Good	
862	Hackberry	non Protect	6	0	1	5	0	- Excellent	
863	Hackberry	non Protect	7	0	1	5	0	- Excellent	
865	Honey Locust		5	0	1	4	0	- Good	
866	Hackberry	non Protect	8	0	1	5	0	- Excellent	
867	Bois D'arc	non Protect	5.5	0	1	4	0	- Good	
868	Eastern Red Cedar		0	27	1	4	0	- Good	
869	Eastern Red Cedar		0	16	1	5	0	- Excellent	
870	Eastern Red Cedar		0	12	1	5	0	- Excellent	
871	Eastern Red Cedar		0	14	1	4	0	- Good	
872	Hackberry	non Protect	7	0	1	4	0	- Good	
873	Hackberry	non Protect	10.5	0	1	3	0	- Viable with	
874	Hackberry	non Protect	6	0	1	4	0	- Good	
875	Hackberry	non Protect	7.5	0	1	4	0	- Good	
876	Eastern Red Cedar		0	16	1	5	0	- Excellent	
877	Eastern Red Cedar		0	25	1	5	0	- Excellent	
879	Eastern Red Cedar		0	18	1	5	0	- Excellent	
880	Hackberry	non Protect	5.5	0	1	4	0	- Good	
881	Eastern Red Cedar		0	22	1	5	0	- Excellent	
882	Eastern Red Cedar		0	17	1	5	0	- Excellent	
883	Eastern Red Cedar		0	20	1	5	0	- Excellent	
884	Eastern Red Cedar		0	15	1	5	0	- Excellent	
885	Hackberry	non Protect	6	0	1	4	0	- Good	
886	Eastern Red Cedar		0	16	1	5	0	- Excellent	
887	Eastern Red Cedar		0	18	1	5	0	- Excellent	
888	Hackberry	non Protect	4.5	0	1	4	0	- Good	
889	Hackberry	non Protect	4	0	1	5	0	- Excellent	
890	Hackberry	non Protect	6	0	1	4	0	- Good	
891	Hackberry	non Protect	6	0	0	4	3	- Good	
892	Green Ash		8.5	0	0	3	4.25	- Viable with	
893	Green Ash		8.5	0	0	5	4.25	- Excellent	
894	Hackberry	non Protect	4	0	0	5	0	- Excellent	

CAR WASH ROCKWALL
TREES REMOVED FROM DETENTION AREA

Tree Tag	Species	TREE TYPE	CAPLIER	HEIGHT	OUTSIDE CLEAR	HEALTH	MIT REQD	Health	TREES IN DETENTION AREA YES=1 BLANK=NO
		FEATURED (NONE)							
895	Hackberry	non Protect	6.5	0	0	4	0	- Good	
896	Hackberry	non Protect	7.5	0	0	4	0	- Good	
897	Hackberry	non Protect	12	0	0	4	0	- Good	
898	Green Ash		12	0	0	3	6	- Viable with	
899	Bois D'arc	non Protect	9	0	0	3	0	- Viable with	
900	Green Ash		7	0	0	4	3.5	- Good	
901	Green Ash		4.5	0	0	4	2.25	- Good	
902	Green Ash		6.5	0	0	4	3.25	- Good	
903	Green Ash		9	0	1	4	0	- Good	
904	Green Ash		5	0	0	5	2.5	- Excellent	
905	Green Ash		6	0	0	5	3	- Excellent	
906	Green Ash		8.5	0	0	4	4.25	- Good	
907	Green Ash		6.5	0	0	4	3.25	- Good	
908	Green Ash		4	0	0	5	2	- Excellent	
909	Green Ash		5	0	0	4	2.5	- Good	
910	Green Ash		6	0	0	4	3	- Good	
911	Green Ash		7.5	0	0	5	3.75	- Excellent	
915	Honey Locust	non Protect	3.5	0	1	4	0	- Good	
916	Honey Locust	non Protect	3.5	0	1	4	0	- Good	
917	Eastern Red Cedar		0	21	1	5	0	- Excellent	
918	Eastern Red Cedar		0	22	1	5	0	- Excellent	
919	Hackberry	non Protect	6	0	1	4	0	- Good	
920	Bois D'arc	non Protect	4	0	1	3	0	- Viable with	
921	Eastern Red Cedar		0	24	1	5	0	- Excellent	
922	Hackberry	non Protect	4	0	1	5	0	- Excellent	
923	Hackberry	non Protect	4	0	1	5	0	- Excellent	
924	Hackberry	non Protect	9	0	1	4	0	- Good	
925	Bois D'arc	non Protect	10	0	1	3	0	- Viable with	
927	Eastern Red Cedar		0	22	1	5	0	- Excellent	
928	Eastern Red Cedar		0	24	1	4	0	- Good	
929	Hackberry	non Protect	6.5	0	1	5	0	- Excellent	
930	Eastern Red Cedar		0	23	1	5	0	- Excellent	
931			0	22	1	5	0	- Excellent	
932	Eastern Red Cedar		0	20	1	5	0	- Excellent	
933	Eastern Red Cedar		0	23	1	5	0	- Excellent	
934	Hackberry	non Protect	8	0	1	4	0	- Good	
936	Eastern Red Cedar		0	13	1	2	0	- Diseased	
937	Eastern Red Cedar		0	15	1	4	0	- Good	
938	Hackberry	non Protect	9	0	1	4	0	- Good	
940	Eastern Red Cedar		0	18	1	5	0	- Excellent	
941	Eastern Red Cedar		0	17	1	4	0	- Good	
942	Eastern Red Cedar		0	17	1	4	0	- Good	
943	Eastern Red Cedar		0	17	1	4	0	- Good	
944	Eastern Red Cedar		0	22	1	4	0	- Good	
945	Eastern Red Cedar		0	24	1	5	0	- Excellent	
946	Eastern Red Cedar		0	24	1	5	0	- Excellent	
947	Eastern Red Cedar		0	21	1	4	0	- Good	
948	Eastern Red Cedar		0	22	1	4	0	- Good	
949	Eastern Red Cedar		0	26	1	5	0	- Excellent	
950	Bois D'arc	non Protect	6	0	1	2	0	- Diseased	
951	Eastern Red Cedar		0	18	1	4	0	- Good	
952	Eastern Red Cedar		0	11	1	4	0	- Good	
953	Eastern Red Cedar		0	14	1	4	0	- Good	
954	Eastern Red Cedar		0	12	1	4	0	- Good	
955	Hackberry	non Protect	4	0	1	4	0	- Good	
956	Hackberry	non Protect	5.5	0	1	4	0	- Good	
957	Eastern Red Cedar		0	16	1	4	0	- Good	
958	Black Willow		11	0	0	3	5.5	- Viable with	
959	Black Willow		7.5	0	0	4	3.75	- Good	
960	Black Willow		10	0	0	5	5	- Excellent	

CAR WASH ROCKWALL
TREES REMOVED FROM DETENTION AREA

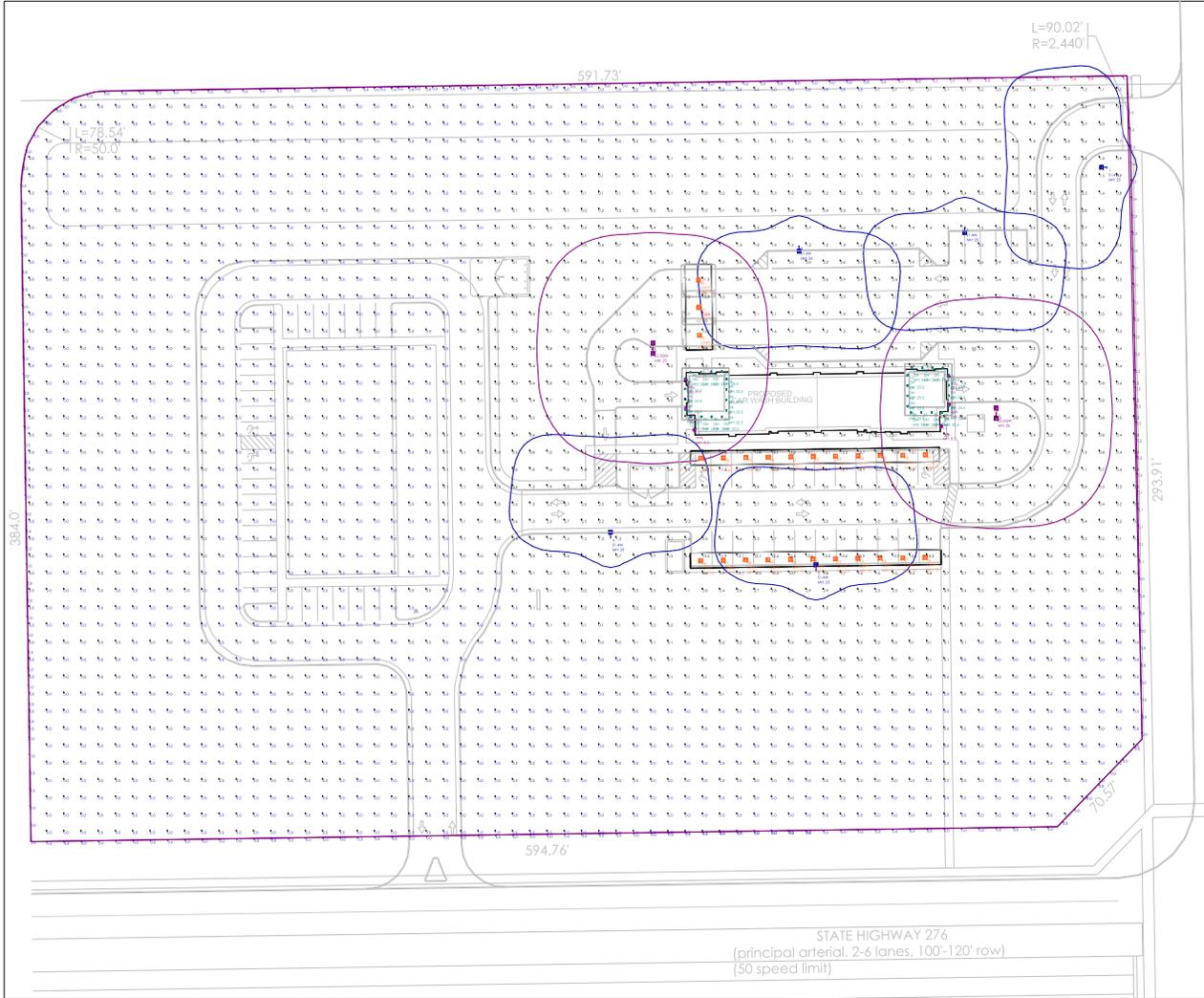
Tree Tag	Species	TREE TYPE FEATURED (NONE) SECONDARY PRIMARY	CAPLIER INCH	HEIGHT (FEET)	OUTSIDE CLEAR ZONE (1)OR REMOVE (0)	HEALTH	MIT REQD (INCHES)	Health	TREES IN DETENTION AREA YES=1 BLANK=NO
961	Black Willow		8	0	0	4	4	- Good	
962	Black Willow		7	0	0	5	3.5	- Excellent	
963	Black Willow		10.5	0	0	5	5.25	- Excellent	
964	Black Willow		8.5	0	0	4	4.25	- Good	
965	Black Willow		4.5	0	0	5	2.25	- Excellent	
966	Black Willow		9	0	0	4	4.5	- Good	
967	Green Ash		5.5	0	0	5	2.75	- Excellent	
968	Black Willow		7	0	0	3	3.5	- Viable with	
969	Green Ash		6	0	0	4	3	- Good	
970	Green Ash		6	0	0	4	3	- Good	
972	Green Ash		12	0	0	4	6	- Good	
973	Eastern Red Cedar		0	15	0	4	0	- Good	
974	Hackberry	non Protect	9	0	0	4	0	- Good	
975	Bois D'arc	non Protect	7	0	0	3	0	- Viable with	
976	Bois D'arc	non Protect	8	0	0	3	4	- Viable with	
977	Bois D'arc	non Protect	7	0	1	3	0	- Viable with	
978	Green Ash		6	0	0	4	3	- Good	
979	Green Ash		4	0	1	5	0	- Excellent	
980	Black Willow		19	0	1	3	0	- Viable with	
982	Green Ash		3.5	0	1	4	0	- Good	
984	Hackberry	non Protect	5.5	0	1	4	0	- Good	
985	Hackberry	non Protect	8	0	1	5	0	- Excellent	
986	Hackberry	non Protect	4.5	0	1	4	0	- Good	
987	Eastern Red Cedar		0	22	1	5	0	- Excellent	
988	Bois D'arc	non Protect	4	0	1	4	0	- Good	
989	Hackberry	non Protect	4	0	1	3	0	- Viable with	
990	Eastern Red Cedar		0	24	1	4	0	- Good	
991	Green Ash		4.5	0	1	4	0	- Good	
992	Green Ash		7	0	1	5	0	- Excellent	
993	Eastern Red Cedar		0	21	1	5	0	- Excellent	
994	Hackberry		5	0	1	5	0	- Excellent	
995	Green Ash		4.5	0	1	5	0	- Excellent	
996	Green Ash		5	0	1	5	0	- Excellent	
997	Eastern Red Cedar		0	19	1	5	0	- Excellent	
998	Hackberry	non Protect	4.5	0	1	4	0	- Good	
999	Eastern Red Cedar		0	19	1	5	0	- Excellent	
1000	Eastern Red Cedar		0	18	1	5	0	- Excellent	
1002	Eastern Red Cedar		0	17	1	5	0	- Excellent	
1004	Eastern Red Cedar		0	17	1	5	0	- Excellent	
1008	Eastern Red Cedar		18	0	1	5	0	- Excellent	
1009	Eastern Red Cedar		16	0	1	5	0	- Excellent	
1010	Eastern Red Cedar		0	16	1	5	0	- Excellent	
1012	Eastern Red Cedar		0	17	1	5	0	- Excellent	
1014	Eastern Red Cedar		0	19	1	5	0	- Excellent	
1016	Eastern Red Cedar		0	18	1	5	0	- Excellent	
1020	Eastern Red Cedar		0	18	1	5	0	- Excellent	
1022	Eastern Red Cedar		0	18	1	5	0	- Excellent	
1024	Eastern Red Cedar		0	17	1	5	0	- Excellent	
1026	Eastern Red Cedar		0	16	1	5	0	- Excellent	
1028	Eastern Red Cedar		0	17	1	5	0	- Excellent	
1030	Eastern Red Cedar		0	20	1	5	0	- Excellent	
1032	Eastern Red Cedar		0	20	1	5	0	- Excellent	1
4411	Bois D'arc	non Protect	13	0	1	2	0	- Diseased	
4412	Green Ash		7	0	1	5	0	- Excellent	
4413	Eastern Red Cedar		0	14	1	5	0	- Excellent	
4414	Eastern Red Cedar		0	12	1	5	0	- Excellent	
4415	Eastern Red Cedar		0	10	1	5	0	- Excellent	
4416	Eastern Red Cedar		0	16	1	5	0	- Excellent	
4417	Eastern Red Cedar		0	14	1	5	0	- Excellent	
4418	Green Ash		5	0	1	4	0	- Good	

CAR WASH ROCKWALL
TREES REMOVED FROM DETENTION AREA

Tree Tag Species	TREE TYPE FEATURED (NONE) SECONDARY PRIMARY	CAPLIER INCH	HEIGHT (FEET)	OUTSIDE CLEAR ZONE (1)OR REMOVE (0)	HEALTH 0	MIT REQD (INCHES) 560.25	Health	TREES IN DETENTION AREA YES=1 BLANK=NO
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Luminaire Schedule - Part numbers are provided by the manufacturer and are only intended to be used as a reference to output and optics used.										
Symbol	Qty	Tag	Arrangement	Luminaire Lumens	Arr. Lum. Lumens	Luminaire Waits	Arr. Waits	LLF	Manufacturer	Description
□	25	CNPY	Single	4450	4450	38	38	0.900	HUBBELL	VSH-30-4K7-UNV
⊕	32	DN	Single	996	996	14.4	14.4	0.900	DALS Lighting Inc.	RGR4-CC-XX
□	5	S1-4W	SINGLE	15232	15232	109.7	109.7	0.900	HUBBELL OUTDOOR	ASL1-160L-115-4K7-4W-UNV-AX-X
□	2	S2-5QW	Back-Back	15632	31264	109.7	219.4	0.900	HUBBELL OUTDOOR	ASL1-160L-115-4K7-5QW-UNV-AX-X (2@180)
⊙	6	WAL	GROUP	N.A.	2240	N.A.	14	0.450	FC Lighting	FCC612W-UNV-940-05-05L-X-D40-U40-LD

Calculation Summary									
Label	CalcType	Units	Avg	Max	Min	Max/Min	Avg/Min	Description	
PROPERTY LINES	Illuminance	Fc	0.05	0.8	0.0	N.A.	N.A.	READINGS @ GRADE	
PROPERTY PLANNING	Illuminance	Fc	0.78	13.3	0.0	N.A.	N.A.	READINGS @ GRADE	
CAR WASH PARKING & DRIVES	Illuminance	Fc	2.83	11.0	0.6	18.33	4.72	READINGS @ GRADE	



Not to Scale

NOTES

PG-ENLIGHTEN IS NEITHER LICENSED NOR INSURED TO DETERMINE CODE COMPLIANCE. CODE COMPLIANCE REVIEW BY OTHERS.

ANY VARIANCE FROM REFLECTANCE VALUES, OBSTRUCTIONS, LIGHT LOSS FACTORS OR DIMENSIONAL DATA WILL AFFECT THE ACTUAL LIGHT LEVELS OBTAINED.

THIS ANALYSIS IS A MATHEMATICAL MODEL AND CAN BE ONLY AS ACCURATE AS IS PERMITTED BY THE THIRD-PARTY SOFTWARE AND THE IES STANDARDS USED.

FIXTURE TYPES AND QUANTITIES MAY CHANGE BASED ON UNKNOWN OBSTRUCTIONS OR FIELD CONDITIONS. THESE CHANGES MAY RESULT IN AN INCREASED QUANTITY OF FIXTURES.

FIXTURE TYPES AND QUANTITIES BASED ON PROVIDED LAYOUT AND DRAWINGS ARE FOR REFERENCE ONLY. TYPES AND QUANTITIES MAY CHANGE WITH FUTURE REVISIONS.

CALCULATION GRID VALUES 10'-0" O.C.

APPLICATION AND TASK	MAINTAINED HORIZONTAL		MAINTAINED VERTICAL		MAXIMUM	
	AVERAGE (FC)	RANGE (FC)	AVERAGE (FC)	RANGE (FC)	AVG:MIN	MAX:MIN
PARKING (UNCOVERED) ZONE 3 (URBAN)	1.5	0.75 - 3	0.8	0.4 - 1.6	4:1	15:1
PARKING (UNCOVERED) ZONE 2 (SUBURBAN)	1	0.5 - 2	0.6	0.3 - 1.2	4:1	15:1
SAFETY (BUILDING EXTERIOR)	1	0.5 - 2	-	-	FOR SECURITY ISSUES, RAISE AVG. TO 3	

SIMPLIFIED RECOMMENDATIONS BASED ON IES' THE LIGHTING HANDBOOK, 10TH EDITION AND IES RP-30-14. INDIVIDUAL APPLICATIONS WILL DETERMINE SPECIFIC RECOMMENDATIONS. PLEASE REFER TO THE MOST RECENT HANDBOOK FOR A MORE DETAILED EVALUATION AND ADDITIONAL APPLICATIONS. THESE RECOMMENDATIONS DO NOT SUPERCEDE ANY APPLICABLE CODES.



PROJECT NAME: **ROCKWALL TX CAR WASH- NW STATE HWY 276 & JOHN KING RD**

CLIENT NAME: **NERI ARCHITECTS**

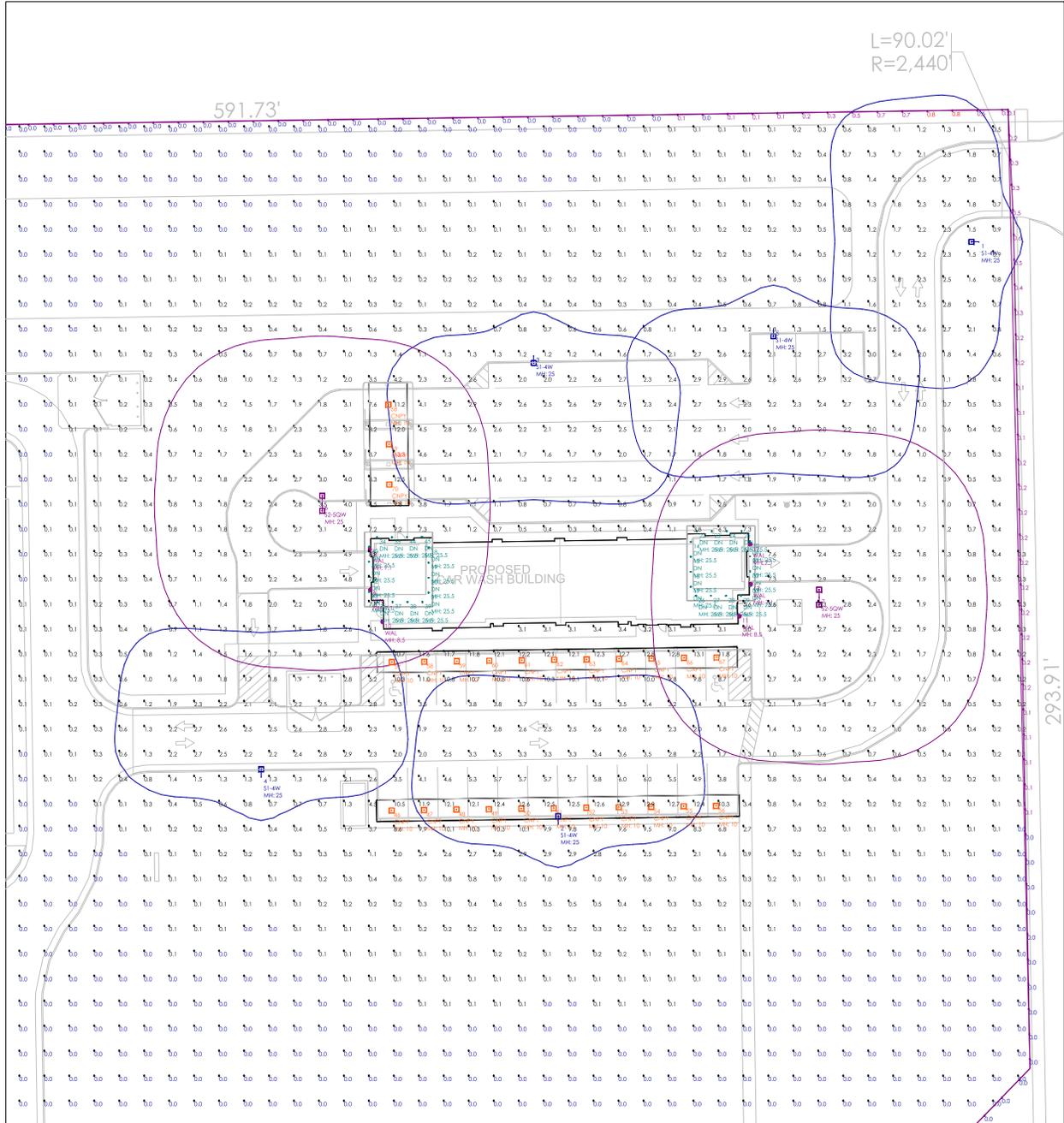
DRAWN BY: **Joeli Collins**
 joeli.collins@pgenlighten.com
 817.228.1199

PG CONTACT: **Patti Geier**
 Patti.Geier@pgenlighten.com
 817.228.1199

REVISIONS
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Date: 10/5/2022
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Luminaire Location Summary					
LumNo	Tag (Qty)	Label	Mtg Ht	Orient	Tilt
1	S1-4W (1)	ASL1-160L-115-4K7-4W	25	180	0
2	S1-4W (1)	ASL1-160L-115-4K7-4W	25	90	0
3	S1-4W (1)	ASL1-160L-115-4K7-4W	25	270	0
4	S1-4W (1)	ASL1-160L-115-4K7-4W	25	90	0
5	S1-4W (1)	ASL1-160L-115-4K7-4W	25	270	0
6	S2-SQW (2)	ASL1-160L-115-4K7-SQW 2	25	90	0
7	S2-SQW (2)	ASL1-160L-115-4K7-SQW 2	25	90	0
8		FCC612W-940-05-05L-D40-U40	7.1	90	0
9		FCC612W-940-05-05L-D40-U40	7.1	90	0
10		FCC612W-940-05-05L-D40-U40	8.5	90	0
11		FCC612W-940-05-05L-D40-U40	8.5	90	0
12		FCC612W-940-05-05L-D40-U40	7.1	90	0
13		FCC612W-940-05-05L-D40-U40	7.1	90	0
14	DN (1)	RGR4	25.5	90	0
15	DN (1)	RGR4	25.5	90	0
16	DN (1)	RGR4	25.5	90	0
17	DN (1)	RGR4	25.5	90	0
18	DN (1)	RGR4	25.5	90	0
19	DN (1)	RGR4	25.5	90	0
20	DN (1)	RGR4	25.5	90	0
21	DN (1)	RGR4	25.5	90	0
22	DN (1)	RGR4	25.5	90	0
23	DN (1)	RGR4	25.5	90	0
24	DN (1)	RGR4	25.5	90	0
25	DN (1)	RGR4	25.5	90	0
26	DN (1)	RGR4	25.5	90	0
27	DN (1)	RGR4	25.5	90	0
28	DN (1)	RGR4	25.5	90	0
29	DN (1)	RGR4	25.5	90	0
30	DN (1)	RGR4	25.5	90	0
31	DN (1)	RGR4	25.5	90	0
32	DN (1)	RGR4	25.5	90	0
33	DN (1)	RGR4	25.5	90	0
34	DN (1)	RGR4	25.5	90	0
35	DN (1)	RGR4	25.5	90	0
36	DN (1)	RGR4	25.5	90	0
37	DN (1)	RGR4	25.5	90	0
38	DN (1)	RGR4	25.5	90	0
39	DN (1)	RGR4	25.5	90	0
40	DN (1)	RGR4	25.5	90	0
41	DN (1)	RGR4	25.5	90	0
42	DN (1)	RGR4	25.5	90	0
43	DN (1)	RGR4	25.5	90	0
44	DN (1)	RGR4	25.5	90	0
45	DN (1)	RGR4	25.5	90	0
46	CNPY (1)	VSH-30-4K7	10	90	0
47	CNPY (1)	VSH-30-4K7	10	90	0
48	CNPY (1)	VSH-30-4K7	10	90	0
49	CNPY (1)	VSH-30-4K7	10	90	0
50	CNPY (1)	VSH-30-4K7	10	90	0
51	CNPY (1)	VSH-30-4K7	10	90	0
52	CNPY (1)	VSH-30-4K7	10	90	0
53	CNPY (1)	VSH-30-4K7	10	90	0
54	CNPY (1)	VSH-30-4K7	10	90	0
55	CNPY (1)	VSH-30-4K7	10	90	0
56	CNPY (1)	VSH-30-4K7	10	90	0
57	CNPY (1)	VSH-30-4K7	10	90	0
58	CNPY (1)	VSH-30-4K7	10	90	0
59	CNPY (1)	VSH-30-4K7	10	90	0
60	CNPY (1)	VSH-30-4K7	10	90	0
61	CNPY (1)	VSH-30-4K7	10	90	0
62	CNPY (1)	VSH-30-4K7	10	90	0
63	CNPY (1)	VSH-30-4K7	10	90	0
64	CNPY (1)	VSH-30-4K7	10	90	0
65	CNPY (1)	VSH-30-4K7	10	90	0
66	CNPY (1)	VSH-30-4K7	10	90	0
67	CNPY (1)	VSH-30-4K7	10	90	0
68	CNPY (1)	VSH-30-4K7	10	0	0
69	CNPY (1)	VSH-30-4K7	10	0	0
70	CNPY (1)	VSH-30-4K7	10	0	0



Scale: 1 Inch= 20 FT.



PROJECT NAME: ROCKWALL TX CAR WASH- NW STATE HWY 276 & JOHN KING RD
 CLIENT NAME: NERI ARCHITECTS

DRAWN BY: Joel Collins
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 847.228.1199

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 REVISIONS

Vanish

EDGE-LIT CANOPY



FEATURES

- Edge-Lit technology for even illumination
- Low profile 2.1" depth design virtually disappears into the canopy
- Illuminates without distraction and glare
- Pendant or surface mounted with 3/4" conduit
- Universal retrofit solution for HID replacements for various sizes
- IP65 rating to keep water and insects out
- Cast Aluminum with integral heat sink to maintain optimal thermal performance for long LED life Cast aluminum



SPECIFICATIONS

CONSTRUCTION

- Die-cast aluminum, low profile housing
- New construction or retrofit solution
- Canopy and soffit applications
- Easy installation
- Driver and optical chamber serviceable from below canopy
- Powder coat finish
- Heat sink design to disperse heat away from fixture
- Suitable for wet locations

INSTALLATION

- Surface or pendant mounted
- Easy installation and serviceable below the canopy deck
- Hinge for hanging during service

CERTIFICATIONS

- UL Certified
- DesignLights Consortium™ 5.1 qualified
- Wet Location Listed
- IP66
- DLC® (DesignLights Consortium Qualified), with some Premium Qualified configurations. Please refer to the DLC website for specific product qualifications at www.designlights.org

OPTICS

- Acrylic Lens
- Type V distribution
- Comfort lens for low glare
- Light Guide Edge-Lit technology

ELECTRICAL

- Universal 120-277 , 347, 480 Input Voltage
- Power Factor > 0.9 at full load
- Total Harmonic Distortion < 20% at full load
- 10 kV Surge Protection
- 0-10 Volt Dimmable Driver
- Operating temperature: -40°C to +40°C

WARRANTY

- 5 year warranty

ORDERING GUIDE

Example: VSH-85-5K7-UNV-WHS

CATALOG #

VSH					
Series	Size	Color Temp	Voltage	Finish	
VSH Vanish	30'	4K7	UNV Universal	BLT	Black Matte Textured
	55	5K7	347 347V	BLS	Black Gloss Smooth
	85		480 480V	DBT	Dark Bronze Matte Textured
	140			DBS	Dark Bronze Gloss Smooth
				GTT	Graphite Matte Textured
				LGS	Light Grey Gloss Smooth
				LGT	Light Grey Matte Textured
				PSS	Platinum Silver Smooth
				WHT	White Matte Textured
				WHS	White Gloss Smooth
				VGT	Verde Green Textured
				Color Option	
				CC	Custom Color

Notes:
 1 Only available in Universal Voltage

KEY DATA	
Lumen Range	4,500 – 20,200
Wattage Range	30 – 140 Watts
Efficacy Range (LPW)	138 – 157
Reported Life (Hours)	>60,000

PERFORMANCE DATA

Product	Lumens	B	U	G	LPW	CRI	CCT
VSH-30-4K7	4564	2	0	1	150	70	4000K
VSH-30-5K7	4793	2	0	1	157	70	5000K
VSH-55-4K7	8846	3	0	2	153	70	4000K
VSH-55-5K7	9069	3	0	2	157	70	5000K
VSH-85-4K7	13296	3	0	2	152	70	4000K
VSH-85-5K7	13666	3	0	2	157	70	5000K
VSH-140-4K7	19649	4	0	3	138	70	4000K
VSH-140-5K7	20196	4	0	3	142	70	5000K

Data is considered to be representative of the configurations shown. Actual performance may differ as a result of end-user environment application and inherent performance balances of the electrical components.

PROJECTED LUMEN MAINTENANCE

Ambient Temperature	OPERATING HOURS					
	0	25,000	50,000	TM-21-11' L96 60,000	100,000	L70 (Hours)
25°C / 77°F	1.00	0.94	0.92	0.90	0.81	>170,000
40°C / 104°F	0.99	0.94	0.92	0.89	0.80	>160,000

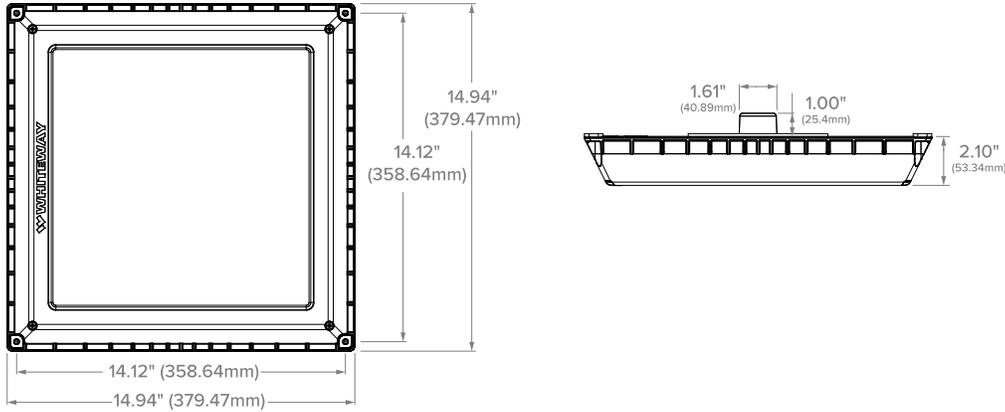
LUMINAIRE AMBIENT TEMPERATURE FACTOR (LATF)

Ambient Temperature		Lumen Multiplier
0°C	32°F	1.03
10°C	50°F	1.01
20°C	68°F	1.00
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.98
50°C	122°F	0.97

Vanish

EDGE-LIT CANOPY

DIMENSIONS

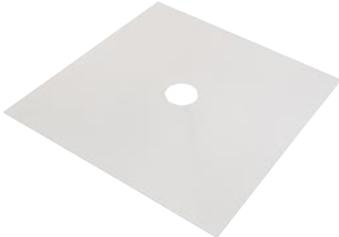


MOUNTING ACCESSORIES

Accessories (order separately)

- 93133148** WHITEWAY 15 IN CVR PLT WHT VSH/GSY Retrofit cover plate for LSI Encore 15" square-replacement for 10" opening
- 93133149** WHITEWAY DECORATIVE CVR PLT VSH/GSY 26" Decorative Beauty Plate for Canopy Retrofits
- 93133151** WHITEWAY HID RETRFT KIT WHT VSH/GSY Universal HID retrofit kit
(fits any square HID housing between 21" & 23" square.)
- 93133177** WHITEWAY STEM AND JUNCTION BOX

93133148



93133149



93133151

• Measure outside dimension of existing housing



93133177



SLING Micro Strike

AREA/SITE/ROAD LIGHTER

FEATURES

- Compact sleek design with multiple LED configurations and simple installation
- The SLING includes a universal mounting block for easy pole installation or mast arm option for 2-3/8 ft OD roadway brackets
- Capable of replacing up to 1000w HID luminaires
- Micro Strike optical distributions of Type 2, 3, 4W or 5QW
- Tool-less entry option for easy installation and maintenance
- 1.5G rated for high vibration applications including bridges and overpasses



CONTROL TECHNOLOGY



SPECIFICATIONS

CONSTRUCTION

- Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with powder coat paint finish
- Separate optical and electrical compartment for improved thermal management and optimum component operation
- TGIC thermoset polyester powder paint finish applied at nominal 2.5 mil thickness

OPTICS

- Entire optical aperture illuminates to create a larger luminous surface area resulting in a low glare appearance without sacrificing optical performance
- Premium engineered individual acrylic lenses deliver IES Type 2, 3, 4W and 5QW distributions
- Lens distributions are field rotatable (in 90° increments) or exchangeable for job site fine-tuning
- 3000K, 4000K, or 5000K (70 CRI) CCT
- 80, 160, or 320 midpower LEDs
- 3000K, 4000K or 5000K (70 CRI) CCT
- Zero uplight at 0 degrees of tilt
- Field rotatable optics

INSTALLATION

- Tool-less entry to wiring/driver compartment optional
- Universal mounting block works with #2 drill pattern
- Fixture ships with slotted mounting block to accommodate wide range of drill patterns for easy retrofit opportunities
- Mast arm fitter accessory or option available for 2-3/8" OD brackets with vertical tilt of +3°, 0° or -3°

ELECTRICAL

- Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz
- Ambient operating temperature -40° C to 40° C
- Drivers have greater than 90% power factor and less than 20% THD
- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
- Field replaceable surge protection device provides 20KA and 10KV protection meeting ANSI/IEEE C62.41.2 Category C High and Surge Location Category C3; Automatically takes fixture off-line for protection when device is consumed

CONTROLS

- Photo control, occupancy sensor and Zigbee wireless available for complete on/off and dimming control
- 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules (control accessories sold separately)
- Dimming Drivers are standard and dimming leads are extended out of the luminaire unless control options require connection to the dimming leads. Must specify if wiring leads are to be greater than the 6
- NX Lighting Controls™ available with in fixture wireless control module, features dimming and occupancy sensor
- wiSCAPE® available with in fixture wireless control module, features dimming and occupancy sensor via 7-pin
- Please consult brand or sales representative when combining control and electrical options as some combinations may not operate as anticipated depending on your application

CERTIFICATIONS

- Listed to UL1598 and CSA C22.2#250.0-24 for wet locations and 40°C ambient temperatures
- DLC (DesignLights Consortium Qualified), with some Premium Qualified configurations. Please refer to the DLC website for specific product qualifications at www.designlights.org
- 1.5G rated for ANSI C136.31 high vibration applications
- IP65 optical assembly
- Meets IDA recommendations using 3K CCT configuration at 0 degrees of tilt
- This product qualifies as a "designated country construction material" per FAR 52.225-11 Buy American-Construction Materials under Trade Agreements effective 04/23/2020.

WARRANTY

- 5 Year warranty

KEY DATA	
Lumen Range	3,200–36,000
Wattage Range	25–255
Efficacy Range (LPW)	118–148
Weight lbs. (kg)	14.5–17.5 (6.6–8.0)

SLING Micro Strike

AREA/SITE/ROAD LIGHTER

ORDERING GUIDE

Example: ASL1-80L-50-3K7-2-UNV-ASQU-BLT-7PRMD-40F

CATALOG #

ORDERING INFORMATION

Series	# LEDs	CCT/CRI	Distribution	Rotation/Orientation	Voltage	Mounting
ASL1 ASL Microstrike Series	80L-25 3,000 lm	3K7 3000K, 70 CRI	2 Type II	L Optic rotation left	UNV Universal 120-277V	ASQU Arm Square w/ Universal Mount
	80L-39 4,500 lm	4K7 4000K, 70 CRI	3 Type III	R Optic rotation right	120 120V	A3 AS with 3.5-4.13" OD RPA3 & UM
	80L-50 6,000 lm	5K7 5000K, 70 CRI	4W Type 4W		208 208V	A4 AS with 4.18-5.25" OD RPA4 & U
	160L-70 9,000 lm		5QW Type 5QW		240 240V	A5 AS with 5.5-6.5" OD RPA5 & UM
	160L-100 12,000 lm				277 277V	MAF Mast Arm Fitter for 2-3/8" OD
	160L-115 15,000 lm				347 347V	
	160L-135 18,000 lm				480 480V	
ASL2 ASL Microstrike Series	320L-145 21,000 lm					
	320L-170 24,000 lm					
	320L-185 27,000 lm					
	320L-210 30,000 lm					
	320L-235 33,000 lm					
	320L-255 35,000 lm					

Control Options Network	Options	Color
NXSPW30F¹ NX Wireless, PIR Occupancy Sensor, Dimming Daylight Harvesting, 30' (use white for WH, black for DB, GT, TT, gray for LG, PS)	F³ Fusing	BLT Black Matte Textured
NXSP30F¹ NX, PIR Occupancy Sensor, Dimming Daylight Harvesting, 30' (use white for WH, black for DB, GT, TT, gray for LG, PS)	BC Backlight Control	BLS Black Gloss Smooth
NXWE¹ NX Networked Wireless Radio Module NXRM2 and Bluetooth Programming, without Sensor	TB⁴ Terminal Block	DBT Dark Bronze Matte Textured
Stand Alone Sensors	TE Toolless Entry	DBS Dark Bronze Gloss Smooth
SCP-8F^{5,6} Remote control programmable line voltage sensor	SSF Stainless Steel Fasteners	GTT Graphite Matte Textured
SCP-40F^{5,6} Remote control programmable line voltage sensor		LGS Light Grey Gloss Smooth
Control Options Other		LGT Light Grey Matte Textured
7PR 7 Pin Receptacle		PSS Platinum Silver Smooth
7PR-SC 7 Pin Receptacle with shorting cap		WHT White Matte Textured
7PR-MD8F 7 pin receptacle with low voltage sensor at 8' mounting for external control accessory		WHS White Gloss Smooth
7PR-MD40F 7 pin receptacle with low voltage sensor at 40' mounting for external control accessory		VGT Verde Green Textured
7PR-TL 7 Pin Receptacle with Photocontrol		Color Option
ADD AutoDim timer based dimming		CC Custom Color
ADT AutoDim time of day dimming		
Sensors		
BTS_F Bluetooth Programmable, PIR Occupancy/Daylight Sensor, 360° lens ⁷		
BTSO_F Bluetooth Programmable, PIR Occupancy/Daylight Sensor, 360° lens, up to 12' mounting height ⁸		

Notes:

- Not compatible with 80L configurations
- Not compatible with 480V configurations
- Must specify voltage
- Not available with a combination or 347/480 and fusing
- Must specify voltage, 120V or 277V only
- Order at least one SPC-REMOTE per project location to program and control the occupancy sensor
- Replace "_" with "14" for up to 14' mounting height, "40F" for 15-40' mounting height
- Replace "_" with "12" for up to 12' mounting height

SLING Micro Strike

AREA/SITE/ROAD LIGHTER

CONTROL ACCESSORIES (ORDERED SEPARATELY)

Catalog Number	Description
<input type="checkbox"/> SCP-Remote	Remote Control for SCP/_F option. Order at least one per project to program and control the occupancy sensor
<input type="checkbox"/> WIR-RME-L	wiSCAPE External Fixture Module
<input type="checkbox"/> NXOFM-1R1D-UNV	NX 7-Pin Twist-Lock® with NX Networked Wireless Radio, Integral Automatic Dimming Photocell, Integral Single Pole Relay with Dimming, and Bluetooth Programming

ACCESSORIES (ORDERED SEPARATELY)

Catalog Number	Description
<input type="checkbox"/> ASL1-HSS-90-B-XXX ¹	House Side Shield Back 90 deg
<input type="checkbox"/> ASL1-HSS-90-F-XXX ¹	House Side Shield Front 90 deg
<input type="checkbox"/> ASL1-HSS-90-S-XXX ¹	House Side Shield Side 90 deg
<input type="checkbox"/> ASL1-HSS-270-BSS-XXX ¹	House Side Shield Back, Side & Side 270 deg
<input type="checkbox"/> ASL1-HSS-270-FSS-XXX ¹	House Side Shield Front, Side & Side 270 deg
<input type="checkbox"/> ASL1-HSS-270-FSB-XXX ¹	House Side Shield Front, Side & Back 270 deg
<input type="checkbox"/> ASL1-HSS-360-XXX ¹	House Side Shield 360 deg
<input type="checkbox"/> ASL2-HSS-90-B-XXX ¹	House Side Shield Back 90 deg
<input type="checkbox"/> ASL2-HSS-90-F-XXX ¹	House Side Shield Front 90 deg
<input type="checkbox"/> ASL2-HSS-90-S-XXX ¹	House Side Shield Side 90 deg
<input type="checkbox"/> ASL2-HSS-270-BSS-XXX ¹	House Side Shield Back, Side & Side 270 deg
<input type="checkbox"/> ASL2-HSS-270-FSS-XXX ¹	House Side Shield Front, Side & Side 270 deg
<input type="checkbox"/> ASL2-HSS-270-FSB-XXX ¹	House Side Shield Front, Side & Back 270 deg
<input type="checkbox"/> ASL2-HSS-360-XXX ¹	House Side Shield 360 deg
<input type="checkbox"/> ASL-MAF	Mast arm kit with wildlife shield for mounting on 2 3/8" OD arms
<input type="checkbox"/> SETA2-XX ¹	Square pole tenon adapter (4 at 90 degrees) (2 3/8" OD tenon)
<input type="checkbox"/> RETA2-XX ¹	Round pole tenon adapter (4 at 90 degrees) (2 3/8" OD tenon), requires CL1S-RPA4-ACC-XX for each luminaire
<input type="checkbox"/> RARBC80L	Backlight Control 80L
<input type="checkbox"/> RARBC160L	Backlight Control 160L
<input type="checkbox"/> RARBC320L	Backlight Control 320L
<input type="checkbox"/> RARBC480L	Backlight Control 480L
<input type="checkbox"/> CL1S-RPA4-ACC-XX ¹	Round Pole Adapter (* denotes pole diameter; 3 = 3 1/4" -3 3/4"; 4* = 3 7/8" – 6")
<input type="checkbox"/> ASL-ARMMTG-XX ¹	Arm mounting kit for side of pole attachment
<input type="checkbox"/> WB-AREA-XX ¹	Wall bracket, Compatible with standard arm mount option
<input type="checkbox"/> ASL-MAF	Mast arm kit with wildlife shield for mounting on 2 3/8" OD arms

¹ Replace XX or XXX with color choice, eg.: DB for Dark Bronze or BLT for Black Matte Textured

SLING Micro Strike

AREA/SITE/ROAD LIGHTER

PERFORMANCE DATA

Description	Nominal Wattage	System Watts	Dist. Type	5K (5000K NOMINAL 70 CRI)					4K (4000K NOMINAL 70 CRI)					3K (3000K NOMINAL 70 CRI)				
				Lumens	LPW ¹	B	U	G	Lumens	LPW ¹	B	U	G	Lumens	LPW ¹	B	U	G
ASL1	25	25.4	2	3430	135	2	0	2	3413	134	2	0	2	3225	127	2	0	2
			3	3465	136	2	0	2	3448	136	2	0	2	3259	128	2	0	2
			4W	3401	134	2	0	3	3384	133	2	0	3	3198	126	2	0	3
			5QW	3483	137	4	0	2	3466	136	4	0	2	3274	129	4	0	2
	39	38.0	2	5237	138	3	0	3	5211	137	3	0	3	4924	130	3	0	3
			3	5292	139	2	0	2	5265	139	2	0	2	4976	131	2	0	2
			4W	5193	137	2	0	3	5168	136	2	0	3	4883	129	2	0	3
			5QW	5318	140	4	0	2	5292	139	4	0	2	4999	132	4	0	2
	50	49.7	2	6294	127	2	0	2	6263	126	2	0	2	5918	119	2	0	2
			3	6360	128	2	0	2	6328	127	2	0	2	5980	120	2	0	2
			4W	6242	126	2	0	3	6211	125	2	0	3	5869	118	2	0	3
			5QW	6392	129	4	0	2	6360	128	4	0	2	6008	121	4	0	2
	70	68.4	2	9461	138	3	0	3	9414	138	3	0	3	8897	130	3	0	3
			3	9560	140	2	0	2	9513	139	2	0	2	8989	131	2	0	2
			4W	9383	137	2	0	3	9336	136	2	0	3	8822	129	2	0	3
			5QW	9608	140	4	0	2	9560	140	4	0	2	9032	132	4	0	2
	100	88.0	2	11945	136	2	0	2	11886	135	2	0	2	11232	128	2	0	2
			3	12070	137	2	0	2	12010	136	2	0	2	11349	129	2	0	2
			4W	11846	135	2	0	3	11787	134	2	0	3	11139	127	2	0	3
			5QW	12131	138	4	0	2	12070	137	4	0	2	11403	130	4	0	2
	115	109.7	2	15683	143	2	0	2	15605	142	2	0	2	14977	137	2	0	2
			3	15486	141	2	0	2	15411	140	2	0	2	14819	135	2	0	2
			4W	15305	140	2	0	3	15232	139	2	0	3	14646	134	2	0	3
			5QW	15732	143	4	0	2	15653	143	4	0	2	15024	137	4	0	2
	135	133.3	2	18089	136	3	0	3	17999	135	3	0	3	17275	130	3	0	3
			3	17861	134	2	0	2	17776	133	2	0	2	17092	128	2	0	2
			4W	17653	132	2	0	3	17569	132	2	0	3	16893	127	2	0	3
			5QW	18155	136	4	0	2	18064	136	4	0	2	17338	130	4	0	2

ASL2 Performance Data on next page

¹ VAC input Lumen values are from photometric test performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations. Actual performance may differ as a result of end-user environment and application.

SLING Micro Strike

AREA/SITE/ROAD LIGHTER

PERFORMANCE DATA

Description	Nominal Wattage	System Watts	Dist. Type	5K (5000K NOMINAL 70 CRI)					4K (4000K NOMINAL 70 CRI)					3K (3000K NOMINAL 70 CRI)				
				Lumens	LPW ¹	B	U	G	Lumens	LPW ¹	B	U	G	Lumens	LPW ¹	B	U	G
ASL2	145	143.0	2	21007	147	3	0	4	20902	146	3	0	4	20061	140	3	0	4
			3	20842	146	3	0	4	20738	145	3	0	4	19904	139	3	0	4
			4W	20595	144	3	0	5	20492	143	3	0	5	19668	138	3	0	5
			5QW	21130	148	5	0	4	21024	147	5	0	4	20179	141	5	0	4
	170	168.0	2	24447	146	3	0	4	24325	145	3	0	4	23347	139	3	0	4
			3	24256	144	3	0	4	24134	144	3	0	4	23164	138	3	0	4
			4W	23968	143	3	0	5	23848	142	3	0	5	22889	136	3	0	5
			5QW	24591	146	5	0	4	24468	146	5	0	4	23484	140	5	0	4
	185	185.0	2	26651	144	4	0	5	26518	143	4	0	5	25452	138	4	0	5
			3	26442	143	3	0	4	26310	142	3	0	4	25252	136	3	0	4
			4W	26129	141	4	0	5	25998	141	4	0	5	24953	135	4	0	5
			5QW	26808	145	5	0	5	26674	144	5	0	5	25602	138	5	0	5
	210	210.0	2	29880	142	3	0	4	29731	142	3	0	4	28535	136	3	0	4
			3	29646	141	3	0	4	29497	140	3	0	4	28312	135	3	0	4
			4W	29294	139	3	0	5	29148	139	3	0	5	27976	133	3	0	5
			5QW	30056	143	5	0	4	29905	142	5	0	4	28703	137	5	0	4
	235	235.0	2	32959	140	3	0	4	32794	140	3	0	4	31475	134	3	0	4
			3	32700	139	3	0	4	32537	138	3	0	4	31229	133	3	0	4
			4W	32312	137	3	0	5	32151	137	3	0	5	30858	131	3	0	5
			5QW	33152	141	5	0	4	32987	140	5	0	4	31661	135	5	0	4
255	261.2	2	36218	139	4	0	5	36037	138	4	0	5	34588	132	4	0	5	
		3	35934	138	3	0	4	35754	137	3	0	4	34317	131	3	0	4	
		4W	35508	136	4	0	5	35330	135	4	0	5	33910	130	4	0	5	
		5QW	36431	139	5	0	5	36249	139	5	0	5	34792	133	5	0	5	

¹ VAC input Lumen values are from photometric test performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations. Actual performance may differ as a result of end-user environment and application.

SLING Micro Strike

AREA/SITE/ROAD LIGHTER

ELECTRICAL DATA

Family	Nominal Wattage	Input Voltage (Volts)	Current (AMPS)	System Power (Watts)
SLING (ASL1)	25	120	0.21	25.4
		208	0.12	
		240	0.11	
		277	0.09	
		347	0.07	
		480	0.05	
	39	120	0.32	38
		208	0.18	
		240	0.16	
		277	0.14	
		347	0.11	
		480	0.08	
	50	120	0.41	49.7
		208	0.24	
		240	0.21	
		277	0.18	
		347	0.14	
		480	0.10	
	70	120	0.57	68.4
		208	0.33	
		240	0.29	
		277	0.25	
		347	0.20	
		480	0.14	
	100	120	0.73	88
		208	0.42	
		240	0.37	
		277	0.32	
		347	0.25	
		480	0.18	
115	120	0.91	109.7	
	208	0.53		
	240	0.46		
	277	0.40		
	347	0.32		
	480	0.23		
135	120	1.11	133.3	
	208	0.64		
	240	0.56		
	277	0.48		
	347	0.38		
	480	0.28		

SLING (ASL2) Next Page

SLING Micro Strike

AREA/SITE/ROAD LIGHTER

ELECTRICAL DATA (CONT'D)

Family	Nominal Wattage	Input Voltage (Volts)	Current (AMPS)	System Power (Watts)
SLING (ASL2)	145	120	1.19	143.0
		208	0.69	
		240	0.60	
		277	0.52	
		347	0.41	
		480	0.30	
	170	120	1.40	168.0
		208	0.81	
		240	0.70	
		277	0.61	
		347	0.48	
		480	0.35	
	185	120	1.54	185.0
		208	0.89	
		240	0.77	
		277	0.67	
		347	0.53	
		480	0.39	
	210	120	1.75	210.0
		208	1.01	
		240	0.88	
		277	0.76	
		347	0.61	
		480	0.44	
	235	120	1.96	235.0
		208	1.13	
		240	0.98	
		277	0.85	
		347	0.68	
		480	0.49	
255	120	2.18	261.2	
	208	1.26		
	240	1.09		
	277	0.94		
	347	0.75		
	480	0.54		

SLING Micro Strike

AREA/SITE/ROAD LIGHTER

PROJECTED LUMEN MAINTENANCE

Ambient Temperature	OPERATING HOURS					
	0	25,000	TM-21-11' L96 60,000	50,000	100,000	L70 (Hours)
25°C / 77°F	1.00	0.97	0.96	0.95	0.91	408,000
40°C / 104°F	0.99	0.96	0.95	0.94	0.89	356,000

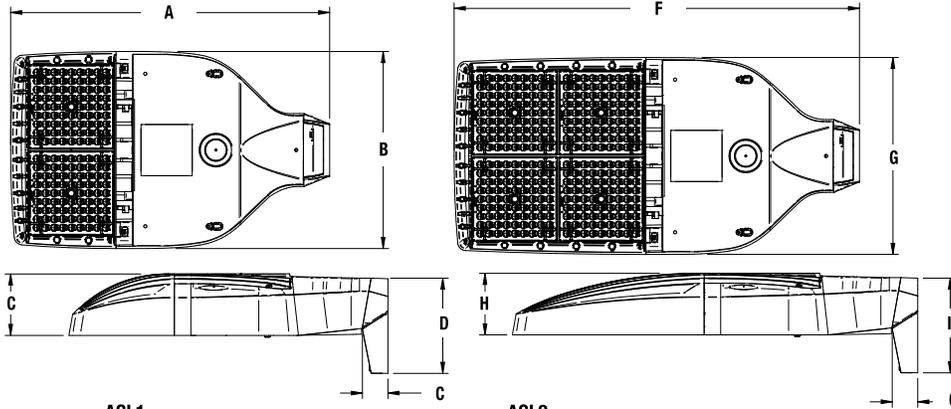
1. Projected per IESNA TM-21-11 (* Cree XP-L, 2100mA, 105°C Ts, 6,000hrs)

LUMINAIRE AMBIENT TEMPERATURE FACTOR (LATF)

Ambient Temperature		Lumen Multiplier
0° C	32° F	1.06
10° C	50° F	1.03
20° C	68° F	1.01
25° C	77° F	1.00
30° C	86° F	0.99
40° C	104° F	0.97
50° C	122° F	0.94

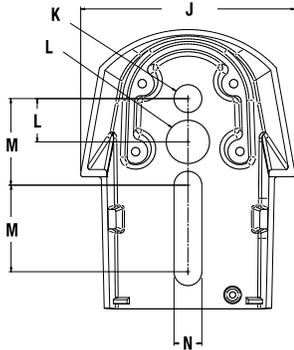
Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

DIMENSIONS



Weight	
ASL1	14.47 lbs (6.56 kgs)
ASL2	17.47 lbs (7.92 kgs)

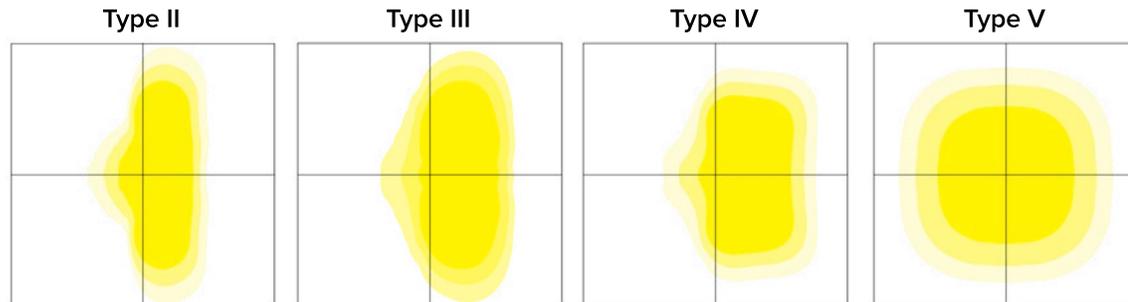
A	B	C	D	E	F	G	H	I	ASL1 EPA@0°	ASL2 EPA@0°	ASL1 w/ HSS	ASL2 w/ HSS
18.9"	11.7"	3.7"	5.65"	1.5"	24.0"	11.7"	3.7"	5.62"	.46 ft. ²	.56 ft. ²	.73 ft. ²	1.01 ft. ²
480mm	297mm	94mm	144mm	38mm	610mm	297mm	94mm	143mm	.14 m ²	.17 m ²	.22 m ²	.31 m ²



J	K	L	M	N
4.33"	.562"	.875"	1.75"	.562"
480mm	297mm	94mm	610mm	297mm

PHOTOMETRY

The following diagrams represent the general distribution options offered for this product. For detailed information on specific product configurations, see [website photometric test reports](#).



SLING Micro Strike

AREA/SITE/ROAD LIGHTER

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

ADDITIONAL INFORMATION (CONT'D)

OCCUPANCY SENSOR

- Individual fixture control
- Dims product when space is not occupied



7-PIN RECEPTACLE

- Compatible with 3-pin, 5-pin or 7-pin photocontrols
 - Turns fixture on when sun sets, off when sun rises
 - Wireless networked solution
 - For use with a variety of control platforms
- *Additional accessories required.



NX



NX Lighting Controls™ platform delivers a lighting control solution capable of seamlessly connecting exterior and interior applications.

- Standalone or networked fixture control
- Astronomical time schedules
- BACnet building networking
- Connects with indoor wired, wireless or hybrid networks
- Wireless setup via app
- Occupancy Sensor option dims product when space is not occupied



SLING Micro Strike

AREA/SITE/ROAD LIGHTER

ADDITIONAL INFORMATION (CONT'D)

PROGRAMMED CONTROLS

ADD-AutoDim Timer Based Options

- Light delay options from 1-9 hours after the light is turned on to dim the light by 10-100%. To return the luminaire to its original light level there are dim return options from 1-9 hours after the light has been dimmed previously.

EX: ADD-6-5-R6

ADD Control Options	Configurations Choices	Example Choice Picked
Auto-Dim Options	1-9 Hours	6
Auto-Dim Brightness	0-9% Brightness	5
Auto-Dim Return	Delay 0-9 Hours	R6

ADT-AutoDim Time of Day Based Option

- Light delay options from 1AM-9PM after the light is turned on to dim the light by 10-100%. To return the luminaire to its original light level there are dim return options from 1AM-9PM after the light has been dimmed previously.

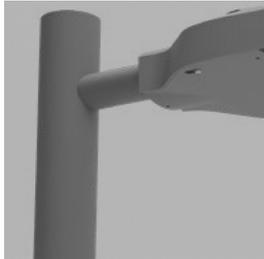
EX: ADT-6-5-R6

ADD Control Options	Configurations Choices	Example Choice Picked
Auto-Dim Options	12-3 AM and 6-11 PM	6
Auto-Dim Brightness	0-9% Brightness	5
Auto-Dim Return	12-6 AM and 9-11P	R6

MOUNTING



Arm Mount – Fixture ships with integral arm for ease of installation. Compatible with Outdoor S2 drill pattern.



MAF – Fits 2-3/8" OD arms Roadway applications.



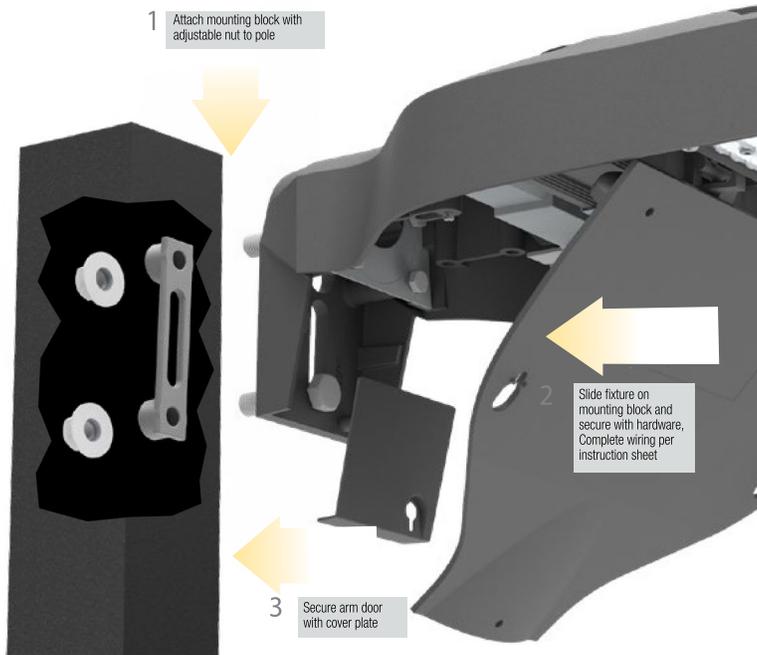
Wall Mount – Wall mount bracket designed for building mount applications.

SLING Micro Strike

AREA/SITE/ROAD LIGHTER

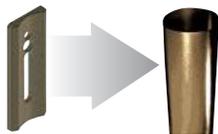
ADDITIONAL INFORMATION (CONT'D)

MOUNTING (CONT'D)



Universal Mount – Universal mounting block for ease of installation. Compatible with drill patterns from 2.5" to 4.5"

ACCESSORY



ROUND POLE ADAPTER



WB-AREA-XX



SPOKE BRACKET (single arm shown)
Horizontal round arm tenon adapters for use with MAF mounting type or accessory kit. Reference SH Spoke Pole Top Brackets for ordering information.

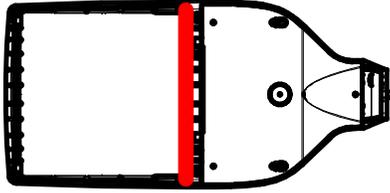
SLING Micro Strike

AREA/SITE/ROAD LIGHTER

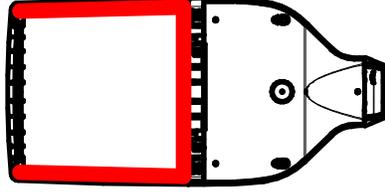
ADDITIONAL INFORMATION (CONT'D)

CONFIGURATIONS

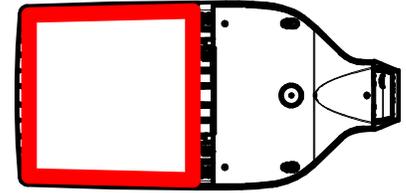
ASLx HSS-90-B-xx



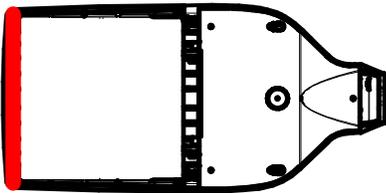
ASLx HSS-270-BSS-xx



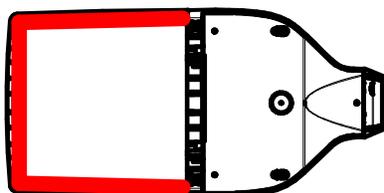
ASLx HSS-360-xx



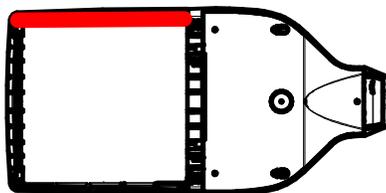
ASLx HSS-90-F-xx



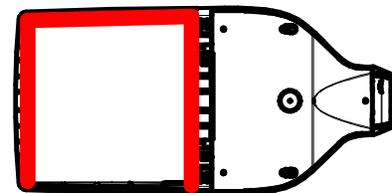
ASLx HSS-270-FSS-xx



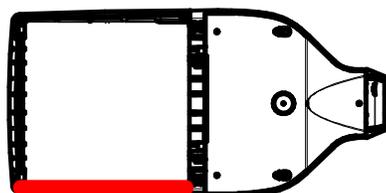
ASLx HSS-90-S-xx



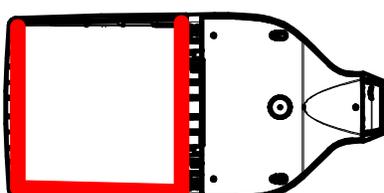
ASLx HSS-270-FSB-xx



ASLx HSS-90-S-xx



ASLx HSS-270-FSB-xx



USE OF TRADEMARKS AND TRADE NAMES

All product and company names, logos and product identifies are trademarks [™] or registered trademarks [®] of Current or their respective owners. Use of them does not necessarily imply any affiliation with or endorsement by such respective owners.

Smooth baffle, round

When choosing a recessed fixture, eliminating glare is a priority. The unique positioning of the LED module in this series of downlights will meet that important need.



WET



LOW-GLARE



ENERGY STAR



Intertek



IC RATED



JA8 CERTIFIED



COLOR TEMPERATURE



Model	Size	Watts	Delivered lumens	LED lumens	CRI	Color °T	Voltage
RGR2-CC	2"	8 W	600 lm	750 lm	90	2700, 3000, 3500, 4000, 5000 K	120 V
RGR4-CC	4"	14 W	990 lm	1200 lm	90		120 V
RGR6-CC	6"	20 W	1600 lm	1900 lm	90		120 V

Specifications

Every fixture includes a junction box with integrated dimmable driver
 Can be daisy chained
 Superior LED performance and lifespan
 Regressed light source
 Minimal heat emission
 Aluminum construction
 Switch-selectable CCT: 2700K/3000 K/3500 K/4000 K/5000 K
 IC certification (suitable for direct contact with insulation)
 Air-tight certified as per ASTM E283-04
 40° beam angle
 Suitable for wet locations
 JA8 Certified
 Refer to website for dimmer compatibility
 Ideal operating temperature: -20° to 40° C
 5-year warranty

Finish

- **BK** Black
- **SN** Satin Nickel
- **WH** White

Accessories

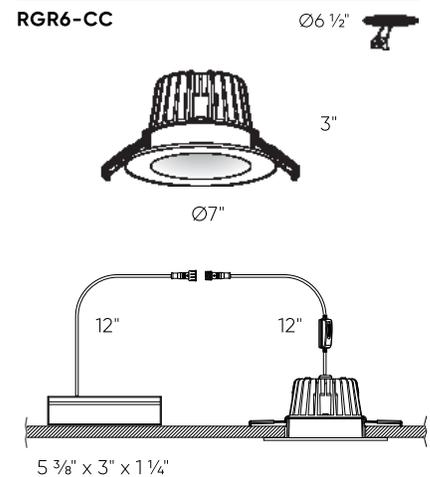
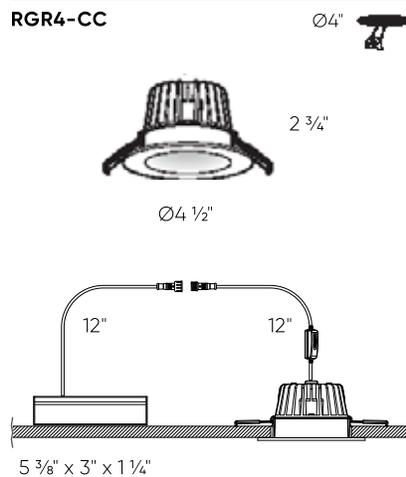
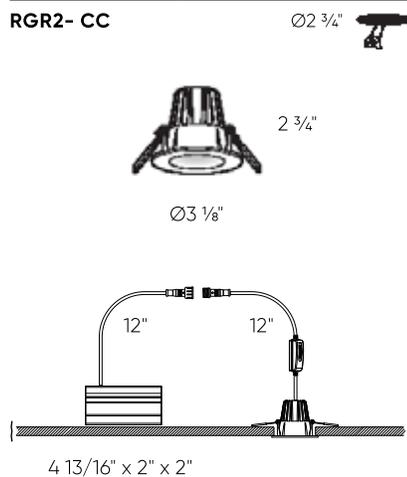
- RFP-UNI**
Universal rough-in plate
- RFP-23**
Rough-in plate for 2" and 3" models
- RFP-46**
Rough-in plate for 4" and 6" models

Order example

RGR4-CC-BK
 Dimmable RGR4-CC 4" round regressed LED fixture in a black finish

Note

Other Color °T and Finishes available, but may require MOQ's and longer lead times. Please contact your DALs representative for more information.



FCC600 Up/Down or Up, Standard Drivers without Battery Backup

6" Round wall mount up/down or up only cylinder outdoor



FEATURES

- Up to 5000 lm, Up to 100 LPW
- Numerous mounting capabilities
- Clear anti-glare tempered glass lens (IK09)
- Multiple color finishes with AAMA 2605 option (10 yr. paint warranty)
- 0-10V 1% Dimming (Standard)
- 1.5G Vibration Tested
- 95 CRI with 2 SDCM

PERFORMANCE

Beam Spread: 15° | 25° | 40° | 50° | 72°
CCT Options: 2700K | 3000K | 3500K | 4000K
CRI: 93 CRI
Consistency: 2 SDCM (Fixture to Fixture)
Lumens: 5000 lm
Lifetime: > 70,000 hours / L70 or better

PHYSICAL

Mounting: Mounts directly to standard recessed junction box with wall mount or twist-lock canopy. Additional holes allow unit to be attached directly to mounting surface.

Ingress Protection: Continuous silicone gasket to seal out contaminants, IP65 rated for dry, damp or wet locations

Finish: Six stage chemical iron phosphate conversion pre-treatment. Polyester powder coat finish, 18 µm Min., 5000hr salt spray test (ASTM B117) compliant with Florida / AAMA 2604 specification. AAMA 2605 optional w/ 10 yr. paint warranty.

Warranty: 5-Year limited warranty (refer to website for details)

Housing: Heavy-walled, extruded aluminum housing with high pressure die-cast lens ring and cap with stainless steel hardware.

Lens: IK09 impact compliant, clear anti-glare tempered glass

Vibration Resistance: Compliant with 1.5G ANSI C136.31, Seismic rated AC-156

Weight: 8-12 lbs (Depending on Length)

Operating Temperature: -22°F to 122°F (-30°C to 50°C)

ELECTRICAL

Voltage: Universal 120–277V AC standard, 347V optional

Power Supply: Integral Class II, electronic high-power factor >.90, THD < 20%, FCC Title 47 Part 15 Class A. EldoLED & Lutron optional

Power Consumption: Up to 53W (5000 lm)

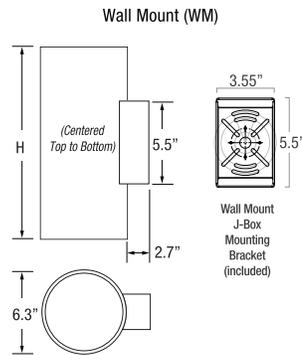
Dimming: Standard: 0-10V, 1% Dimming, Optional: ELV, TRIAC, dim to off, DMX, DALI

Certification: CEC Title 24 - JA8 Compliant (93 CRI Only)

Standards: cETLus Listed, CE, NOM, and RoHS Compliant. Wet location listed for wall or ceiling mount IP65 Ingress protection. 1.5G (ANSI C136.31) Vibration resistance rated. IK09 (IEC6226) Impact resistance rated. IESNA LM79 Photometric testing by NVLAP accredited test lab. IESNA LM80 LED testing by NVLAP accredited test lab. IESNA TM21 Luminaire lumen depreciation projection to >70,000hrs.

PHYSICAL DIMENSIONS

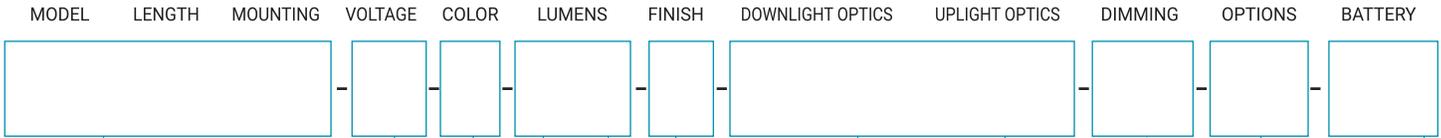
Fixture	Height (H)
FCC610W	10.95" Height (1 Integral Driver Only)
FCC612W	12.95" Height (1 Integral Driver Only)
FCC614W	14.95" Height (1 Integral Driver Only)
FCC616W	16.95" Height (1 Integral Driver Only)
FCC618W	18.95" Height
FCC620W	20.95" Height
	(All above are Wall Mount Standard)



FCC600 Up/Down or Up, Standard Drivers without Battery Backup

PRODUCT CODE

EXAMPLE: FCC610W-UNV-927-0505L-BKE-D15U15-ET



MODEL	
FCC610W	10.95" Height (1 Integral Driver Only)
FCC612W	12.95" Height (1 Integral Driver Only)
FCC614W	14.95" Height (1 Integral Driver Only)
FCC616W	16.95" Height (1 Integral Driver Only)
FCC618W	18.95" Height
FCC620W	20.95" Height
(All above are Wall Mount Standard)	

DOWN LUMENS (nominal) UP LUMENS		
NO	No Light Option	
05	500 lm	05L
10	1000 lm	10L
15	1500 lm	15L
20	2000 lm	20L
25	2500 lm	25L
30	3000 lm	30L
35	3500 lm	35L
40	4000 lm	40L
45	4500 lm	45L
50	5000 lm	50L

DOWN LIGHT OPTICS (nominal) UPLIGHT OPTICS		
D15	Spot (15°) (15L Max)	U15
D25	Narrow Flood (25°)	U25
D40	Mid Flood (40°)	U40
D50	Flood (50°)	U50
D72	Wide Flood (72°)	U72

WITH SOFT FIELD LENS (Below)		
D15S	Spot (15°) (15L Max)	U15S
D25S	Narrow Flood (25°)	U25S
D40S	Mid Flood (40°)	U40S
D50S	Flood (50°)	U50S
D72S	Wide Flood (72°)	U72S

DIMMING	
ET	ELV or TRIAC Driver (120V Phase Dimming w/ UNV Driver) (20L-45L Only)
LD	0-10V Dimming, 1% (Standard)
ET2	ELV or TRIAC Drivers (Qty. 2) (120V Phase Dimming w/ UNV Drivers) (20L-45L Only)
LD2	0-10V Dimming, 1% (Qty. 2)

OPTIONS	
CV	Cut-Off Visor (Down Only)

BATTERY	
N/A	(Leave Blank)

VOLTAGE	
UNV	Universal 120-277 Volt AC
347V	347 Volt AC

COLOR	
927	(93CRI) 2700K
930	(93CRI) 3000K
935	(93CRI) 3500K
940	(93CRI) 4000K

FINISH	
BKE	Black (AAMA 2604)
BRE	Bronze (AAMA 2604)
SLE	Silver (AAMA 2604)
WHE	White (AAMA 2604)
CCE	Custom Color (AAMA 2604)
BKED	Black (AAMA 2605)
BRED	Bronze (AAMA 2605)
SLED	Silver (AAMA 2605)
WHED	White (AAMA 2605)
CCED	Custom Color (AAMA 2605)

(50L Max Total output) (Standard Lumen Output Split 50% Up / 50% Down) (Additional driver needed for unequal output selections)

FCC600 Up/Down or Up, Standard Drivers without Battery Backup

LUMENS nominal

Model	Watts	940
FCC6	5W (Min)	500 lm (Min)
	53W (Max)	5000 lm (Max)

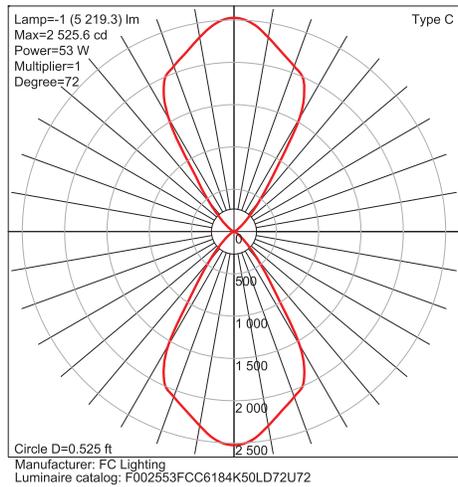
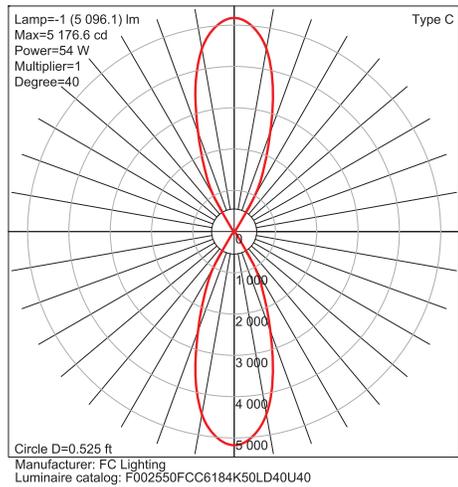
IES Multiplier	
Color	Multiplier
927	0.93
930	0.97
935	0.99
940	1.00

*83CRI@1.15 Consult factory.

TRIAC & ELV Approved Dimmer List	
Manufacturer	Manufacturer Part Number
Lutron	Glyder GLV-600
	Diva DVLV-600P
	Diva DV-600P
	Diva DVELV-600P(303)
	Maestro MALV-600
	Nova T NT-1000
	Nova T NTELV-600
Leviton	Skylark SLV-600P
	RadioRA2-10ND
	SureSlide 6633
	Illumatech IPE04

0-10V Approved Dimmer List	
Manufacturer	Manufacturer Part Number
Lutron	Diva DVSTV-XX
	Diva DVSTV-453PH-WH1
Leviton	Illumatech 010-IP710-DLZ

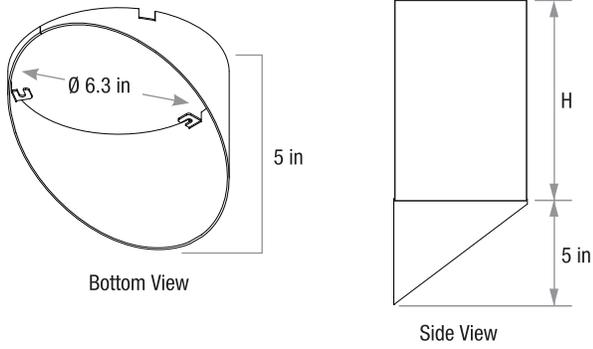
PHOTOMETRICS



FCC600 Up/Down or Up, Standard Drivers without Battery Backup

MORE DIMENSIONS

Cutt-Off Visor (CV) (Down Only)



September 14, 2022

Mr. Nick Spallone
 Car Wash Pro Designers (CWPD)
 6400 N Northwest Hwy, Unit 4
 Chicago, IL 60631

Subject: S John King Blvd Car Wash Facility–Noise Impact Study–Rockwall, TX

Dear Mr. Spallone:

MD Acoustics, LLC (MD) has completed a noise assessment for the proposed car wash located near the northwest corner of S John King Blvd and TX 276 in the City of Rockwall, TX. This assessment reviews the projected car wash operational noise levels and compares them to the City’s noise ordinance. The project proposes a covered car wash tunnel with 24 vacuum stations on approximately 3.02 acres.

1.0 Assessment Overview

This assessment evaluates the projections of operational noise and compares them to the relevant noise ordinance for informational purposes. The project location map is located in Exhibit A. The site plan utilized for the project is indicated in Exhibit B.

2.0 Local Acoustical Requirements

The Code of Ordinances of Rockwall, Texas Chapter 16 Section 16-183 states the following:

It shall be a violation of this article for any person to operate or permit to be operated any stationary source of sound which creates a unit percentile sound level (L_1) greater than 15 dBA above the ambient sound pressure level (L_{90}) as set forth in the table below in any residential use zone, or creates a tenth percentile sound level (L_{10}) or a 90th percentile sound level (L_{90}) which exceeds the limits set forth in the table below for the receiving land use districts when measured at the property boundary. For the purpose of enforcing these provisions, a measurement period shall not be less than ten minutes or more than 30 minutes.

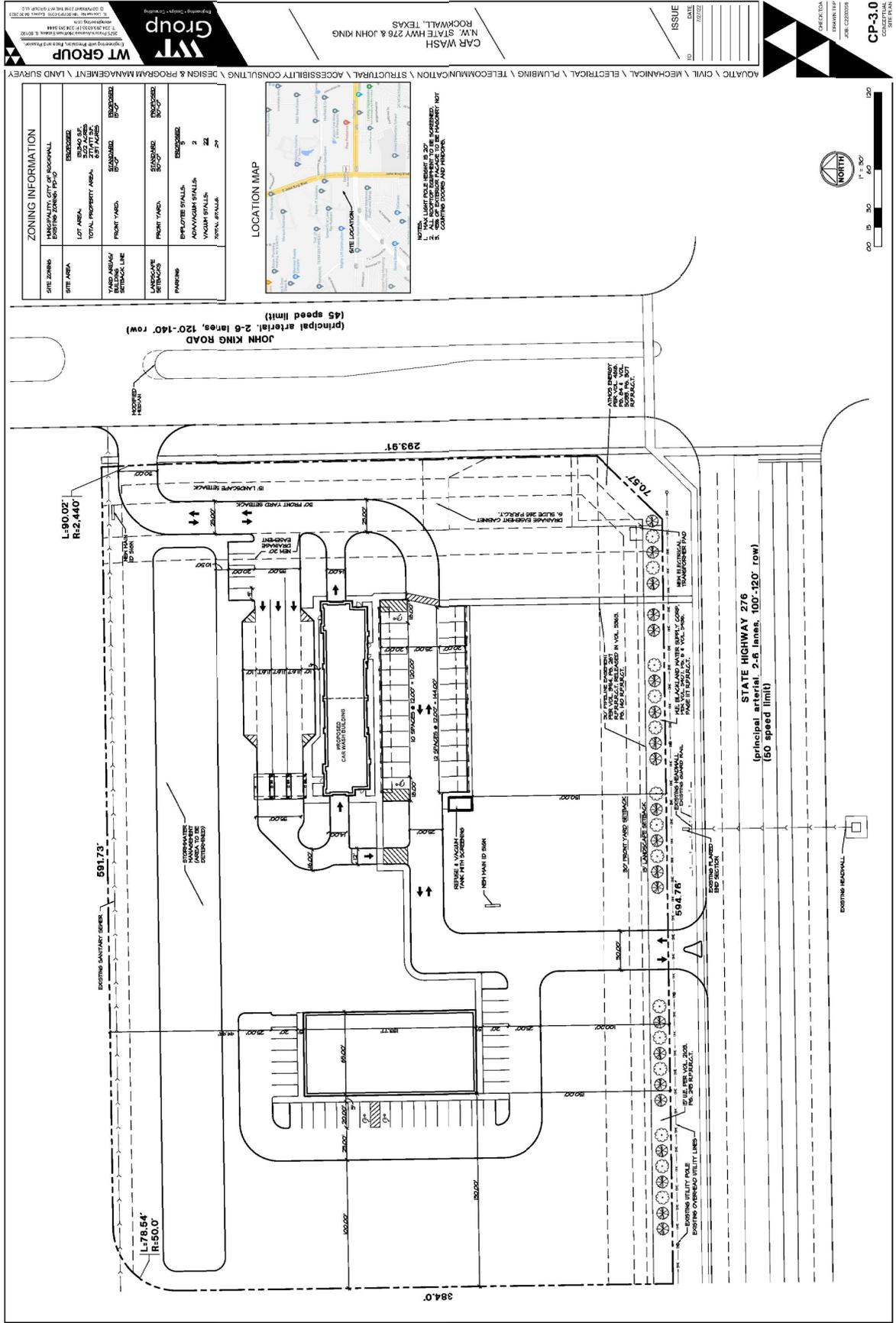
Table 1: Rockwall Noise Limits

<i>Land Use District</i>	<i>Tenth Percentile (L_{10})</i>	<i>Ambient, or 90th Percentile (L_{90})</i>
<i>Residential:</i>		
<i>7:00 a.m.—10:00 p.m.</i>	<i>65 dBA</i>	<i>55 dBA</i>
<i>10:00 p.m.—7:00 a.m.</i>	<i>60 dBA</i>	<i>50 dBA</i>
<i>Commercial/Agriculture:</i>		
<i>7:00 a.m.—10:00 p.m.</i>	<i>72 dBA</i>	<i>62 dBA</i>
<i>10:00 p.m.—7:00 a.m.</i>	<i>67 dBA</i>	<i>57 dBA</i>
<i>Industrial:</i>		
<i>7:00 a.m.—10:00 p.m.</i>	<i>85 dBA</i>	<i>75 dBA</i>
<i>10:00 p.m.—7:00 a.m.</i>	<i>85 dBA</i>	<i>75 dBA</i>

Exhibit A
Location Map



Exhibit B
Site Plan



3.0 Study Method and Procedure

SoundPLAN Acoustic Model

SoundPLAN (SP) acoustical modeling software was utilized to model future worst-case stationary noise impacts to the adjacent land uses. SP is capable of evaluating multiple stationary noise source impacts at various receiver locations. SP's software utilizes algorithms (based on the inverse square law and reference equipment noise level data) to calculate noise level projections. The software allows the user to input specific noise sources, spectral content, sound barriers, building placement, topography, and sensitive receptor locations.

The model assumes that the car wash tunnel has an 8-foot-tall by 10-foot-wide exit opening and is covered by a solid roof. The blowers (120 HP IDC Predator system or equivalent) were modeled at 7 to 10 feet high as point sources. The blowers are modeled approximately 5 feet inside the exit of the tunnel. The reference equipment sound level data is provided in Appendix B.

The SP model assumes a total of 24 vacuums and the dryer system are operating simultaneously (worst-case scenario) when in actuality, the noise will be intermittent and lower in noise level. The project proposes to house all other equipment (e.g., compressors, pumps, vacuum turbine motors) inside equipment rooms. The reference vacuum equipment sound level data is provided in Appendix B. Appendix C contains the model's inputs and outputs.

4.0 Existing Ambient Noise Levels

Five short-term (11 to 15-min) ambient noise measurements were performed on September 9 to September 10, 2022, to determine the existing ambient noise levels at the project site. Appendix A contains the locations of each measurement and the recorded data. The results of the short-term noise measurements are presented in Table 2.

Table 2: Short-Term Measurement Ambient Noise Data (dBA)¹

Location	Date	Start Time	Leq	Lmax	Lmin	L1	L10	L25	L50	L90
ST1	9/9/2022	3:56 PM	60.9	75.6	48.2	71.2	64.3	60.1	57.0	52.6
ST2	9/9/2022	4:18 PM	54.0	62.9	45.8	60.8	57.3	55.0	52.1	48.9
ST3	9/9/2022	4:42 PM	52.7	64.9	46.1	59.2	54.7	53.1	51.5	48.7
ST4	9/10/2022	2:02 PM	66.0	85.5	49.3	75.0	68.6	64.9	61.6	54.3

Notes:

1. Measurement locations are indicated in Appendix A.

These locations represent the levels at the adjacent properties. ST1 represents the residential properties to the south. ST2 represents the residential properties to the west. ST3 represents the residential properties to the north. ST4 represents the commercial property to the east.

The data indicates the ambient noise levels at nearby land uses range between 53 to 66 dBA Leq during operational hours. The measured noise levels and field notes indicate that traffic noise along SR-276 is the main source of noise impacting the project site.

A long-term measurement was also performed to determine the overall trend in the area throughout the day.

Table 3: Long-Term Measurement Ambient Noise Data (dBA)¹

Time	dB(A)							
	L _{EQ}	L _{MAX}	L _{MIN}	L ₁	L ₅	L ₁₀	L ₅₀	L ₉₀
5PM-6PM	60.3	74.6	50.6	64.2	63.5	62.6	59.7	57.5
6PM-7PM	60.0	74.7	49.8	63.6	62.9	62.5	59.1	57.4
7PM-8PM	62.1	76.3	51.1	68.8	67.4	66.2	60.1	56.4
8PM-9PM	58.1	63.7	56.3	63.6	62.8	61.4	56.5	54.3
9PM-10PM	60.0	82.9	49.6	68.4	65.1	62.0	57.0	53.8
10PM-11PM	58.1	76.2	48.4	66.0	63.8	60.3	55.9	53.4
11PM-12AM	56.1	74.8	47.0	63.5	59.6	56.6	54.0	52.1
12AM-1AM	55.3	75.8	46.6	63.7	58.5	56.5	53.4	51.8
1AM-2AM	52.8	75.8	43.5	63.4	55.7	53.6	50.3	46.8
2AM-3AM	51.7	76.7	40.4	62.7	55.9	51.9	47.4	43.7
3AM-4AM	52.4	72.3	39.1	62.2	59.4	55.8	46.5	42.2
4AM-5AM	53.4	78.0	39.4	64.8	57.4	55.5	47.5	43.9
5AM-6AM	56.1	74.4	41.9	63.9	62.0	60.2	52.7	49.2
6AM-7AM	58.3	77.8	47.8	64.8	63.3	61.3	56.1	52.4
7AM-8AM	61.0	79.9	51.1	67.2	65.9	62.6	59.9	56.9
8AM-9AM	61.1	76.3	48.7	66.3	65.5	64.6	60.0	56.4
9AM-10AM	58.9	80.4	45.4	65.9	62.8	61.3	57.3	54.6
10AM-11AM	59.8	78.7	46.1	67.1	64.1	63.9	57.7	55.2
11AM-12PM	59.7	83.5	47.0	68.3	63.7	61.7	56.7	54.3
12PM-1PM	57.7	74.7	45.3	62.8	60.9	60.6	57.0	53.3
1PM-2PM	57.4	77.1	45.0	64.8	61.0	58.8	55.9	53.4
CNEL	64.7							
Notes: ¹ . Appendix A for measured noise data.								

The long-term data indicate that the afternoon is the quietest time of day during operational hours.

5.0 Findings and Recommendations

A total of four (4) receptors were modeled to accurately evaluate the future operational noise levels near the project site. In Exhibit C, a yellow dot denotes a receptor. Receptors 1, 2, and 4 represent areas that must meet the residential noise standard, and receptor 3 must meet the commercial noise standard. All yellow dots represent the property line of the project site.

Table 4 presents the project’s predicted noise levels and the project plus ambient noise levels. Table 4 compares both sets of noise levels to the maximum permitted L₉₀ noise level. The model assumes that the car wash is operating continuously as a worst-case scenario. With this assumption, the L₉₀ levels would

have the potential to increase the most due to the project. Therefore, if increases to the L₉₀ levels are within code and insignificant, increases to L₁₀ and L₁ levels will be as well.

Table 4: Worst-Case Predicted Operational Noise Levels (dBA, L₉₀)¹

Receptor ¹	Existing Ambient Noise Level ²	Project Noise Level ³	Rockwell Texas Ambient Limit 7 AM to 10 PM	Total Combined Noise Level	Change in Noise Level as Result of Project
1	49	41	55	50	1
2	49	39	55	49	0
3	54	50	62	55	1
4	53	46	55	54	1

Exhibit C shows the future noise level projections and contours based on the proposed project design. The project noise level at the residential properties is 39-46 dBA and meets the residential standard of 55 dBA L₉₀. The project noise level at the nonresidential properties is 50 dBA L₉₀ and meets the nonresidential standard of 62 dBA Leq.

The L₁₀ and L₁ levels will therefore change by less than 1 dB as a result of the project, as the project levels are at least 10 dB quieter than the existing levels.

The overall noise level will increase by 0-1 dB as a result of the project. Table 5 provides the characteristics associated with changes in noise levels.

Table 5: Change in Noise Level Characteristics¹

Changes in Intensity Level, dBA	Changes in Apparent Loudness
1	Not perceptible
3	Just perceptible
5	Clearly noticeable
10	Twice (or half) as loud

https://www.fhwa.dot.gov/environMent/noise/regulations_and_guidance/polguide/polguide02.cfm

The noise level increase due to the project would fall within the “not perceptible” noise level characteristics at the receptors.

6.0 Conclusions

MD has reviewed the applicable noise ordinances and modeled the noise levels for the proposed car wash. The proposed car wash does not exceed the maximum permitted noise levels and does not perceptibly increase the overall ambient noise level.

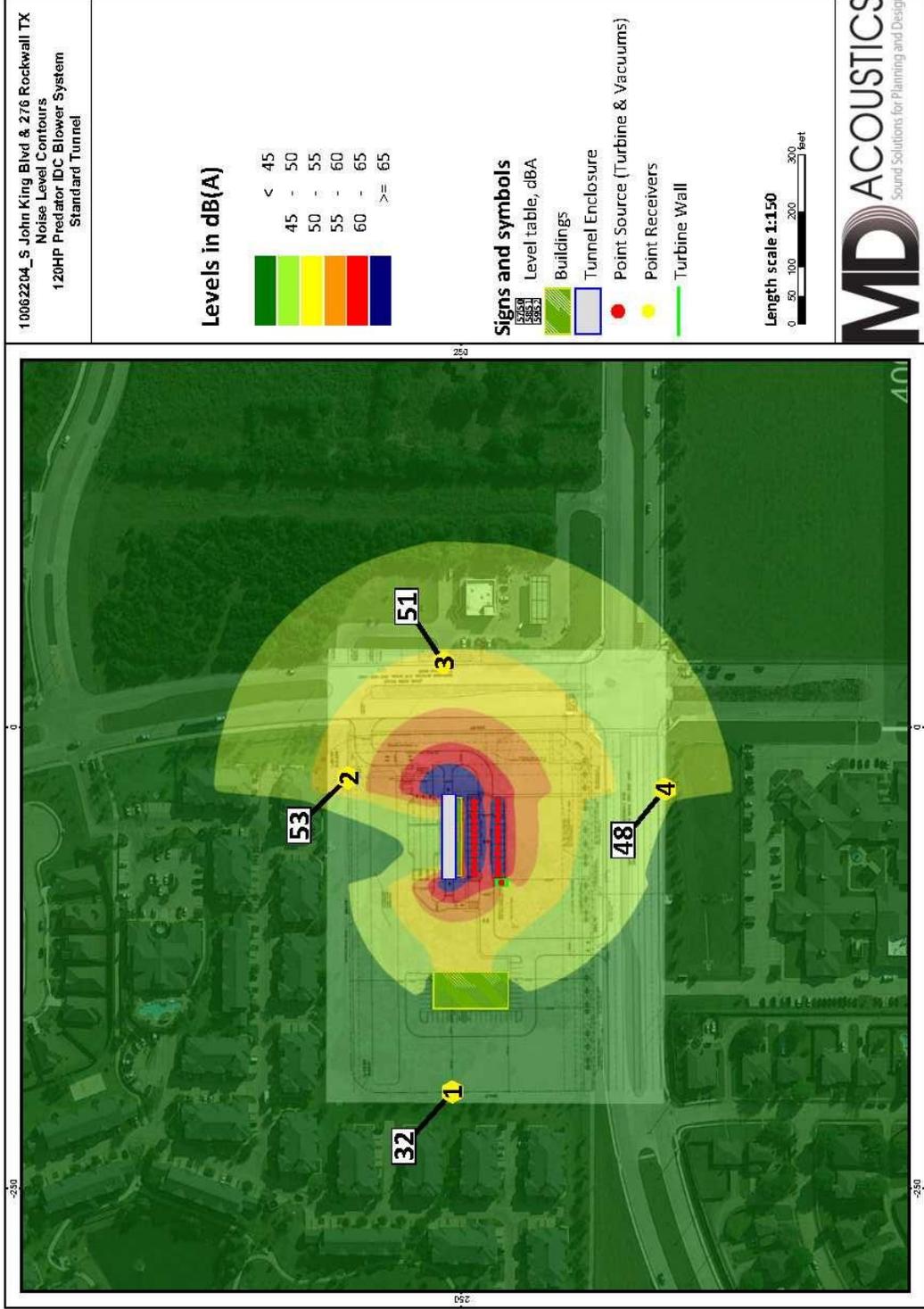
MD is pleased to provide this noise review for the car wash project. If you have any questions regarding this analysis, please call our office at (602) 774-1950.

Sincerely,
MD Acoustics, LLC



Claire Pincock, INCE-USA
Acoustical Consultant

Exhibit C
Operational Noise Levels



15-Minute Continuous Noise Measurement Datasheet

Project: S John King Blvd Car Wash **Site Observations:** Medium traffic. Load insects at location 2. Location 4 contains trucks, motorcycles, horns, and birds.

Site Address/Location: S John King Blvd & TX 276

Date: 9/9/22-9/10/22

Field Tech/Engineer: Brandon Skinner

General Location: Piccolo **SN:** A2A-05967-E0

Sound Meter: A-weighted, slow, 1-sec, 15-minute interval

Site ID: ST-1 thru ST-4

Site Topo: Flat

Ground Type: Soft site conditions

Noise Source(s) w/ Distance:

1 - 35' north of 276 at midpoint of small railing

2 - 20' west of east PL

3 - near middle of north PL

4 - 12' from John King curb

Figure 1: Monitoring Locations



10-Minute Continuous Noise Measurement Datasheet - Cont.

Project: S John King Blvd Car Wash
Site Address/Location: S John King Blvd & TX 276
Site ID: ST-1 thru ST-4

Table 1: Morning - Baseline Noise Measurement Summary

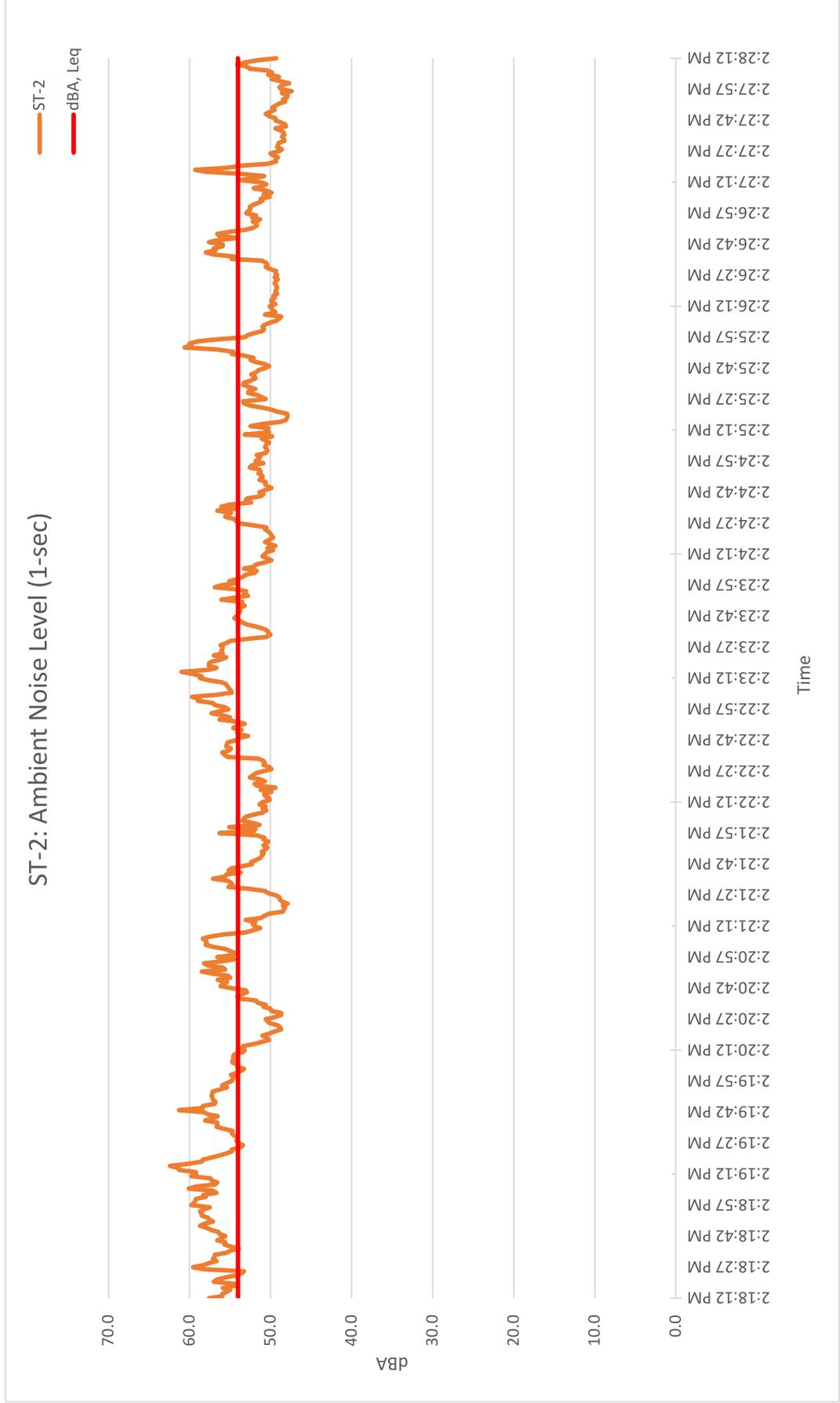
Location	Start	Stop	Leq	Lmax	Lmin	L1	L10	L25	L50	L90
1	1:56 PM	2:11 PM	60.9	75.6	48.2	71.2	64.3	60.1	57.0	52.6
2	2:18 PM	2:33 PM	54.0	62.9	45.8	60.8	57.3	55.0	52.1	48.9
3	2:42 PM	2:56 PM	52.7	64.9	46.1	59.2	54.7	53.1	51.5	48.7
4	12:02 PM	12:13 PM	66.0	85.5	49.3	75.0	68.6	64.9	61.6	54.3

10-Minute Continuous Noise Measurement Datasheet - Cont.

Project: S John King Blvd Car Wash

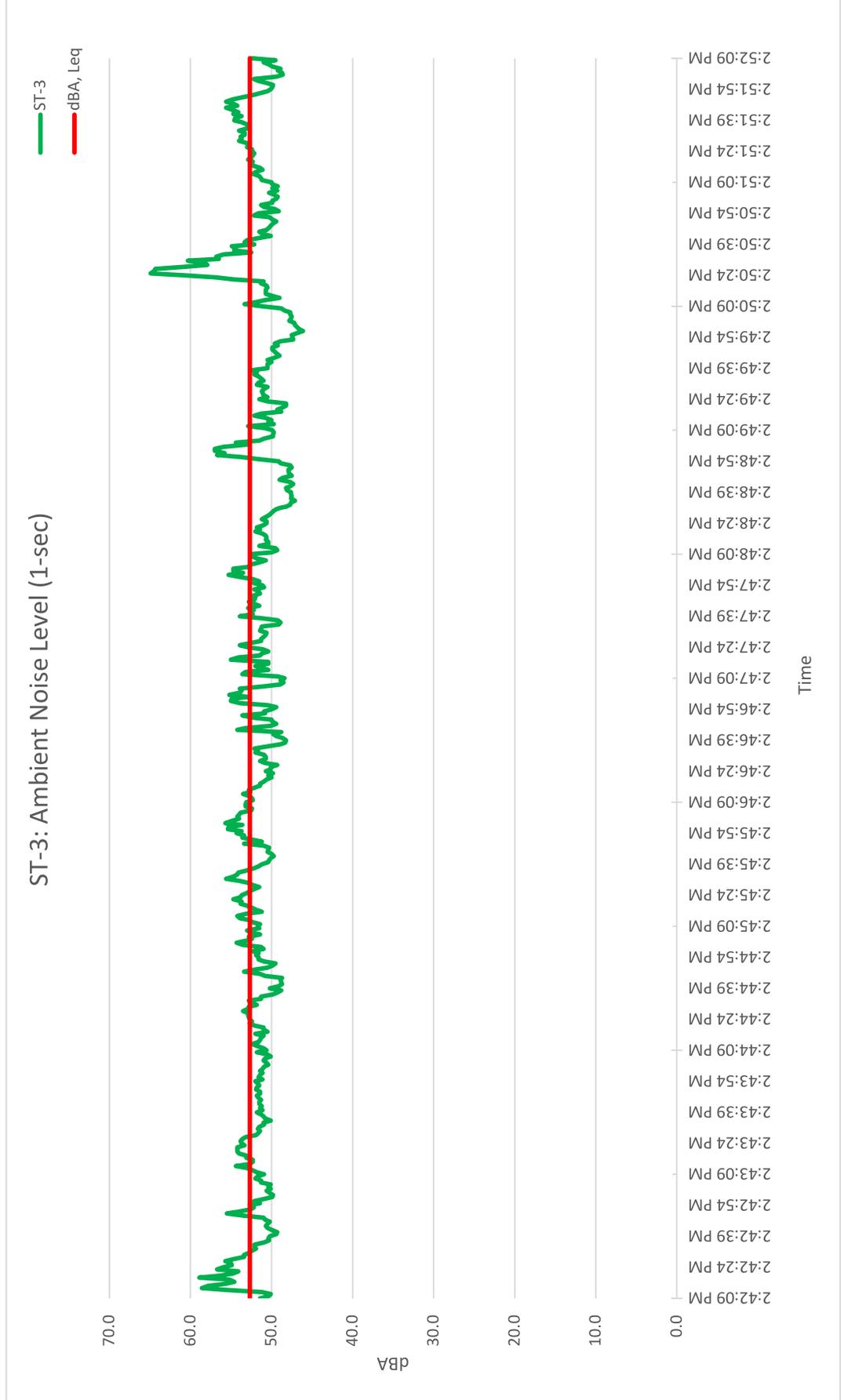
Site Address/Location: S John King Blvd & TX 276

Site ID: ST-2



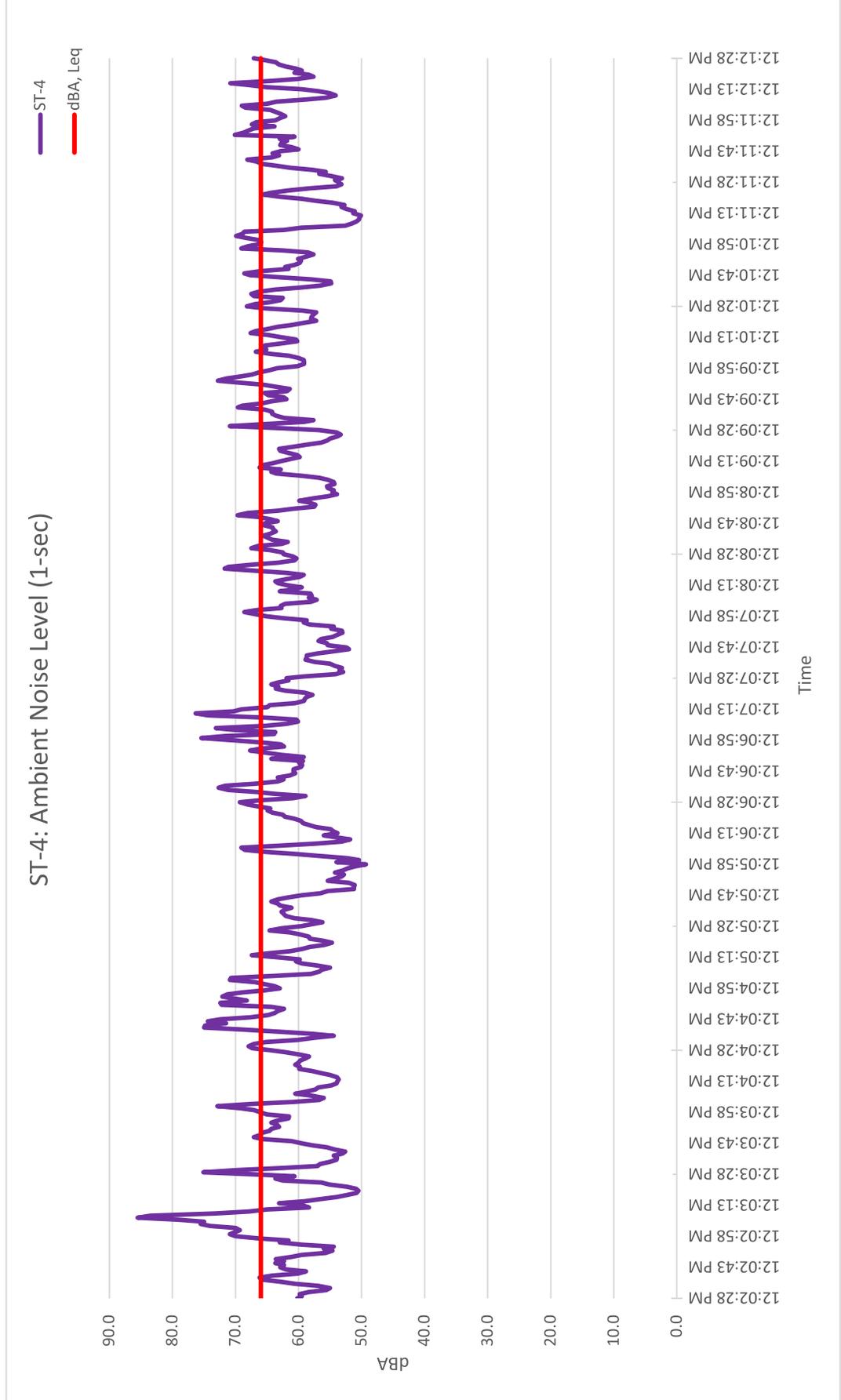
10-Minute Continuous Noise Measurement Datasheet - Cont.

Project: S John King Blvd Car Wash
Site Address/Location: S John King Blvd & TX 276
Site ID: ST-3



10-Minute Continuous Noise Measurement Datasheet - Cont.

Project: S John King Blvd Car Wash
Site Address/Location: S John King Blvd & TX 276
Site ID: ST-4



Appendix A
Noise Measurement Field Sheets

24-Hour Continuous Noise Measurement Datasheet

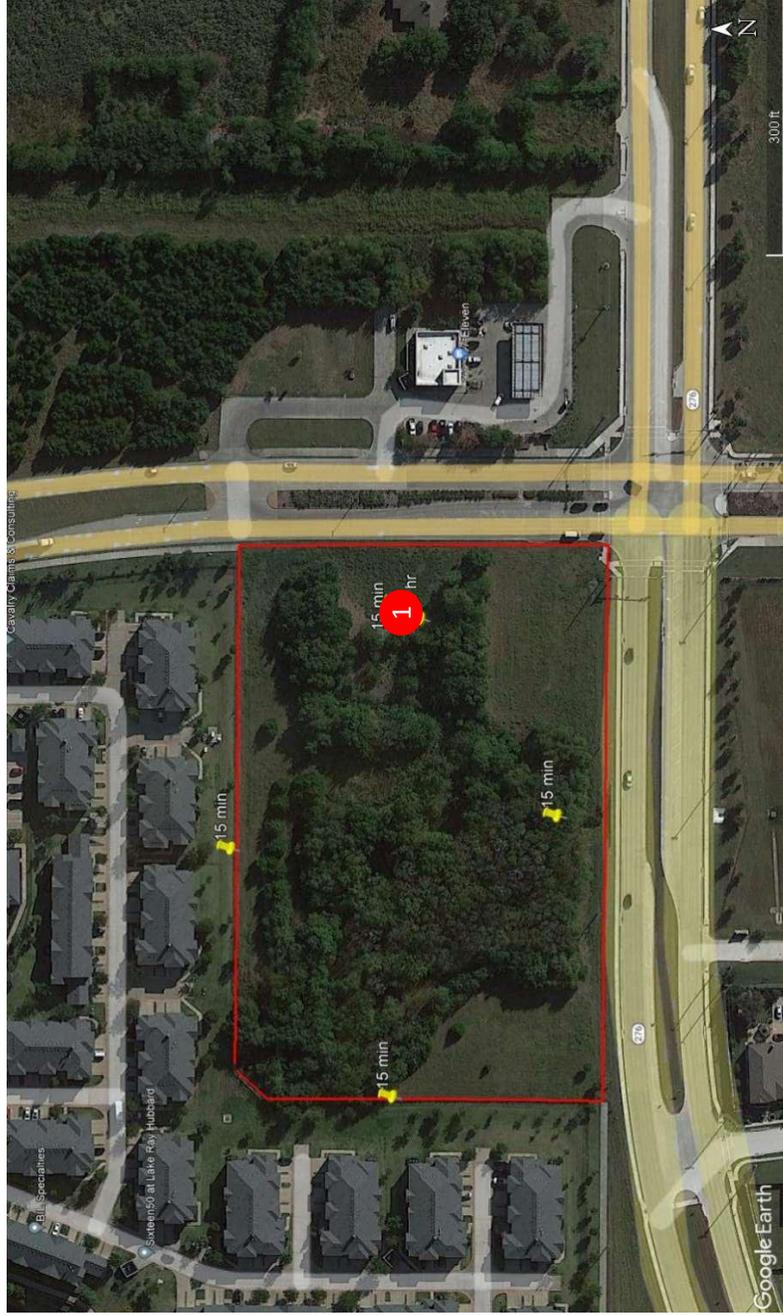
Project: S John King Blvd Car Wash
Site Observations: Heavy traffic southbound King when measurement started. Trucks, motorcycles, horns, crows.
Site Address/Location: S John King Blvd & TX 276
Date: 9/9/22-9/10/22
Field Tech/Engineer: Brandon Skinner

General Location: _____
Sound Meter: Piccolo **SN:** A2A-05967-E0
Settings: A-weighted, slow, 1-sec, 15-minute interval

Site ID: LT-1
Site Topo: Flat
Ground Type: Soft site, Open raw ground with a road

Noise Source(s) w/ Distance:
 75' from John King

Figure 1: LT-1 Monitoring Location



24-Hour Noise Measurement Datasheet - Cont.

Project: S John King Blvd Car Wash Day: 1 of 1

Site Address/Location: S John King Blvd & TX 276

Site ID: LT-1

Date	Start	Stop	Leq	Lmax	Lmin	L1	L5	L10	L50	L90
9/9/2022	3:00 PM	4:00 PM	60.3	74.6	50.6	64.2	63.5	62.6	59.7	57.5
9/9/2022	4:00 PM	5:00 PM	60.0	74.7	49.8	63.6	62.9	62.5	59.1	57.4
9/9/2022	5:00 PM	6:00 PM	62.1	76.3	51.1	68.8	67.4	66.2	60.1	56.4
9/9/2022	6:00 PM	7:00 PM	58.1	63.7	56.3	63.6	62.8	61.4	56.5	54.3
9/9/2022	7:00 PM	8:00 PM	60.0	82.9	49.6	68.4	65.1	62.0	57.0	53.8
9/9/2022	8:00 PM	9:00 PM	58.1	76.2	48.4	66.0	63.8	60.3	55.9	53.4
9/9/2022	9:00 PM	10:00 PM	56.1	74.8	47.0	63.5	59.6	56.6	54.0	52.1
9/9/2022	10:00 PM	11:00 PM	55.3	75.8	46.6	63.7	58.5	56.5	53.4	51.8
9/9/2022	11:00 PM	12:00 AM	52.8	75.8	43.5	63.4	55.7	53.6	50.3	46.8
9/10/2022	12:00 AM	1:00 AM	51.7	76.7	40.4	62.7	55.9	51.9	47.4	43.7
9/10/2022	1:00 AM	2:00 AM	52.4	72.3	39.1	62.2	59.4	55.8	46.5	42.2
9/10/2022	2:00 AM	3:00 AM	53.4	78.0	39.4	64.8	57.4	55.5	47.5	43.9
9/10/2022	3:00 AM	4:00 AM	56.1	74.4	41.9	63.9	62.0	60.2	52.7	49.2
9/10/2022	4:00 AM	5:00 AM	58.3	77.8	47.8	64.8	63.3	61.3	56.1	52.4
9/10/2022	5:00 AM	6:00 AM	61.0	79.9	51.1	67.2	65.9	62.6	59.9	56.9
9/10/2022	6:00 AM	7:00 AM	61.1	76.3	48.7	66.3	65.5	64.6	60.0	56.4
9/10/2022	7:00 AM	8:00 AM	58.9	80.4	45.4	65.9	62.8	61.3	57.3	54.6
9/10/2022	8:00 AM	9:00 AM	59.8	78.7	46.1	67.1	64.1	63.9	57.7	55.2
9/10/2022	9:00 AM	10:00 AM	59.7	83.5	47.0	68.3	63.7	61.7	56.7	54.3
9/10/2022	10:00 AM	11:00 AM	57.7	74.7	45.3	62.8	60.9	60.6	57.0	53.3
9/10/2022	11:00 AM	12:00 PM	57.4	77.1	45.0	64.8	61.0	58.8	55.9	53.4

CNEL: 64.7

24-Hour Continuous Noise Measurement Datasheet - Cont.

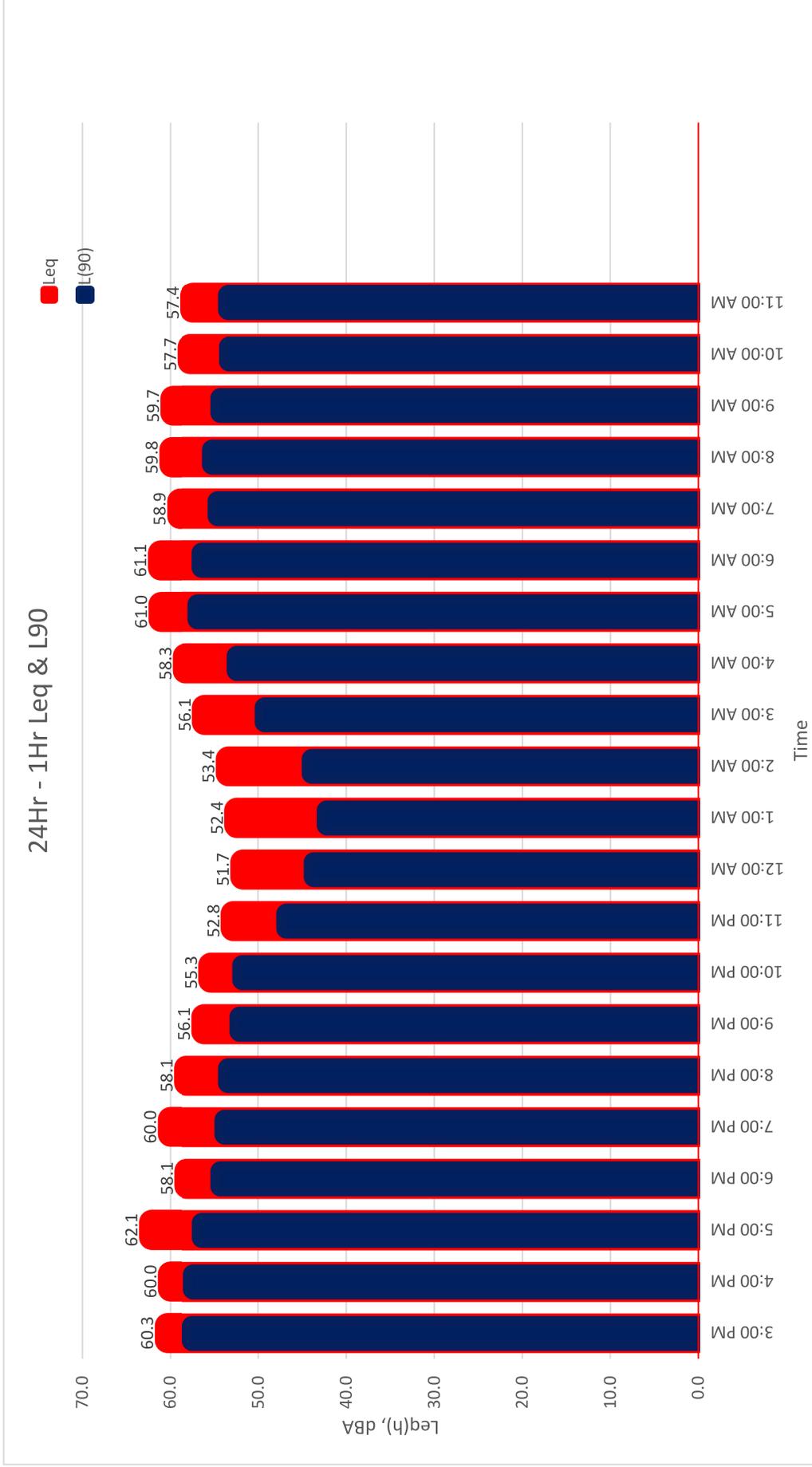
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Project: S John King Blvd Car Wash

Site Address/Location: S John King Blvd & TX 276

Site ID: LT-1

Day: 1 of 1



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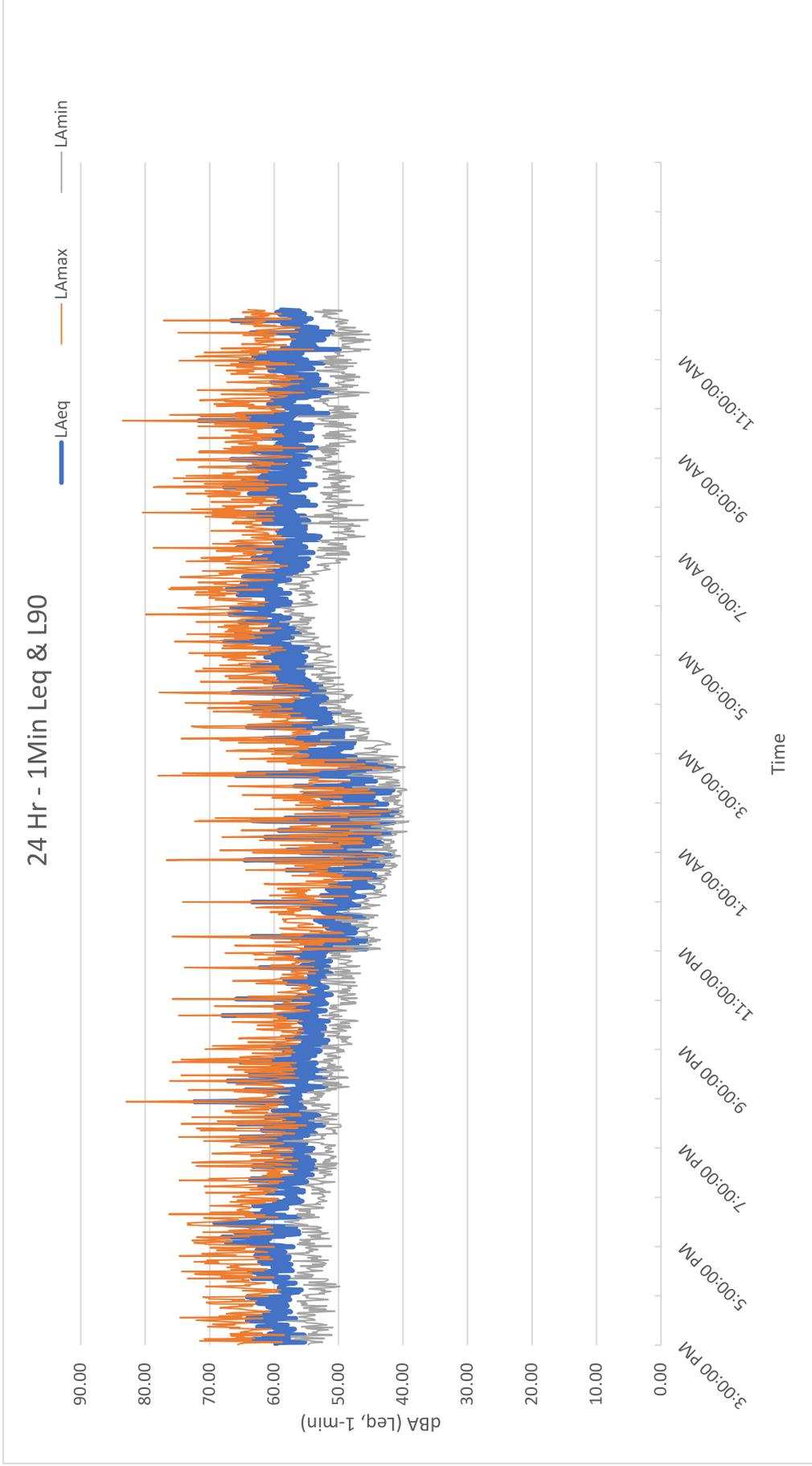
24-Hour Continuous Noise Measurement Datasheet - Cont.

Project: S John King Blvd Car Wash

Site Address/Location: S John King Blvd & TX 276

Site ID: LT-1

Day: 1 of 1



Appendix B
Sound Reference Data

80hp Predator Quiet Dryer System Specifications

Center Band Sound Frequency	63 Hz	125 Hz	250 Hz	500 Hz	1,000 Hz	2,000 Hz	4,000 Hz	8,000 Hz
Final Sound Pressure Level	49.6	58.4	71.5	73.2	70.7	69.2	63.1	53.0
Final Sound Pressure Level	47.0	55.5	68.6	70.1	67.6	66.2	60.1	49.6
Final Sound Pressure Level	45.4	53.8	66.9	68.2	65.8	64.4	58.4	47.6
Final Sound Pressure Level	44.0	52.3	65.5	66.7	64.3	62.9	56.9	46.0
Final Sound Pressure Level	42.8	51.1	64.2	65.4	63.0	61.6	55.6	44.6
Final Sound Pressure Level	41.6	49.9	63.0	64.3	61.8	60.4	54.4	43.5
Final Sound Pressure Level	40.6	48.9	62.0	63.2	60.8	59.4	53.4	42.4
Final Sound Pressure Level	39.7	48.0	61.1	62.3	59.9	58.5	52.5	41.5
Final Sound Pressure Level	38.9	47.2	60.3	61.5	59.0	57.6	51.6	40.6
Final Sound Pressure Level	38.1	46.4	59.5	60.7	58.3	56.9	50.9	39.8
Final Sound Pressure Level	37.4	45.7	58.8	60.0	57.6	56.2	50.2	39.1
Final Sound Pressure Level	36.8	45.0	58.2	59.3	56.9	55.5	49.5	38.5
Final Sound Pressure Level	36.2	44.4	57.5	58.7	56.3	54.9	48.9	37.9
Final Sound Pressure Level	35.6	43.8	57.0	58.2	55.7	54.3	48.3	37.3
Final Sound Pressure Level	35.1	43.3	56.4	57.6	55.2	53.8	47.8	36.7
Final Sound Pressure Level	34.6	42.8	55.9	57.1	54.7	53.3	47.3	36.2

Total Sound 60 Hz Results

77.6	dBa at Q=1, 5 feet
74.6	dBa at Q=1, 10 feet
72.8	dBa at Q=1, 15 feet
71.3	dBa at Q=1, 20 feet
70.0	dBa at Q=1, 25 feet
68.9	dBa at Q=1, 30 feet
67.9	dBa at Q=1, 35 feet
66.9	dBa at Q=1, 40 feet
66.1	dBa at Q=1, 45 feet
65.3	dBa at Q=1, 50 feet
64.6	dBa at Q=1, 55 feet
64.0	dBa at Q=1, 60 feet
63.4	dBa at Q=1, 65 feet
62.8	dBa at Q=1, 70 feet
62.2	dBa at Q=1, 75 feet
61.7	dBa at Q=1, 80 feet

Sound pressure values are approximated from outdoor propagation equation for planes waves given the sound power values.

* All information provided by MD Acoustics, LLC via tests performed in Cary, IL IDC facilities.

Sound Power Values

Predator Side Column	55.6	66.9	79.7	82.9	80.2	78.6	72.4	64.0
Predator Hogger Single	67.8	75.8	88.9	89.8	87.4	86.1	80.1	68.3

Lw_eq	86.9
	94.5



STEALTH PREDATOR DRYING SYSTEM



THE FIRST "ULTRA QUIET" DRYING SYSTEM

- ✓ Patent pending Reverse flow technology
- ✓ Producers constructed from 304 surgical stainless steel
- ✓ Over 11,000 cubic feet per minute (CFM) per 10HP motor
- ✓ Meets or exceeds most U.S. and International sound regulations
- ✓ Sound & Performance studies done in reverberant sound room ISO 3741:2010, 3747:2010



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Stealth Predator Ultra-Quiet Drying System Specifications

30HP System - Total Sound 60Hz

80HP System - Total Sound 60Hz

Q = sound source

65 dBA at Q=1, 30 feet

69.4 dBA at Q=1, 30 feet

61.8 dBA at Q=1, 45 feet

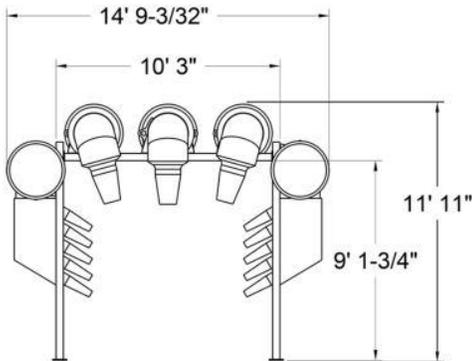
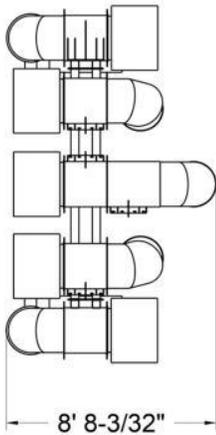
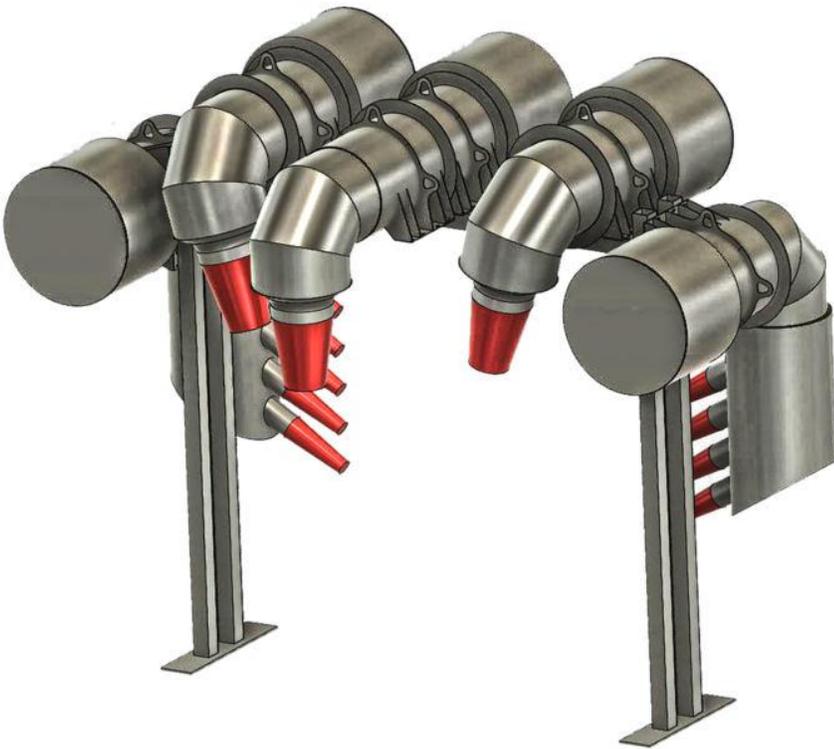
66.5 dBA at Q=1, 45 feet

60.2 dBA at Q=1, 55 feet

64.9 dBA at Q=1, 55 feet

Meets OSHA Sound Exposure Requirements

✓ The Stealth Predator features patent pending "Reverse flow air technology" which creates the first "Ultra-Quiet Dryer" and is the most powerful Ultra Quiet Dryer ever designed.



SPECIFICATIONS

15' 2" Bay Width
 12' 0" Ceiling Height
 96" Standard Clearance

Ducts-Stainless Steel
 Molded Aluminum Impellers
 Stainless Steel Motor Housings

Closed cell foam nozzles available in red, blue, black

Slotted flanges for adjustability of air outlet and air intake direction



SOUND LEVEL METER READINGS

MODEL: FT-DD-T340HP4 (40hp VACSTAR TURBINE VACUUM PRODUCER)

READING ONE: 73 DB-A, 3 FEET FROM TURBINE @ 45° ANGLE
AND NO BACKGROUND NOISE OR OUTSIDE INTERFERENCE.

READING TWO: 69 DB-A, 10 FEET FROM TURBINE @ 45° ANGLE
AND NO BACKGROUND NOISE OR OUTSIDE INTERFERENCE.

READING THREE: 54 DB-A, 20 FEET FROM TURBINE @ 45° ANGLE
AND NO BACKGROUND NOISE OR OUTSIDE INTERFERENCE.

READING FOUR: 38 DB-A, 30 FEET FROM TURBINE @ 45° ANGLE
AND NO BACKGROUND NOISE OR OUTSIDE INTERFERENCE.

NOTE: THESE READINGS WERE TAKEN OUTSIDE IN THE OPEN ON A CONCRETE SLAB.

SOUND LEVEL METER USED:

SIMPSON MODEL #40003 – MSHA APPROVED.
MEETS OSHA & WALSH-HEALY REQUIREMENTS FOR NOISE CONTROL.
CONFORMS TO ANSI S1.4-1983, IEC 651 SPECS FOR METER TYPE.

Vacutech
1350 Hi-Tech Drive, Sheridan WY, 82801
PHONE: (800) 917-9444 FAX: (303) 675-1988
EMAIL: info@vacutechllc
WEB SITE: vacutechllc.com

Project: SuperStar Car Wash Chulia Vista
Site Location: 1555 W Warner Rd, Gilbert, AZ 85233
Date: 4/5/2018
Field Tech/Engineer: Robert Pearson
Source/System: Vacutec System

Location: Vac Bay 1
Sound Meter: NTI XL2
Settings: A-weighted, slow, 1-sec, 10-sec duration
Meteorological Cond.: 80 degrees F, 2 mph wind

Site Observations:

Clear sky, measurements were performed within 1.5ft of source. Measurements were performed while the vacuum was positioned at three (3) different positions. Holstered, unholstered and inside a car. This data is utilized for acoustic modeling purposes and represents an average sound level at a vacuum station.

Table 1: Summary Measurement Data

Source	System	Overall dB(A)	3rd Octave Band Data (dB)																														
			20	25	31.5	40	50	63	80	100	125	160	200	250	315	400	500	630	800	1K	1.25K	1.6K	2K	2.5K	3.15K	4K	5K	6.3K	8K	10K	12.5K	16K	20K
Vacutec (Holstered)	Vacuum	63.3	9	17	22	29	31	35	40	41	44	43	46	48	47	49	51	51	51	52	53	52	52	50	52	53	50	47	48	45	39	30	
Vacutec (Unholstered)	Vacuum	80.7	6	19	22	28	34	37	40	43	47	46	48	48	48	49	54	55	58	62	65	68	70	74	75	73	69	67	65	60	55		
Vacutec (Inside Car)	Vacuum	69.6	16	28	31	38	42	45	49	51	52	55	60	61	57	55	59	53	55	56	54	57	57	57	57	55	54	51	48	46	42	36	
Average Level*	Vacuum	76.3	13	24	28	34	38	41	45	47	49	51	56	57	53	52	56	54	56	56	59	61	64	66	69	70	68	64	62	60	58	55	50

* Refers to the logarithmic average of all measurements. This measurement represents an average of the multiple vacuum positions.

Figure 1: Example Measurement Position



Figure 1: Holstered

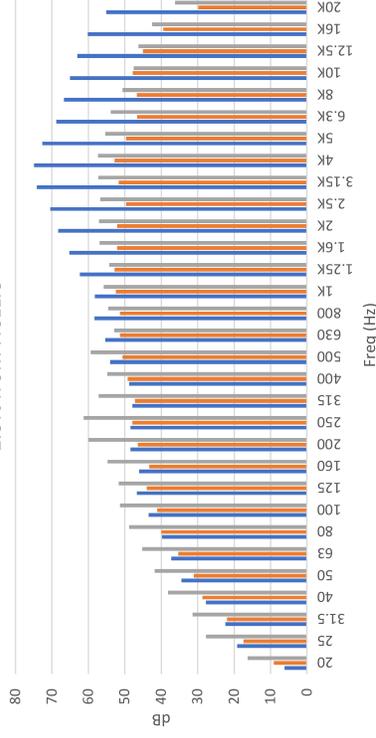


Figure 2: Unholstered



Figure 3: Inside Car

1.5ft from Nozzle



Appendix C
SoundPLAN Inputs/Outputs

S John King Blvd & 276 Rockwall TX
Contribution level - 001 - 120HP IDC - Standard: Outdoor SP

9

Source	Source group	Source type	Fr. lane	Leq,d dB(A)	A dB	
Receiver R1 FIG Lr,lim dB(A) Leq,d 32.1 dB(A) Sigma(Leq,d) 0.0 dB(A)						
Vac	Default industrial noise	Point		15.4	0.0	
Vac	Default industrial noise	Point		15.4	0.0	
Vac	Default industrial noise	Point		15.3	0.0	
Vac	Default industrial noise	Point		15.2	0.0	
Vac	Default industrial noise	Point		15.1	0.0	
Vac	Default industrial noise	Point		15.0	0.0	
Vac	Default industrial noise	Point		14.9	0.0	
Vac	Default industrial noise	Point		14.8	0.0	
Vac	Default industrial noise	Point		14.6	0.0	
Vac	Default industrial noise	Point		14.5	0.0	
Vac	Default industrial noise	Point		14.4	0.0	
Vac	Default industrial noise	Point		14.3	0.0	
Vac	Default industrial noise	Point		12.4	0.0	
Vac	Default industrial noise	Point		15.2	0.0	
Vac	Default industrial noise	Point		15.1	0.0	
Vac	Default industrial noise	Point		15.0	0.0	
Vac	Default industrial noise	Point		14.9	0.0	
Vac	Default industrial noise	Point		14.8	0.0	
Vac	Default industrial noise	Point		14.7	0.0	
Vac	Default industrial noise	Point		14.6	0.0	
Vac	Default industrial noise	Point		14.5	0.0	
Vac	Default industrial noise	Point		14.4	0.0	
Vac	Default industrial noise	Point		14.3	0.0	
Vac	Default industrial noise	Point		14.2	0.0	
Turbine	Default industrial noise	Point		-0.9	0.0	
001 - 120HP IDC Standard Tunnel-Roof 01	Default industrial noise	Area		2.1	0.0	
001 - 120HP IDC Standard Tunnel-Facade 01	Default industrial noise	Area		-2.2	0.0	
001 - 120HP IDC Standard Tunnel-Facade 02	Default industrial noise	Area		-10.8	0.0	
001 - 120HP IDC Standard Tunnel-Transmissive area 01	Default industrial noise	Area		22.7	0.0	
001 - 120HP IDC Standard Tunnel-Facade 03	Default industrial noise	Area		0.3	0.0	
001 - 120HP IDC Standard Tunnel-Facade 04	Default industrial noise	Area		-7.1	0.0	
001 - 120HP IDC Standard Tunnel-Transmissive area 01	Default industrial noise	Area		28.4	0.0	
Receiver R2 FIG Lr,lim dB(A) Leq,d 52.9 dB(A) Sigma(Leq,d) 0.0 dB(A)						
Vac	Default industrial noise	Point		14.5	0.0	
Vac	Default industrial noise	Point		14.4	0.0	
Vac	Default industrial noise	Point		14.4	0.0	
Vac	Default industrial noise	Point		14.6	0.0	

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S John King Blvd & 276 Rockwall TX
Contribution level - 001 - 120HP IDC - Standard: Outdoor SP

9

Source	Source group	Source type	Per. lane	Leq,d dB(A)	A dB	
Vac	Default industrial noise	Point		14.7	0.0	
Vac	Default industrial noise	Point		14.9	0.0	
Vac	Default industrial noise	Point		15.1	0.0	
Vac	Default industrial noise	Point		15.4	0.0	
Vac	Default industrial noise	Point		15.8	0.0	
Vac	Default industrial noise	Point		16.4	0.0	
Vac	Default industrial noise	Point		17.8	0.0	
Vac	Default industrial noise	Point		21.9	0.0	
Vac	Default industrial noise	Point		21.0	0.0	
Vac	Default industrial noise	Point		20.9	0.0	
Vac	Default industrial noise	Point		20.5	0.0	
Vac	Default industrial noise	Point		20.4	0.0	
Vac	Default industrial noise	Point		20.4	0.0	
Vac	Default industrial noise	Point		20.3	0.0	
Vac	Default industrial noise	Point		20.4	0.0	
Vac	Default industrial noise	Point		20.4	0.0	
Vac	Default industrial noise	Point		20.4	0.0	
Vac	Default industrial noise	Point		17.9	0.0	
Vac	Default industrial noise	Point		19.3	0.0	
Vac	Default industrial noise	Point		21.4	0.0	
Vac	Default industrial noise	Point		29.7	0.0	
Turbine	Default industrial noise	Point		3.3	0.0	
001 - 120HP IDC Standard Tunnel-Roof 01	Default industrial noise	Area		12.9	0.0	
001 - 120HP IDC Standard Tunnel-Facade 01	Default industrial noise	Area		8.2	0.0	
001 - 120HP IDC Standard Tunnel-Facade 02	Default industrial noise	Area		11.3	0.0	
001 - 120HP IDC Standard Tunnel-Transmissive area 01	Default industrial noise	Area		52.9	0.0	
001 - 120HP IDC Standard Tunnel-Facade 03	Default industrial noise	Area		17.0	0.0	
001 - 120HP IDC Standard Tunnel-Facade 04	Default industrial noise	Area		-5.0	0.0	
001 - 120HP IDC Standard Tunnel-Transmissive area 01	Default industrial noise	Area		28.9	0.0	
Receiver R3 FI G Lr,lim dB(A) Leq,d 50.9 dB(A) Sigma(Leq,d) 0.0 dB(A)						
Vac	Default industrial noise	Point		26.6	0.0	
Vac	Default industrial noise	Point		26.8	0.0	
Vac	Default industrial noise	Point		27.1	0.0	
Vac	Default industrial noise	Point		27.4	0.0	
Vac	Default industrial noise	Point		27.7	0.0	
Vac	Default industrial noise	Point		28.1	0.0	
Vac	Default industrial noise	Point		28.4	0.0	
Vac	Default industrial noise	Point		28.7	0.0	
Vac	Default industrial noise	Point		29.1	0.0	

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Source	Source group	Source type	Per. lane	Leq,d dB(A)	A dB	
Vac	Default industrial noise	Point		29.5	0.0	
Vac	Default industrial noise	Point		29.9	0.0	
Vac	Default industrial noise	Point		30.3	0.0	
Vac	Default industrial noise	Point		28.0	0.0	
Vac	Default industrial noise	Point		26.6	0.0	
Vac	Default industrial noise	Point		26.9	0.0	
Vac	Default industrial noise	Point		27.2	0.0	
Vac	Default industrial noise	Point		27.5	0.0	
Vac	Default industrial noise	Point		27.8	0.0	
Vac	Default industrial noise	Point		28.1	0.0	
Vac	Default industrial noise	Point		28.5	0.0	
Vac	Default industrial noise	Point		28.8	0.0	
Vac	Default industrial noise	Point		29.2	0.0	
Vac	Default industrial noise	Point		29.5	0.0	
Vac	Default industrial noise	Point		29.9	0.0	
Turbine	Default industrial noise	Point		8.2	0.0	
001 - 120HP IDC Standard Tunnel-Roof 01	Default industrial noise	Area		8.0	0.0	
001 - 120HP IDC Standard Tunnel-Facade 01	Default industrial noise	Area		9.1	0.0	
001 - 120HP IDC Standard Tunnel-Facade 02	Default industrial noise	Area		8.8	0.0	
001 - 120HP IDC Standard Tunnel-Transmissive area 01	Default industrial noise	Area		50.3	0.0	
001 - 120HP IDC Standard Tunnel-Facade 03	Default industrial noise	Area		9.6	0.0	
001 - 120HP IDC Standard Tunnel-Facade 04	Default industrial noise	Area		-11.7	0.0	
001 - 120HP IDC Standard Tunnel-Transmissive area 01	Default industrial noise	Area		20.3	0.0	
Receiver R3 FIG Lr,lim dB(A) Leq,d 47.6 dB(A) Sigma(Leq,d) 0.0 dB(A)						
Vac	Default industrial noise	Point		28.6	0.0	
Vac	Default industrial noise	Point		29.6	0.0	
Vac	Default industrial noise	Point		29.5	0.0	
Vac	Default industrial noise	Point		28.9	0.0	
Vac	Default industrial noise	Point		29.3	0.0	
Vac	Default industrial noise	Point		29.2	0.0	
Vac	Default industrial noise	Point		29.2	0.0	
Vac	Default industrial noise	Point		29.3	0.0	
Vac	Default industrial noise	Point		29.4	0.0	
Vac	Default industrial noise	Point		29.4	0.0	
Vac	Default industrial noise	Point		29.4	0.0	
Vac	Default industrial noise	Point		29.5	0.0	
Vac	Default industrial noise	Point		28.8	0.0	
Vac	Default industrial noise	Point		28.9	0.0	

S John King Blvd & 276 Rockwall TX
Contribution level - 001 - 120HP IDC - Standard: Outdoor SP

9

Source	Source group	Source type	Per. lane	Leq,d dB(A)	A dB
Vac	Default industrial noise	Point		29.1	0.0
Vac	Default industrial noise	Point		29.2	0.0
Vac	Default industrial noise	Point		29.3	0.0
Vac	Default industrial noise	Point		29.5	0.0
Vac	Default industrial noise	Point		29.5	0.0
Vac	Default industrial noise	Point		29.6	0.0
Vac	Default industrial noise	Point		29.7	0.0
Vac	Default industrial noise	Point		29.7	0.0
Vac	Default industrial noise	Point		29.8	0.0
Vac	Default industrial noise	Point		29.8	0.0
Turbine	Default industrial noise	Point		11.2	0.0
001 - 120HP IDC Standard Tunnel-Roof 01	Default industrial noise	Area		4.9	0.0
001 - 120HP IDC Standard Tunnel-Facade 01	Default industrial noise	Area		3.2	0.0
001 - 120HP IDC Standard Tunnel-Facade 02	Default industrial noise	Area		4.3	0.0
001 - 120HP IDC Standard Tunnel-Transmissive area 01	Default industrial noise	Area		45.6	0.0
001 - 120HP IDC Standard Tunnel-Facade 03	Default industrial noise	Area		0.2	0.0
001 - 120HP IDC Standard Tunnel-Facade 04	Default industrial noise	Area		-7.9	0.0
001 - 120HP IDC Standard Tunnel-Transmissive area 01	Default industrial noise	Area		26.7	0.0

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**S John King Blvd & 276 Rockwall TX
Octave spectra of the sources in dB(A) - 001 - 120HP IDC - Standard: Outdoor SP**

Name	Source type	I or A m _r ,m ²	Li dB(A)	R'w dB	L'w dB(A)	Lw dB(A)	KI dB	KT dB	LwMax dB(A)	DO-Wall dB	Time histogram	Emission spectrum	63Hz dB(A)	125Hz dB(A)	250Hz dB(A)	500Hz dB(A)	1kHz dB(A)	2kHz dB(A)	4kHz dB(A)	8kHz dB(A)	16kHz dB(A)
001 - 120HP IDC Standard Tunnel-Facade 01	Area	251.57	86.1	57.0	37.5	61.5	0.0	0.0		3	100%/24h	17_Facade 01_	54.1	48.2	59.2	53.9	41.1	34.6	24.3	11.7	
001 - 120HP IDC Standard Tunnel-Facade 02	Area	32.63	88.7	57.0	39.6	54.7	0.0	0.0		3	100%/24h	18_Facade 02_	47.7	41.9	52.1	47.5	35.7	29.6	19.5	7.8	
001 - 120HP IDC Standard Tunnel-Facade 03	Area	251.57	86.1	57.0	37.5	61.5	0.0	0.0		3	100%/24h	19_Facade 03_	54.1	48.2	59.2	53.9	41.1	34.6	24.3	11.7	
001 - 120HP IDC Standard Tunnel-Facade 04	Area	32.63	81.7	57.0	34.5	49.6	0.0	0.0		3	100%/24h	20_Facade 04_	40.8	34.5	48.1	40.9	22.5	6.5	-13.6		
001 - 120HP IDC Standard Tunnel-Roof 01	Area	333.18	85.7	57.0	37.2	62.4	0.0	0.0		0	100%/24h	15_Roof 01_	54.9	49.1	60.1	54.8	42.0	35.4	25.2	12.7	
001 - 120HP IDC Standard Tunnel-Transmissive area 01	Area	7.43	88.9	0.0	88.9	97.6	0.0	0.0		3	100%/24h	53_Transmissive area 01_	71.4	79.7	91.9	93.3	90.5	88.4	81.4	68.0	
001 - 120HP IDC Standard Tunnel-Transmissive area 01	Area	7.43	81.6	0.0	81.6	90.3	0.0	0.0		3	100%/24h	54_Transmissive area 01_	64.2	71.9	87.6	86.4	77.0	65.1	48.0	26.7	
Turbine	Point				72.6	72.6	0.0	0.0		0	100%/24h	Vacutech Turbine	47.3	57.5	54.5	51.9	55.8	59.5	66.1	69.3	65.0
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0															

S John King Blvd & 276 Rockwall TX

Octave spectra of the sources in dB(A) - 001 - 120HP IDC - Standard: Outdoor SP

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Name	Source type	I or A m,m ²	Li dB(A)	R'w dB	L'w dB(A)	Lw dB(A)	KI dB	KT dB	LwMax dB(A)	DO-Wall dB	Time histogram	Emission spectrum	63Hz dB(A)	125Hz dB(A)	250Hz dB(A)	500Hz dB(A)	1kHz dB(A)	2kHz dB(A)	4kHz dB(A)	8kHz dB(A)	16kHz dB(A)
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2
Vac	Point				81.0	81.0	0.0	0.0		0	100%/24h	Vacutech - in car	62.4	69.2	75.8	72.6	71.3	73.2	72.6	67.8	59.2

MD Acoustics 1197 E Los Angeles Ave, Unit C 256 Simi Valley, CA 93065 USA

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S John King Blvd & 276 Rockwall TX
 Contribution spectra - 001 - 120HP IDC - Standard: Outdoor SP

Source	Time slice	Sum	25Hz	31.5Hz	40Hz	50Hz	63Hz	80Hz	100Hz	125Hz	160Hz	200Hz	250Hz	315Hz	400Hz	500Hz	630Hz	800Hz	1kHz	1.25kHz	1.6kHz	2kHz	2.5kHz	3.15kHz	4kHz	5kHz	6.3kHz	8kHz	10kHz	
		dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	
Receiver: R1		FIG LrLim: dB(A) Leq,d 32.1 dB(A) Sigma(Leq,d) 0.0 dB(A)																												
001 - 120HP IDC Standard	Leq,d	-2.2																												
Tunnel-Facade 01	Leq,d	14.6	-13.9	-11.3	-4.7	-1.2	1.3	4.7	-12.2	-10.6	-10.2	-12.7	-14.2	-15.5	-18.5	-21.0	-17.9	-16.7	-14.2	-13.5	-14.0	-16.9	-13.3	-13.3	-15.0	-16.6	-22.4	-16.3	-19.9	-28.8
001 - 120HP IDC Standard	Leq,d	14.7	-13.8	-11.1	-4.6	-1.0	1.4	4.8	2.4	2.5	4.5	7.3	7.3	2.3	2.2	2.2	4.9	-3.6	-3.6	-6.8	-3.3	-4.7	-6.4	-8.4	-11.0	-16.6	-22.4	-31.7	-43.3	
Tunnel-Facade 02	Leq,d	0.3																												
001 - 120HP IDC Standard	Leq,d	14.8	-13.6	-11.0	-4.4	-0.9	1.5	4.9	2.5	2.6	4.6	7.4	7.4	2.4	2.4	2.4	4.7	-3.4	-3.5	-6.6	-3.2	-4.6	-6.2	-8.2	-10.7	-16.1	-21.8	-30.5	-41.6	
Tunnel-Facade 03	Leq,d	14.9	-13.5	-10.9	-4.3	-0.8	1.7	5.0	2.7	2.8	4.8	7.5	7.5	2.4	2.4	2.4	4.6	-3.3	-3.4	-6.6	-3.1	-4.5	-6.1	-8.0	-10.6	-15.9	-21.4	-29.9	-40.8	
001 - 120HP IDC Standard	Leq,d	14.2	-14.5	-11.8	-5.2	-1.7	0.8	4.2	1.7	1.8	3.9	6.8	6.8	1.8	1.2	1.8	-5.2	-3.8	-3.9	-7.1	-3.6	-5.0	-6.8	-8.9	-11.7	-17.5	-23.7	-34.1	-46.5	
Tunnel-Facade 04	Leq,d	14.3	-14.3	-11.7	-5.1	-1.6	0.9	4.3	1.8	2.0	4.1	6.9	6.9	1.9	1.1	1.9	-5.1	-3.8	-3.8	-7.0	-3.5	-5.0	-6.7	-8.8	-11.5	-17.2	-23.4	-33.6	-45.7	
001 - 120HP IDC Standard	Leq,d	14.4	-14.2	-11.6	-5.0	-1.4	1.0	4.4	1.9	2.1	4.2	7.0	7.0	2.0	1.0	2.0	-5.0	-3.7	-3.8	-6.9	-3.5	-4.9	-6.6	-8.7	-11.4	-17.0	-23.1	-33.0	-44.9	
Tunnel-Transmissive area 01	Leq,d	14.5	-14.0	-11.4	-4.8	-1.3	1.2	4.5	2.1	2.2	4.3	7.1	7.1	2.1	0.9	2.1	-5.0	-3.6	-3.7	-6.9	-3.4	-4.8	-6.5	-8.5	-11.2	-16.8	-22.7	-32.4	-44.1	
001 - 120HP IDC Standard	Leq,d	15.1	-13.2	-10.6	-4.1	-0.6	1.9	5.2	2.9	2.9	4.9	7.6	7.6	2.5	0.5	2.4	4.6	-3.2	-3.3	-6.5	-3.0	-4.4	-6.0	-7.9	-10.4	-15.7	-21.1	-29.5	-40.3	
Tunnel-Transmissive area 01	Leq,d	15.0	-13.4	-10.8	-4.2	-0.7	1.7	5.1	2.7	2.8	4.8	7.5	7.5	2.4	0.6	2.4	4.7	-3.3	-3.4	-6.5	-3.1	-4.5	-6.1	-8.0	-10.6	-15.9	-21.6	-30.1	-41.1	
001 - 120HP IDC Standard	Leq,d	14.9	-13.5	-10.9	-4.3	-0.8	1.6	5.0	2.6	2.7	4.7	7.4	7.4	2.3	0.7	2.3	4.7	-3.4	-3.5	-6.6	-3.2	-4.5	-6.2	-8.2	-10.7	-16.2	-21.9	-30.7	-42.0	
Tunnel-Facade 01	Leq,d	14.8	-13.6	-11.0	-4.4	-0.9	1.5	4.9	2.5	2.6	4.6	7.3	7.3	2.2	0.8	2.2	4.8	-3.4	-3.5	-6.7	-3.2	-4.6	-6.3	-8.3	-10.9	-16.4	-22.2	-31.3	-42.8	
001 - 120HP IDC Standard	Leq,d	15.4	-12.7	-10.1	-3.6	-0.1	2.3	5.6	3.4	3.4	5.3	8.0	7.9	2.8	0.2	2.7	4.3	-3.0	-3.1	-6.2	-2.8	-4.1	-5.7	-7.5	-9.9	-14.9	-19.2	-27.0	-37.0	
Tunnel-Facade 01	Leq,d	15.4	-12.8	-10.2	-3.7	-0.2	2.2	5.5	3.3	3.3	5.3	7.9	7.8	2.7	0.3	2.7	4.4	-3.1	-3.1	-6.3	-2.8	-4.2	-5.7	-7.6	-10.0	-15.1	-19.7	-27.6	-37.8	
001 - 120HP IDC Standard	Leq,d	15.3	-12.9	-10.3	-3.8	-0.3	2.1	5.4	3.1	3.2	5.2	7.8	7.7	2.7	0.4	2.6	4.5	-3.1	-3.2	-6.3	-2.9	-4.2	-5.8	-7.7	-10.1	-15.3	-20.1	-28.2	-38.6	
Tunnel-Facade 01	Leq,d	15.2	-13.1	-10.5	-3.9	-0.4	2.0	5.3	3.0	3.1	5.0	7.7	7.7	2.6	0.4	2.5	4.5	-3.2	-3.3	-6.4	-3.0	-4.3	-5.9	-7.8	-10.3	-15.5	-20.6	-28.9	-39.5	
001 - 120HP IDC Standard	Leq,d	12.4	-14.0	-11.7	-5.6	-2.5	0.5	0.1	0.1	0.1	2.1	4.7	4.7	0.3	-3.2	-0.2	-7.3	-5.8	-5.9	-9.0	-5.6	-6.9	-8.5	-9.6	-11.1	-15.3	-19.5	-27.4	-37.5	
Tunnel-Facade 01	Leq,d	15.2	-13.0	-10.4	-3.9	-0.4	2.0	5.3	3.1	3.1	5.1	7.8	7.7	2.7	0.4	2.6	4.5	-3.2	-3.2	-6.4	-2.9	-4.3	-5.8	-7.7	-10.1	-15.3	-20.0	-28.0	-38.3	
001 - 120HP IDC Standard	Leq,d	15.1	-13.1	-10.6	-4.0	-0.5	1.9	5.2	3.0	3.0	5.0	7.7	7.7	2.6	0.4	2.5	4.5	-3.2	-3.3	-6.4	-3.0	-4.3	-5.9	-7.8	-10.2	-15.5	-20.4	-28.6	-39.1	
Tunnel-Facade 01	Leq,d	15.0	-13.3	-10.7	-4.1	-0.6	1.8	5.1	2.8	2.9	4.9	7.6	7.6	2.5	0.5	2.5	4.6	-3.3	-3.4	-6.5	-3.1	-4.4	-6.0	-7.9	-10.4	-15.7	-20.9	-29.3	-39.9	
001 - 120HP IDC Standard	Leq,d	14.6	-13.8	-11.2	-4.6	-1.1	1.4	4.7	2.3	2.4	4.5	7.2	7.2	2.2	0.9	2.1	4.9	-3.5	-3.6	-6.7	-3.3	-4.7	-6.4	-8.4	-11.0	-16.6	-22.5	-32.0	-43.6	

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Source	Time slice	Sum	25Hz	31.5Hz	40Hz	50Hz	63Hz	80Hz	100Hz	125Hz	160Hz	200Hz	250Hz	315Hz	400Hz	500Hz	630Hz	800Hz	1kHz	1.25kHz	1.6kHz	2kHz	2.5kHz	3.15kHz	4kHz	5kHz	6.3kHz	8kHz	10kHz		
		dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)		
Vac	Leq,d	14.5	-13.9	-11.3	-4.7	-1.2	1.3	4.6	2.2	2.3	4.3	7.1	7.1	7.1	2.1	-0.9	2.0	-5.0	-3.6	-3.7	-6.8	-3.4	-4.8	-6.5	-8.5	-11.2	-16.8	-22.8	-32.6	-44.4	
Vac	Leq,d	14.4	-14.1	-11.4	-4.8	-1.3	1.2	4.5	2.0	2.2	4.2	7.0	7.0	7.0	2.0	-1.0	2.0	-5.1	-3.7	-3.7	-6.9	-3.4	-4.9	-6.6	-8.6	-11.4	-17.0	-23.1	-33.2	-45.2	
Vac	Leq,d	14.3	-14.2	-11.6	-5.0	-1.4	1.0	4.4	1.9	2.0	4.1	6.9	6.9	6.9	1.9	-1.1	1.9	-5.1	-3.7	-3.8	-7.0	-3.5	-4.9	-6.7	-8.8	-11.5	-17.3	-23.5	-33.8	-46.0	
Receiver R2		Leq,d	52.9	52.9	52.9	52.9	52.9	52.9	52.9	52.9	52.9	52.9	52.9	52.9	52.9	52.9	52.9	52.9	52.9	52.9	52.9	52.9	52.9	52.9	52.9	52.9	52.9	52.9	52.9	52.9	
FIG. Lr,lim		dB(A)	52.9	52.9	52.9	52.9	52.9	52.9	52.9	52.9	52.9	52.9	52.9	52.9	52.9	52.9	52.9	52.9	52.9	52.9	52.9	52.9	52.9	52.9	52.9	52.9	52.9	52.9	52.9	52.9	
Sigma(Leq,d)		0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
001 - 120HP IDC Standard	Leq,d	8.2					6.5						2.0																		
Tunnel-Facade 01	Leq,d	11.3				7.9						6.1																			
001 - 120HP IDC Standard	Leq,d	17.0				13.5						12.2																			
Tunnel-Facade 02	Leq,d	-5.0				-7.7						-9.3																			
001 - 120HP IDC Standard	Leq,d	12.9				7.3						10.1																			
Tunnel-Facade 03	Leq,d	52.9				31.6						44.5																			
001 - 120HP IDC Standard	Leq,d	28.9				14.7						26.7																			
Tunnel-Facade 04	Leq,d	3.3				-23.2						-15.5																			
001 - 120HP IDC Standard	Leq,d	20.4	-10.6	-8.1	-1.5	1.9	4.3	7.6	6.0	6.1	8.0	9.9	9.6	4.2	0.9	3.7	-3.6	-1.8	9.2	-10.5	-7.8	-6.8	-7.2	-10.1	-6.5	-7.0	-9.4	-11.9	-16.2	-25.0	
Tunnel-Transmissive area 01	Leq,d	20.4	-11.0	-8.5	-1.9	1.5	3.9	7.2	5.6	5.6	7.5	9.6	9.3	4.0	0.7	3.5	-3.8	-2.2	9.3	7.0	11.3	10.7	10.7	9.8	8.4	6.2	0.9	-5.1	-15.2	-26.9	
001 - 120HP IDC Standard	Leq,d	20.3	-11.3	-8.8	-2.2	1.2	3.6	6.9	5.2	5.3	7.2	9.5	9.1	3.8	0.5	3.3	-3.9	-2.5	9.4	7.1	11.5	10.9	10.9	10.0	8.6	6.4	1.1	-4.8	-14.9	-26.8	
Tunnel-Facade 01	Leq,d	20.4	-11.5	-9.0	-2.5	1.0	3.4	6.7	5.0	5.0	6.9	9.3	9.0	3.7	0.4	3.2	-4.0	-2.7	9.6	7.3	11.6	11.0	11.0	10.2	8.8	6.7	1.4	-4.5	-14.5	-26.7	
001 - 120HP IDC Standard	Leq,d	21.4	-9.1	-6.3	0.5	4.2	6.9	10.5	9.4	10.0	12.4	12.3	12.5	13.1	11.4	15.3	9.3	16.8	17.7	15.6	19.9	19.6	19.3	18.7	17.7	14.3	11.1	4.8	-3.0	-22.0	
Tunnel-Facade 02	Leq,d	19.3	-9.5	-6.9	-0.2	3.4	5.9	9.3	8.0	8.2	10.4	11.0	10.9	5.7	2.7	5.6	-1.5	2.7	2.7	-0.4	2.9	1.7	0.4	-1.0	-2.6	-6.7	-10.5	-17.4	-25.7		
001 - 120HP IDC Standard	Leq,d	17.9	-10.1	-7.5	-1.0	2.5	4.9	8.3	6.8	6.9	8.8	10.2	9.9	4.6	1.4	4.1	-3.2	-0.9	-1.2	-4.4	-1.3	-2.6	-4.1	-5.1	-6.3	-10.0	-13.5	-20.0	-28.1		
Tunnel-Transmissive area 01	Leq,d	14.7	-12.2	-9.8	-3.4	-0.2	2.0	5.0	3.4	3.3	5.0	7.1	6.7	1.3	-2.0	0.7	-6.5	-5.0	-5.2	-8.1	-4.1	-4.5	-4.9	-5.6	-6.5	-9.9	-13.0	-19.2	-26.8		
001 - 120HP IDC Standard	Leq,d	14.9	-12.0	-9.6	-3.3	0.0	2.1	5.2	3.6	3.5	5.2	7.3	6.9	1.5	-1.8	0.9	-6.3	-4.8	-5.0	-7.8	-3.9	-4.3	-4.7	-5.4	-6.3	-9.7	-12.8	-15.3	-25.4		
Tunnel-Facade 03	Leq,d	15.1	-11.8	-9.4	-3.1	0.1	2.3	5.4	3.9	3.7	5.4	7.5	7.1	1.7	-1.6	1.1	-6.2	-4.6	-4.8	-7.6	-3.7	-4.0	-4.5	-5.1	-6.1	-9.4	-12.5	-18.5	-25.9		
001 - 120HP IDC Standard	Leq,d	15.4	-11.6	-9.2	-2.9	0.4	2.6	5.6	4.2	4.0	5.8	7.7	7.3	1.9	-1.4	1.3	-6.0	-4.3	-4.5	-7.2	-3.4	-3.8	-4.3	-4.9	-5.8	-9.2	-12.2	-18.2	-25.5		
Tunnel-Facade 04	Leq,d	14.5	-12.0	-9.6	-3.3	-0.1	2.1	5.2	3.3	3.2	4.9	6.6	6.2	0.9	-2.4	0.3	-6.9	-5.2	-5.4	-8.5	-4.5	-5.0	-5.5	-6.3	-7.3	-10.9	-14.3	-20.7	-28.8		
001 - 120HP IDC Standard	Leq,d	14.4	-12.2	-9.8	-3.5	-0.2	1.9	4.9	3.2	3.0	4.6	6.7	6.3	0.9	-2.4	0.3	-6.8	-5.3	-5.5	-8.6	-4.5	-4.9	-5.4	-6.1	-7.2	-10.7	-14.0	-20.4	-28.3		
Tunnel-Transmissive area 01	Leq,d	14.4	-12.3	-9.9	-3.6	-0.3	1.9	4.9	3.2	3.0	4.7	6.8	6.4	1.0	-2.3	0.4	-6.8	-5.3	-5.5	-8.5	-4.4	-4.8	-5.3	-6.0	-7.0	-10.5	-13.7	-20.0	-27.8		
001 - 120HP IDC Standard	Leq,d	14.6	-12.2	-9.9	-3.5	-0.3	1.9	4.9	3.3	3.1	4.8	7.0	6.5	1.2	-2.2	0.6	-6.6	-5.2	-5.4	-8.3	-4.3	-4.7	-5.1	-5.8	-6.7	-10.2	-13.4	-19.6	-27.3		
Tunnel-Facade 01	Leq,d	21.0	-11.9	-9.4	-2.8	0.6	3.0	6.3	4.5	4.5	6.4	8.8	8.5	3.2	0.0	2.8	-4.4	9.3	10.2	7.9	12.3	11.7	10.9	9.6	7.6	2.6	-3.1	-13.0	-25.5		
001 - 120HP IDC Standard	Leq,d	20.9	-11.9	-9.3	-2.8	0.7	3.1	6.4	4.6	4.6	6.5	8.9	8.6	3.3	0.1	2.9	-4.3	9.2	10.0	7.7	12.1	11.5	10.7	9.4	7.4	2.3	-3.5	-13.4	-25.9		

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 Contribution spectra - 001 - 120HP IDC - Standard: Outdoor SP

Source	Time slice	Sum	25Hz	31.5Hz	40Hz	50Hz	63Hz	80Hz	100Hz	125Hz	160Hz	200Hz	250Hz	315Hz	400Hz	500Hz	630Hz	800Hz	1kHz	1.25kHz	1.6kHz	2kHz	2.5kHz	3.15kHz	4kHz	5kHz	6.3kHz	8kHz	10kHz		
		dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)		
Vac	Leq,d	20.5	-11.8	-9.3	-2.7	0.7	3.1	6.4	4.7	4.7	6.6	9.0	8.7	3.4	0.2	3.0	-4.2	-3.0	9.9	7.6	12.0	11.4	10.5	9.2	7.2	2.0	-3.8	-13.8	-26.2		
Vac	Leq,d	20.4	-11.7	-9.2	-2.6	0.8	3.2	6.5	4.8	4.8	6.7	9.2	8.9	3.6	0.3	3.1	-4.1	-2.9	9.7	7.4	11.8	11.2	10.3	9.0	6.9	1.7	-4.1	-14.2	-26.5		
Vac	Leq,d	15.8	-11.1	-8.7	-2.4	0.8	3.0	6.1	4.7	4.6	6.3	8.0	7.6	2.2	-1.1	1.6	-5.7	-3.8	-4.0	-6.8	-3.0	-3.4	-3.9	-4.6	-5.5	-8.9	-11.9	-17.8	-25.1		
Vac	Leq,d	16.4	-10.5	-8.1	-1.7	1.6	3.8	6.9	5.5	5.4	7.2	8.5	8.1	2.7	-0.6	2.0	-5.3	-2.9	-3.2	-6.0	-2.3	-2.8	-3.4	-4.2	-5.1	-8.5	-11.5	-17.5	-24.7		
Vac	Leq,d	17.8	-9.6	-7.0	-0.6	2.8	5.1	8.3	7.1	7.1	9.1	9.5	9.2	3.8	0.5	3.2	-4.1	-0.8	-1.2	-4.2	-0.7	-1.5	-2.3	-3.2	-4.3	-7.8	-10.9	-16.8	-24.1		
Vac	Leq,d	21.9	-8.5	-5.8	0.9	4.6	7.2	10.8	10.0	10.5	13.0	12.5	12.7	7.9	5.4	8.6	1.8	7.6	7.8	4.9	8.3	7.3	6.2	4.9	3.3	-0.8	-4.4	-11.0	-18.8		
Receiver R3	Leq,d 50.9 dB(A)																														
001 - 120HP IDC Standard	Leq,d	9.1					6.2																								
Tunnel-Facade 01	Leq,d																														
001 - 120HP IDC Standard	Leq,d	8.8					5.6																								
Tunnel-Facade 02	Leq,d																														
001 - 120HP IDC Standard	Leq,d	9.6					6.7																								
Tunnel-Facade 03	Leq,d																														
001 - 120HP IDC Standard	Leq,d	-11.7					-13.4																								
Tunnel-Facade 04	Leq,d																														
001 - 120HP IDC Standard	Leq,d	8.0					3.0																								
Tunnel-Roof 01	Leq,d																														
001 - 120HP IDC Standard	Leq,d	50.3					29.5																								
Tunnel-Transmissive area 01	Leq,d																														
001 - 120HP IDC Standard	Leq,d	20.3					8.5																								
Tunnel-Transmissive area 01	Leq,d																														
Turbine	Leq,d	8.2																													
Vac	Leq,d	28.5	-7.4	-4.4	2.6	6.6	9.6	13.6	12.7	13.7	16.7	14.8	15.7	11.7	10.0	13.9	7.9	15.6	16.6	14.5	18.8	18.5	18.1	17.4	16.4	12.7	9.2	2.5	-6.0	-20.9	
Vac	Leq,d	28.1	-7.6	-4.6	2.4	6.4	9.4	13.4	12.4	13.4	16.4	14.4	15.4	11.3	9.6	13.6	7.5	15.3	16.3	14.2	18.5	18.2	17.8	17.1	16.0	12.3	8.7	1.8	-6.9	-20.9	
Vac	Leq,d	27.8	-7.8	-4.8	2.2	6.2	9.2	13.2	12.1	13.1	16.1	14.0	15.0	11.0	9.3	13.2	7.2	15.0	16.0	13.9	18.2	17.9	17.5	16.7	15.6	11.8	8.1	1.1	-7.8	-20.9	
Vac	Leq,d	27.5	-8.0	-5.1	1.9	5.9	8.9	12.9	11.8	12.8	15.8	13.7	14.6	10.6	8.9	12.9	6.8	14.7	15.7	13.6	17.9	17.6	17.1	16.4	15.2	11.4	7.6	0.4	-8.7	-20.9	
Vac	Leq,d	29.9	-6.4	-3.4	3.6	7.6	10.6	14.6	14.0	15.0	18.0	16.4	17.4	13.4	11.6	15.6	9.6	17.0	17.9	15.8	20.1	19.9	19.5	18.9	18.0	14.6	11.5	5.3	-2.4	-20.9	
Vac	Leq,d	29.5	-6.7	-3.7	3.3	7.3	10.3	14.3	13.6	14.6	17.6	16.0	16.9	12.9	11.2	15.1	9.1	16.6	17.6	15.5	19.8	19.5	19.1	18.5	17.6	14.1	10.9	4.5	-3.3	-20.9	
Vac	Leq,d	29.2	-6.9	-3.9	3.1	7.1	10.1	14.1	13.3	14.3	17.3	15.6	16.5	12.5	10.8	14.8	8.7	16.3	17.2	15.2	19.5	19.2	18.8	18.2	17.2	13.7	10.3	3.9	-4.2	-20.9	
Vac	Leq,d	28.8	-7.1	-4.1	2.9	6.9	9.9	13.9	13.0	14.0	17.0	15.1	16.1	12.1	10.4	14.3	8.3	16.0	16.9	14.8	19.1	18.9	18.4	17.8	16.8	13.2	9.8	3.2	-5.1	-20.9	
Vac	Leq,d	27.7	-7.9	-4.9	2.1	6.1	9.1	13.1	12.1	13.0	16.0	14.0	14.9	10.9	9.2	13.2	7.1	15.0	15.9	13.8	18.2	17.9	17.4	16.7	15.5	11.7	8.0	1.0	-7.9	-20.9	
Vac	Leq,d	28.1	-7.6	-4.6	2.4	6.4	9.3	13.3	12.3	13.3	16.3	14.3	15.3	11.3	9.5	13.5	7.5	15.3	16.2	14.1	18.5	18.2	17.7	17.0	15.9	12.2	8.6	1.6	-7.1	-20.9	
Vac	Leq,d	28.4	-7.4	-4.4	2.6	6.6	9.6	13.6	12.6	13.6	16.6	14.6	15.6	11.6	9.9	13.9	7.8	15.6	16.6	14.4	18.8	18.5	18.0	17.4	16.3	12.6	9.1	2.3	-6.2	-20.9	
Vac	Leq,d	28.7	-7.2	-4.2	2.8	6.8	9.8	13.8	12.9	13.9	16.9	15.1	16.0	12.0	10.3	14.3	8.2	15.9	16.9	14.7	19.1	18.8	18.4	17.7	16.7	13.1	9.7	3.0	-5.3	-20.9	
Vac	Leq,d	26.6	-8.7	-5.7	1.3	5.3	8.3	12.3	11.0	12.0	14.9	12.9	13.6	9.6	7.9	11.8	5.8	13.9	14.8	12.7	17.1	16.7	16.2	15.4	14.1	10.0	6.0	-1.7	-11.4	-20.9	
Vac	Leq,d	26.8	-8.5	-5.5	1.5	5.5	8.5	12.5	11.2	12.2	15.2	12.9	13.9	9.9	8.2	12.1	6.1	14.2	15.1	12.9	17.3	17.0	16.5	15.6	14.4	10.4	6.4	-1.1	-10.6	-20.9	
Vac	Leq,d	27.1	-8.3	-5.3	1.7	5.7	8.7	12.7	11.5	12.5	15.4	13.2	14.2	10.2	8.5	12.4	6.4	14.4	15.3	13.2	17.6	17.3	16.7	16.0	14.7	10.8	6.9	-0.4	-9.8	-20.9	

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Source	Time slice	Sum	25Hz	31.5Hz	40Hz	50Hz	63Hz	80Hz	100Hz	125Hz	160Hz	200Hz	250Hz	315Hz	400Hz	500Hz	630Hz	800Hz	1kHz	1.25kHz	1.6kHz	2kHz	2.5kHz	3.15kHz	4kHz	5kHz	6.3kHz	8kHz	10kHz				
		dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)				
Vac	Leq,d	27.4	-8.1	-5.1	1.9	5.9	8.9	12.9	11.8	12.7	15.7	13.6	14.6	10.5	8.8	12.8	6.7	14.7	15.6	13.5	17.9	17.6	17.1	16.3	15.1	11.3	7.5	0.3	-8.8				
Vac	Leq,d	28.0	-8.9	-5.9	1.1	5.1	8.1	12.1	10.8	11.7	14.7	12.4	13.4	9.3	10.0	13.9	7.9	16.0	16.9	14.8	19.2	18.8	18.3	17.4	16.1	11.9	7.7	-0.1	-10.1				
Vac	Leq,d	26.6	-8.7	-5.7	1.3	5.3	8.3	12.3	11.0	12.0	15.0	12.7	13.7	9.6	7.9	11.9	5.9	13.9	14.9	12.7	17.1	16.8	16.2	15.4	14.1	10.1	6.1	-1.5	-11.2				
Vac	Leq,d	26.9	-8.5	-5.5	1.5	5.5	8.5	12.5	11.3	12.2	15.2	13.0	14.0	9.9	8.2	12.2	6.1	14.2	15.2	13.0	17.4	17.0	16.5	15.7	14.4	10.5	6.5	-1.0	-10.4				
Vac	Leq,d	27.2	-8.3	-5.3	1.7	5.7	8.7	12.7	11.5	12.5	15.5	13.3	14.3	10.3	8.6	12.5	6.5	14.5	15.4	13.3	17.7	17.3	16.8	16.0	14.8	10.9	7.1	-0.3	-9.5				
Vac	Leq,d	29.1	-6.9	-3.9	3.1	7.1	10.1	14.1	13.3	14.3	17.3	15.5	16.5	12.5	10.7	14.7	8.7	16.3	17.2	15.1	19.4	19.2	18.8	18.1	17.1	13.6	10.3	3.8	-4.3				
Vac	Leq,d	29.5	-6.7	-3.7	3.3	7.3	10.3	14.3	13.6	14.6	17.6	15.9	16.9	12.9	11.2	15.1	9.1	16.6	17.5	15.5	19.7	19.5	19.1	18.5	17.5	14.1	10.8	4.5	-3.4				
Vac	Leq,d	29.9	-6.4	-3.4	3.6	7.6	10.6	14.6	14.0	14.9	17.9	16.4	17.3	13.3	11.6	15.6	9.5	17.0	17.9	15.8	20.1	19.8	19.5	18.9	18.0	14.6	11.4	5.2	-2.5				
Vac	Leq,d	30.3	-6.2	-3.2	3.8	7.8	10.8	14.8	14.3	15.3	18.3	16.8	17.8	13.8	12.1	16.0	10.0	17.3	18.3	16.2	20.4	20.2	19.9	19.3	18.4	15.1	12.0	6.0	-1.5				
Receiver R3 FIG Lr,lim dB(A) Sigma(Leq,d) 0.0 dB(A)		Leq,d	47.6																														
001 - 120HP IDC Standard	Leq,d	3.2					1.2			-9.7				-2.7		-8.8			-20.7														
Tunnel-Facade 01	Leq,d																																
001 - 120HP IDC Standard	Leq,d	4.3					1.6			-7.7				-1.9		-4.3			-13.3														
Tunnel-Facade 02	Leq,d																																
001 - 120HP IDC Standard	Leq,d	0.2					-1.3			-13.1				-6.6		-15.1			-29.4														
Tunnel-Facade 03	Leq,d																																
001 - 120HP IDC Standard	Leq,d	-7.9					-10.4			-21.4				-12.6		-20.3			-38.2														
Tunnel-Facade 04	Leq,d																																
001 - 120HP IDC Standard	Leq,d	4.9					0.6			-8.7			1.6			-4.8			-19.0														
Tunnel-Roof 01	Leq,d																																
001 - 120HP IDC Standard	Leq,d	45.6					26.0			30.9			36.2			39.2			40.9														
Tunnel-Transmissive area 01	Leq,d																																
001 - 120HP IDC Standard	Leq,d	26.7					13.0			15.9			23.8			21.5			14.3														
Tunnel-Transmissive area 01	Leq,d																																
Turbine	Leq,d	11.2					-15.9	-13.0	-6.0	-5.7	-3.0	-2.1	-7.3	-8.2	-9.0	-5.8	-7.3	-5.1	-4.5	-3.1	-0.2	1.0	0.8	-1.8	2.1	0.2	-1.8	-5.9	-15.1				
Vac	Leq,d	29.6	-7.3	-4.3	2.7	6.7	9.7	13.7	12.8	13.8	16.8	14.9	15.9	11.9	11.4	15.4	9.4	17.2	18.1	16.0	20.4	20.1	19.6	18.8	17.7	13.9	10.3	3.3	-5.3				
Vac	Leq,d	29.5	-7.3	-4.3	2.7	6.7	9.7	13.6	12.7	13.7	16.7	14.8	15.8	11.8	11.3	15.3	9.3	17.2	18.1	15.9	20.3	20.0	19.5	18.8	18.2	14.3	10.5	3.4	-5.4				
Vac	Leq,d	29.5	-7.4	-4.4	2.6	6.6	9.6	13.6	12.6	13.6	16.6	14.7	15.7	11.6	11.3	15.2	9.2	17.1	18.0	15.9	20.2	19.9	19.4	18.7	18.1	14.2	10.4	3.2	-5.6				
Vac	Leq,d	29.3	-7.5	-4.5	2.5	6.5	9.5	13.5	12.5	13.5	16.5	14.6	15.6	11.5	11.1	15.1	9.1	17.0	17.9	15.8	20.1	19.8	19.3	18.6	17.4	13.6	9.8	2.7	-6.1				
Vac	Leq,d	29.8	-7.1	-4.1	2.9	6.9	9.9	13.9	13.0	14.0	17.0	15.1	16.1	13.4	11.6	15.6	9.6	17.4	18.3	16.2	20.5	20.2	19.8	19.0	17.9	14.2	10.6	3.7	-4.8				
Vac	Leq,d	29.8	-7.2	-4.2	2.8	6.8	9.8	13.8	13.0	14.0	16.9	15.1	16.1	13.3	11.6	15.6	9.5	17.4	18.3	16.2	20.5	20.2	19.7	19.0	17.9	14.1	10.5	3.7	-4.9				
Vac	Leq,d	29.7	-7.2	-4.2	2.8	6.8	9.8	13.8	12.9	13.9	16.9	15.1	16.0	13.3	11.6	15.5	9.5	17.3	18.2	16.1	20.5	20.2	19.7	19.0	17.8	14.1	10.5	3.6	-5.0				
Vac	Leq,d	29.7	-7.2	-4.2	2.8	6.8	9.8	13.8	12.9	13.9	16.9	15.0	16.0	13.2	11.5	15.5	9.4	17.3	18.2	16.1	20.4	20.1	19.7	18.9	17.8	14.0	10.4	3.5	-5.1				
Vac	Leq,d	29.3	-8.3	-5.3	1.7	5.7	8.7	12.7	11.5	14.7	17.6	15.4	16.4	12.3	10.6	14.6	8.5	16.6	17.5	15.4	19.7	19.4	18.9	19.0	17.7	13.6	9.5	1.9	-7.7				
Vac	Leq,d	29.2	-8.2	-5.2	1.8	5.8	8.8	12.8	11.6	14.7	17.7	15.5	16.5	12.4	10.7	14.7	8.6	16.7	17.6	15.4	19.8	19.5	19.0	18.2	16.9	13.0	9.0	1.5	-7.9				
Vac	Leq,d	29.2	-8.2	-5.2	1.8	5.8	8.8	12.8	11.7	14.8	17.8	15.5	16.5	12.5	10.8	14.7	8.7	16.7	17.6	15.5	19.9	19.6	19.0	18.2	16.9	13.1	9.1	1.7	-7.0				
Vac	Leq,d	29.3	-8.1	-5.1	1.9	5.9	8.9	12.9	11.7	14.8	17.8	15.6	16.6	12.6	10.8	14.8	8.8	16.8	17.7	15.6	19.9	19.6	19.1	18.3	17.1	13.1	9.2	1.8	-7.5				

S John King Blvd & 276 Rockwall TX

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Contribution spectra - 001 - 120HP IDC - Standard: Outdoor SP

Source	Time slice	Sum	25Hz	31.5Hz	40Hz	50Hz	63Hz	80Hz	100Hz	125Hz	160Hz	200Hz	250Hz	315Hz	400Hz	500Hz	630Hz	800Hz	1kHz	1.25kHz	1.6kHz	2kHz	2.5kHz	3.15kHz	4kHz	5kHz	6.3kHz	8kHz	10kHz
		dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)	dB(A)
Vac	Leq,d	28.6	-8.6	-5.6	1.4	5.4	8.4	12.4	11.2	12.1	17.3	15.0	15.9	11.9	10.2	14.2	8.1	16.2	17.1	15.0	19.4	19.0	18.5	17.7	16.3	12.3	8.2	0.5	-9.3
Vac	Leq,d	29.6	-8.5	-5.5	1.5	5.5	8.5	12.5	11.3	12.2	17.4	15.1	16.0	12.0	10.3	14.3	8.2	16.3	17.2	15.1	21.1	20.7	20.2	19.3	18.0	14.0	9.9	2.2	-7.5
Vac	Leq,d	29.5	-8.4	-5.4	1.6	5.6	8.6	12.6	11.4	12.3	17.5	15.2	16.2	12.1	10.4	14.4	8.3	16.4	17.3	15.2	19.6	20.7	20.2	19.4	18.1	14.0	9.9	2.3	-7.4
Vac	Leq,d	28.9	-8.3	-5.3	1.7	5.7	8.6	12.6	11.5	12.4	17.6	15.3	16.3	12.2	10.5	14.5	8.4	16.5	17.4	15.3	19.7	19.3	18.8	18.0	16.7	12.7	8.7	1.2	-8.4
Vac	Leq,d	28.8	-7.9	-4.9	2.1	6.1	9.1	13.1	12.1	13.1	16.0	14.0	14.9	10.9	10.6	14.6	8.5	16.6	17.5	15.3	19.7	19.4	18.9	18.1	16.8	12.9	9.0	1.7	-7.5
Vac	Leq,d	28.9	-7.8	-4.8	2.2	6.2	9.2	13.2	12.2	13.2	16.2	14.1	15.1	11.1	10.8	14.7	8.7	16.7	17.6	15.5	19.8	19.5	19.0	18.2	17.0	13.1	9.2	2.0	-7.1
Vac	Leq,d	29.1	-7.7	-4.7	2.3	6.3	9.3	13.3	12.3	13.3	16.3	14.3	15.2	11.2	10.9	14.9	8.8	16.8	17.7	15.6	19.9	19.6	19.1	18.3	17.1	13.2	9.4	2.2	-6.7
Vac	Leq,d	29.2	-7.6	-4.6	2.4	6.4	9.4	13.4	12.4	13.4	16.4	14.4	15.4	11.4	11.0	15.0	8.9	16.9	17.8	15.7	20.0	19.7	19.2	18.4	17.2	13.4	9.6	2.5	-6.4
Vac	Leq,d	29.4	-8.1	-5.1	1.9	5.9	8.9	12.9	11.8	14.9	17.9	15.7	16.7	12.6	10.9	14.9	8.8	16.8	17.7	15.6	20.0	19.7	19.2	18.4	17.1	13.2	9.3	2.0	-7.4
Vac	Leq,d	29.4	-8.0	-5.0	2.0	6.0	9.0	13.0	11.8	14.9	17.9	15.7	16.7	12.7	11.0	14.9	8.9	16.9	17.8	15.7	20.0	19.7	19.2	18.4	17.2	13.3	9.4	2.1	-7.2
Vac	Leq,d	29.4	-8.0	-5.0	2.0	6.0	9.0	13.0	11.9	15.0	18.0	15.8	16.7	12.7	11.0	15.0	8.9	16.9	17.8	15.7	20.1	19.7	19.2	18.5	17.2	13.3	9.5	2.1	-7.1
Vac	Leq,d	29.5	-8.0	-5.0	2.0	6.0	9.0	13.0	11.9	15.0	18.0	15.8	16.8	12.7	11.0	15.0	8.9	16.9	17.8	15.7	20.1	19.8	19.3	18.5	17.3	13.4	9.5	2.2	-7.1

MD Acoustics 1197 E Los Angeles Ave, Unit C 256 Simi Valley, CA 93065 USA



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: November 15, 2022
APPLICANT: Robert Romano
CASE NUMBER: SP2022-054; *Amended Site Plan for Snuffer's Restaurant & Bar*

SUMMARY

Discuss and consider a request by Robert Romano on behalf of Bill McMahon of Triton I-30 Rockwall II, LLC for the approval of an Amended Site Plan for an existing *Restaurant* facility on a 1.370-acre parcel of land identified as Lot 17, Block A, La Jolla Pointe, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 568 E. IH-30, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on September 26, 1960 by *Ordinance No. 60-04 [Case No. 1960-004]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. Based on the January 3, 1972 zoning map, at some point between the time of annexation and January 3, 1972 the subject property was rezoned to a Commercial (C) District. This remains the current zoning designation of the subject property. In 2007, the Planning and Zoning Commission approved a Site Plan [*Case No. SP2007-007*] for a 3,567 SF restaurant (*i.e. Taco Cabana*) which was built in 2008. Taco Cabana vacated the property in January 2019. The subject property has remained vacant since 2019.

PURPOSE

The applicant -- *Robert Romano* – submitted an application requesting the approval of an amended site plan for the renovation of the existing 3,567 SF restaurant, and proposed additions to the restaurant of 621 SF and 1,260 SF .

ADJACENT LAND USES AND ACCESS

The subject property is located at 568 E. IH-30. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a vacant 2.5440-acre parcel of land (*i.e. Lot 19, Block A, La Jolla Pointe Addition*), zoned Commercial (C) District. Beyond this is a vacant 1.284-acre parcel of land (*i.e. Lot 10, Block A, La Jolla Pointe Addition Phase 2*) zoned Commercial (C) District. Beyond this is La Jolla Pointe Drive, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is the west bound lanes of the IH-30 Frontage Road. Beyond this is IH-30, which is identified as a TXDOT 6D (*i.e. Texas Department of Transportation Principle Arterial Roadway, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the east bound lanes of the IH-30 Frontage Road.

East: Directly east of the subject property is a 1.148-acre parcel of land (*i.e. Lot 1, Block A, Steak-N-Shake Addition*), zoned Commercial (C) District, and developed with a *restaurant with a drive-through (i.e. Steak-N-Shake)*. Beyond this is Ridge Road [*FM-740*] which is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is a 1.346-acre parcel of land, zoned Commercial (C) District, and developed with a 9,742 restaurant (*i.e. Logan's Roadhouse*). West of this is a 1.364-acre parcel of land, zoned Commercial (C) District, and developed with a 9,379.50 SF *Health Club* (*i.e. White Tiger Taekwondo*). Beyond this is Catalina Drive, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Restaurant with 2,000 SF or more without a Drive-Through* is permitted *by-right* in a Commercial (C) District. The submitted site plan, landscape plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Commercial (C) District with the exception of the variances and exceptions outline in the *Variances and Exceptions by the Applicant* section below. A summary of the density and dimensional requirements for the subject property and the proposed projects conformance to these requirements are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	10,000 SF	59,677 SF; <i>In Conformance</i>
<i>Minimum Lot Frontage</i>	60-Feet	200-Feet; <i>In Conformance</i>
<i>Minimum Lot Depth</i>	100-Feet	350-Feet; <i>In Conformance</i>
<i>Minimum Front Yard Setback</i>	15-Feet	84-Feet; <i>In Conformance</i>
<i>Minimum Rear Yard Setback</i>	10-Feet	32-Feet; <i>In Conformance</i>
<i>Minimum Side Yard Setback</i>	10-Feet	12-Feet; <i>In Conformance</i>
<i>Maximum Building Height</i>	60-Feet	24-Feet; <i>In Conformance</i>
<i>Max Building/Lot Coverage</i>	60%	11%; <i>In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	1/100 or 55 Spaces	55; <i>In Conformance</i>
<i>Minimum Landscaping Percentage</i>	20%	X=27%; <i>In Conformance</i>
<i>Maximum Impervious Coverage</i>	85-90%	C=64%; <i>In Conformance</i>

LANDSCAPE PLAN

According to Subsection 03.02, *Applicability*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), a landscape plan is required with an amended site plan that proposes an expansion of the existing floor area of a non-residential building or structure by 30%, or that adds 2,000 SF of floor area or more. In this case, the applicant is proposing to add 1,881 SF of additional floor area, which equates to 53% of the existing building's floor area. The applicant has provided a landscape plan that generally conforms to the requirements set forth in Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC) and Subsection 06.02, *Overlay District Landscape Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) with the exception of the use of several Mexican fan palms. According to Appendix C, *Landscaping Guidelines and Requirements*, of the Unified Development Code (UDC), a Mexican fan palm is not considered an approved tree; however, the palms are existing on the subject property, and are from 14-caliper inches to 18-caliper inches in size, which are comparable to an approved canopy tree. Other than the use of the Mexican fan palm trees, the applicant's request conforms to the requirements set forth in Subsection 05.01, *Landscape Buffers*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), and the canopy tree requirements for parking lot areas as set forth in Subsection 05.02, *Landscape Screening*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC). Based on this it would be counterproductive and unnecessary to request that the applicant to remove the Mexican fan palms.

CONFORMANCE WITH THE CITY'S CODES

Based on Subsection 02.02, *Land Use Standards*, of Article 13, *Definitions*, of the Unified Development Code (UDC), the applicant is requesting the approval of a *Restaurant with 2,000 SF or more without Drive-Through*, which conforms to the land uses listed in Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) for a property situated in a Commercial (C) District. The proposed site plan generally conforms to the *General Overlay District Standards* and the *General Commercial (C) District Standards* as stipulated by Article 05, *District Development Standards*, of

the Unified Development Code (UDC), with the exception of the variances and exceptions being requested in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

As stated above, the applicant's request to renovate the subject property conforms to the majority of the City's codes; however, staff has identified the following variances:

(1) Architectural Standards.

- (a) Roof Design Standards. According to Subsection 06.02 (C)(2), Roof Design Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), "(a)ll structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof". In this case the applicant is proposing a flat roof with a parapet to screen the roof mounted utility equipment. This will require a variance from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).
- (b) Four (4) Sided Architecture. According to Subsection 06.02 (C)(5), Four (4) Sided Architecture, of Article 05, District Development Standards, of the Unified Development Code (UDC), "(a)ll buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features." In this case the applicant is required to meet the building articulation standards for the primary building façade on all sides of the building. Given the proposed building elevations the applicant does not meet the wall projection requirements. This will require a variance from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).

Staff should point out that the existing building does not meet these standards; however, since the applicant is expanding the legal non-conformity of the structure, the project would be subject to requesting the variances through the amended site plan process. In addition, according to Subsection 09.02, *Variances to the General Overlay District Standards*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "(i)n cases where a variance or variances is/are being requested, the applicant shall provide two (2) compensatory measures that directly offset the requested variance." The code goes on to require that applicant's provide compensatory measures that directly offset the requested variances. In this case, as compensatory measures the applicant is proposing to provide [1] seven (7) percent more than the required landscape percentage, [2] more than the required stone percentage on the building, [3] additional landscaping around the front of the building, and [4] shrubs along the east property line. Requests for variances to the *General Overlay District Standards* are discretionary decisions for the Planning and Zoning Commission, and require a supermajority vote (e.g. six [6] out of the seven [7] commissioners) -- with a minimum of four (4) votes in the affirmative -- for approval.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated within the IH-30 Corridor District and is designated for Special Commercial Corridor land uses. According to the plan, the Special Commercial Corridor "...is intended to provide an area for commercial/retail activity centers that are intended to support and serve the entire region." The primary land uses in the Special Commercial Corridor include Regional shopping centers, entertainment, retail, personal services, restaurants, corporate offices, employment and recreational land uses. In this case, the applicant is requesting approval of an *Amended Site Plan* for a *Restaurant with 2,000 SF or more without Drive-Through*. Based on this, the applicant's request appears to conform to the goals and policies of the OURHometown Vision 2040 Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB):

On October 25, the Architecture Review Board (ARB) reviewed the proposed building elevations, and requested changes from the applicant. Specifically, the ARB wanted to see existing rooftop units (RTUs) (i.e. HVAC and vent-a-hood equipment) hatched into the updated building elevations and for the applicant to provide a rendering of the proposed building. The applicant has provided a rendering, but has failed to hatch in the existing RTUs. The renderings and updated building elevations will be reviewed by the ARB at the meeting on November 15, 2022.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's request for an amended site plan for an existing restaurant with drive-through, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit.
- (2) The applicant shall be required to fully screen all HVAC and RTU's from visibility of the adjacent properties and rights-of-way. In addition, updated building elevations shall be required to be submitted showing conformance to this requirement prior to the issuance of a building permit.
- (3) The applicant shall provide an updated photometric plan and lighting cut sheets that conform to the requirements set forth by the Unified Development Code (UDC) prior to the issuance of a building permit.
- (4) Any construction resulting from the approval of this Amended Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **568 East I-30 Rockwall, TX 75087**

SUBDIVISION **La Jolla Pointe Addition, Phase 2**

LOT

17

BLOCK

A

GENERAL LOCATION **I-30 Access Road (North Side) West of Ridge Road**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____

CURRENT USE _____

PROPOSED ZONING _____

PROPOSED USE _____

ACREAGE **1.370**

LOTS [CURRENT]

1

LOTS [PROPOSED]

1

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Triton I-30 Rockwall II, LLC**

APPLICANT _____

CONTACT PERSON **Bill McMahon**

CONTACT PERSON **Robert Romano**

ADDRESS **1845 Woodall Rodgers Freeway
Suite 1100**

ADDRESS **800 Exposition Ave. #1**

CITY, STATE & ZIP **Dallas, TX 75201**

CITY, STATE & ZIP **Dallas, TX 75226**

PHONE **737.346.7110**

PHONE **214.821.8242**

E-MAIL **bill.mcmahon@localfavorite.com**

E-MAIL **hubcity.rr2002@gail.com**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Bill McMahon [OWNER] ^{CONTACT} THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

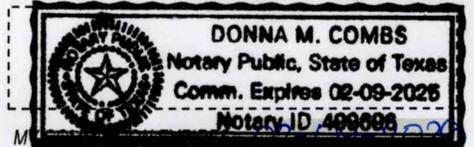
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF October, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13th DAY OF October, 2022

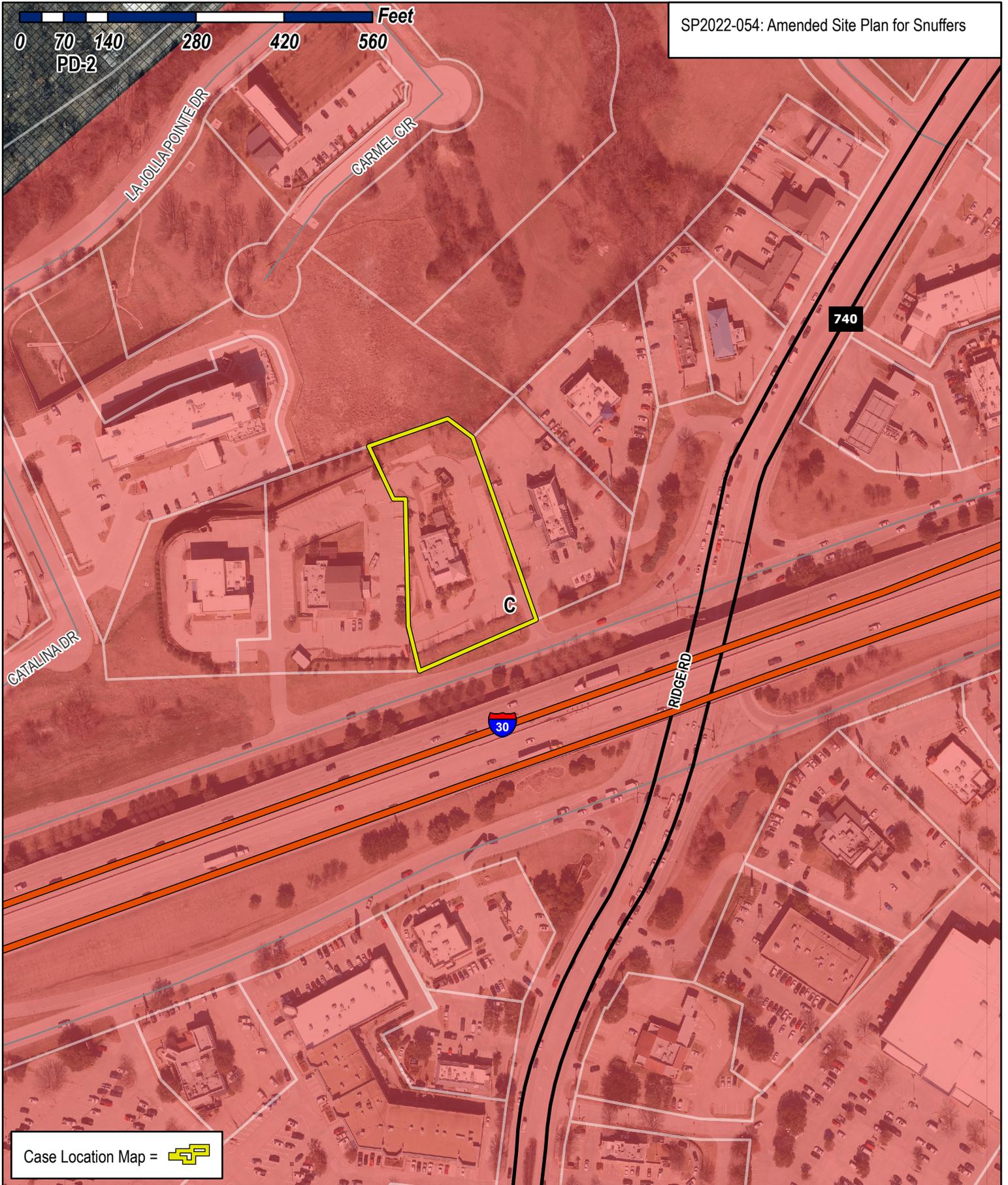
OWNER'S SIGNATURE

CONTACT

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



Notary 499696
Exp. 02-09-2025



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



HUB CITY PRODUCTIONS

800 EXPOSITION AVENUE • DALLAS TEXAS 75226 • 214.821.8242

C O M M U N I C A T I O N

DATE: 1 NOVEMBER 2022

TO: BETHANY ROSS, PLANNER
CITY OF ROCKWALL
385 GOLIAD STREET
ROCKWALL, TX 75087

FROM: ROBERT ROMANO

CC: BILL McMAHON (LOCAL FAVORITE RESTAURANT GROUP)

RE: ***SNUFFER'S RESTAURANT & BAR***
568 EAST INTERSTATE 30
ROCKWALL, TX 75087

PROJECT NUMBER: SP2022-054

In reference to the above named project, the following is a written explanation of the required compensatory measure required for the following variances:

- (a) **Roof Design Standards.** According to Subsection 06.02 (C)(2), Roof Design Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), "(a)ll structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof". In this case the applicant is proposing a flat roof with a parapet to screen the roof mounted utility equipment. This will require a variance from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).
- (b) **Four (4) Sided Architecture.** According to Subsection 06.02 (C)(5), Four (4) Sided Architecture, of Article 05, District Development Standards, of the Unified Development Code (UDC), "(a)ll buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features." In this case the applicant is required to meet the building articulation standards for the primary building façade on all sides of the building. Given the proposed building elevations the applicant does not meet the wall projection requirements. This will require a variance from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).

Based on the current submitted plans, the following compensatory items have been provided:

- (1) 7% more than the required landscape percentage.
- (2) More than the required stone percentage.
- (3) Additional landscaping around the front (south/primary face) of the building.
- (4) Additional landscaping along the east edge of the site (to help shield Snuffers customers from the headlight glare of Steak-n-Shake parking area).

Please contact me directly if any further clarification is required.

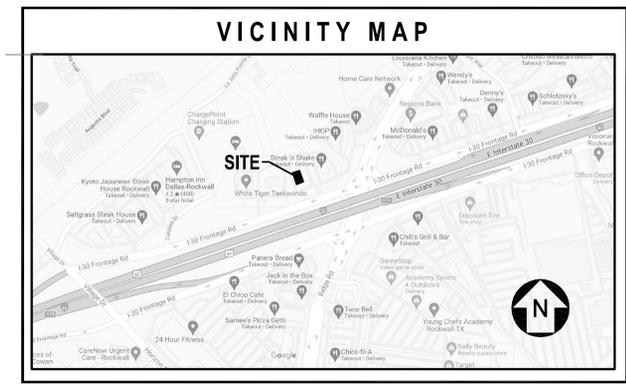
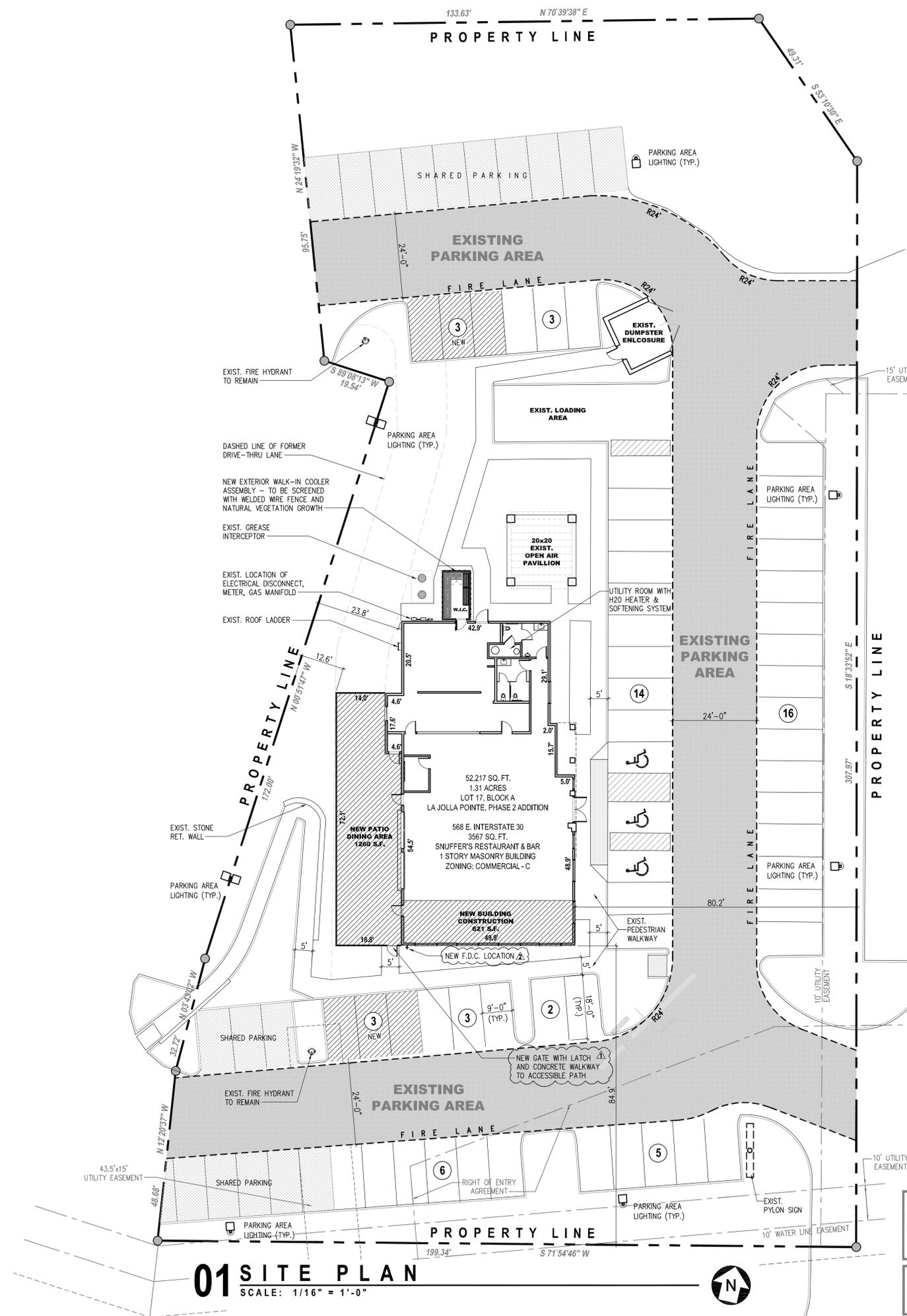


PRODUCTIONS

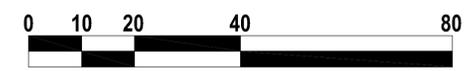
800 EXPOSITION AVENUE
DALLAS TEXAS 75226
TEL: 214.821.8242

hubcityr2002@gmail.com

SNUFFER'S
RESTAURANT & BAR
CONVERSION
568 EAST I-30 • ROCKWALL, TEXAS 75087



PARKING ANALYSIS	
EXIST. BUILDING =	3567 SF
PROPOSED EXPANSION =	1881 SF
TOTAL AREA =	5448 SF
49 PARKS EXISTING	
6 PARKS PARKS ADDED	
55 PARKS PROVIDED	
54 PARKS REQUIRED	
03 ACCESSIBLE SPACES	



LEGAL DESCRIPTION
LOT 17, BLOCK A, LA JOLLA POINTE, PHASE 2 ADDITION,
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS,
ZONED COMMERCIAL (C) DISTRICT, SITUATED
WITHIN THE IH-30 OVERLAY (IH-30 OV) DISTRICT

OWNER: LOCAL FAVORITE RESTAURANTS, LLC
1845 WOODALL RODGERS FWY. #1100 DALLAS, TX 75201
BILL McMAHON 972.241.2171

PROJECT NUMBER: SP2022-54

SITE PLAN SIGNATURE BLOCK:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT
IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING & ZONING
COMMISSION OF THE CITY OF ROCKWALL.

WITNESS OUR HANDS, THIS ____ DAY OF ____
PLANNING & ZONING COMMISSION CHAIRMAN DIRECTOR OF PLANNING & ZONING

ARCHITECTURAL SITE PLAN

REV. NO.	DATE	DESCRIPTION
1	07.09.22	CITY COMMENTS
2	10.31.22	PLANNING & ZONING COMMENTS

DATE ISSUED: 03-13-22

PROJECT NO.: 21751

DRAWING NO.: A001

01 SITE PLAN
SCALE: 1/16" = 1'-0"



800 EXPOSITION AVENUE
DALLAS TEXAS 75226
TEL: 214.821.8242
hubcityr2002@gmail.com

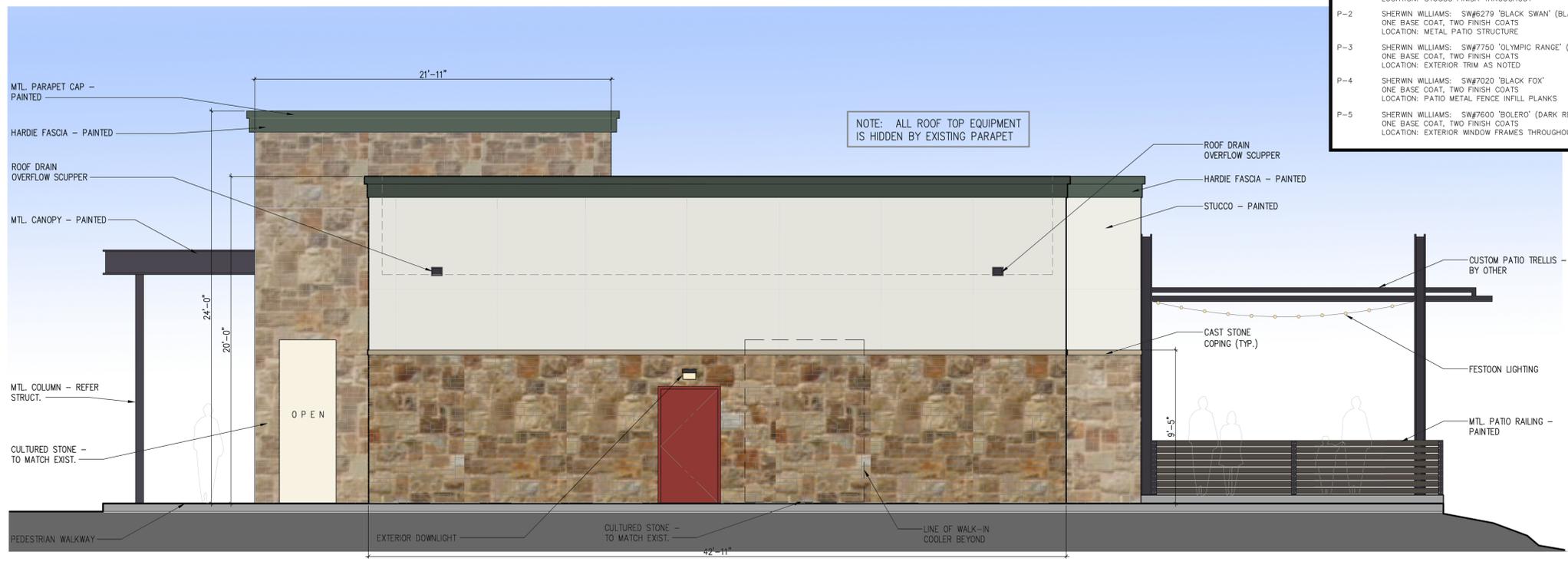
SNUFFER'S
RESTAURANT & BAR
CONVERSION
568 EAST I-30 • ROCKWALL, TEXAS 75087



02 SOUTH ELEVATION
SCALE: 1/4" = 1' - 0"

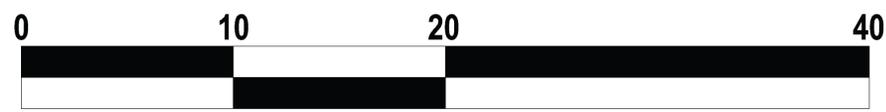
MATERIAL CALCULATIONS - SOUTH ELEVATION		
MATERIAL	AREA (S.F.)	PERCENTAGE
PRIMARY - CULTURED STONE	301	39%
PRIMARY - STUCCO (OFF-WHITE)	450	50%
SECONDARY - HARDIE FASCIA/TRIM	95	11%
TOTAL	846	100%

SPECIFICATIONS	
KEY	EXTERIOR WALL FINISHES
CS-1	CULTURED STONE VENEER (TO MATCH EXISTING)
ST-1	STUCCO FINISH - PAINTED
TR-1	HARDIE FASCIA TRIM - PAINTED
AL-1	ALUMINUM PARAPET CAP - PAINTED
KEY	PAINT FINISH
P-1	SHERWIN WILLIAMS: SW#6203 'SPARE WHITE' ONE BASE COAT, TWO FINISH COATS LOCATION: STUCCO FINISH THROUGHOUT
P-2	SHERWIN WILLIAMS: SW#6279 'BLACK SWAN' (BLACK) ONE BASE COAT, TWO FINISH COATS LOCATION: METAL PATIO STRUCTURE
P-3	SHERWIN WILLIAMS: SW#7750 'OLYMPIC RANGE' (DARK GREEN) ONE BASE COAT, TWO FINISH COATS LOCATION: EXTERIOR TRIM AS NOTED
P-4	SHERWIN WILLIAMS: SW#7020 'BLACK FOX' ONE BASE COAT, TWO FINISH COATS LOCATION: PATIO METAL FENCE INFILL PLANKS
P-5	SHERWIN WILLIAMS: SW#7600 'BOLERO' (DARK RED) ONE BASE COAT, TWO FINISH COATS LOCATION: EXTERIOR WINDOW FRAMES THROUGHOUT



01 NORTH ELEVATION
SCALE: 1/4" = 1' - 0"

MATERIAL CALCULATIONS - NORTH ELEVATION		
MATERIAL	AREA (S.F.)	PERCENTAGE
PRIMARY - CULTURED STONE	549	49%
PRIMARY - STUCCO (OFF-WHITE)	463	41%
SECONDARY - HARDIE FASCIA/TRIM	104	10%
TOTAL	1116	100%



LEGAL DESCRIPTION
LOT 17, BLOCK A, LA JOLLA POINTE, PHASE 2 ADDITION,
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS,
ZONED COMMERCIAL (C) DISTRICT, SITUATED
WITHIN THE IH-30 OVERLAY (IH-30 OV) DISTRICT

OWNER: LOCAL FAVORITE RESTAURANTS, LLC
1845 WOODALL RODGERS FWY. #1100 DALLAS, TX 75201
BILL McMAHON 972.241.2171

PROJECT NUMBER: SP2022-54

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I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT
IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING & ZONING
COMMISSION OF THE CITY OF ROCKWALL.

WITNESS OUR HANDS, THIS ____ DAY OF _____

PLANNING & ZONING COMMISSION CHAIRMAN DIRECTOR OF PLANNING & ZONING

EXTERIOR ELEVATIONS

REV. NO.	DATE	DESCRIPTION
1	07.09.22	CITY COMMENTS
2	10.31.22	PLANNING & ZONING COMMENTS

DATE ISSUED: 03-13-22

PROJECT NO.: 21751

DRAWING NO.:

A300



800 EXPOSITION AVENUE
DALLAS TEXAS 75226
TEL: 214.821.8242

hubcityr2002@gmail.com

SNUFFER'S
RESTAURANT & BAR
CONVERSION
568 EAST I-30 • ROCKWALL, TEXAS 75087



02 WEST ELEVATION
SCALE: 1/4" = 1'-0"

MATERIAL CALCULATIONS - WEST ELEVATION		
MATERIAL	AREA (S.F.)	PERCENTAGE
PRIMARY - CULTURED STONE	680	41%
PRIMARY - STUCCO (OFF-WHITE)	870	50%
SECONDARY - HARDIE FASCIA/TRIM	155	9%
TOTAL	1705	100%

SPECIFICATIONS	
KEY EXTERIOR WALL FINISHES	
CS-1	CULTURED STONE VENEER (TO MATCH EXISTING)
ST-1	STUCCO FINISH - PAINTED
TR-1	HARDIE FASCIA TRIM - PAINTED
AL-1	ALUMINUM PARAPET CAP - PAINTED
KEY PAINT FINISH	
P-1	SHERWIN WILLIAMS: SW#6203 'SPARE WHITE' ONE BASE COAT, TWO FINISH COATS LOCATION: STUCCO FINISH THROUGHOUT
P-2	SHERWIN WILLIAMS: SW#6279 'BLACK SWAN' (BLACK) ONE BASE COAT, TWO FINISH COATS LOCATION: METAL PATIO STRUCTURE
P-3	SHERWIN WILLIAMS: SW#7750 'OLYMPIC RANGE' (DARK GREEN) ONE BASE COAT, TWO FINISH COATS LOCATION: EXTERIOR TRIM AS NOTED
P-4	SHERWIN WILLIAMS: SW#7020 'BLACK FOX' ONE BASE COAT, TWO FINISH COATS LOCATION: PATIO METAL FENCE INFILL PLANKS
P-5	SHERWIN WILLIAMS: SW#7600 'BOLERO' (DARK RED) ONE BASE COAT, TWO FINISH COATS LOCATION: EXTERIOR WINDOW FRAMES THROUGHOUT



01 EAST ELEVATION
SCALE: 1/4" = 1'-0"

MATERIAL CALCULATIONS - EAST ELEVATION		
MATERIAL	AREA (S.F.)	PERCENTAGE
PRIMARY - CULTURED STONE	1078	62%
PRIMARY - STUCCO (OFF-WHITE)	498	29%
SECONDARY - HARDIE FASCIA/TRIM	157	9%
TOTAL	1733	100%



LEGAL DESCRIPTION
LOT 17, BLOCK A, LA JOLLA POINTE, PHASE 2 ADDITION,
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS,
ZONED COMMERCIAL (C) DISTRICT, SITUATED
WITHIN THE IH-30 OVERLAY (IH-30 OV) DISTRICT

OWNER: LOCAL FAVORITE RESTAURANTS, LLC
1845 WOODALL RODGERS FWY. #1100 DALLAS, TX 75201
BILL McMAHON 972.241.2171

PROJECT NUMBER: SP2022-54

SITE PLAN SIGNATURE BLOCK:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT
IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING & ZONING
COMMISSION OF THE CITY OF ROCKWALL.

WITNESS OUR HANDS, THIS ____ DAY OF _____

PLANNING & ZONING COMMISSION CHAIRMAN DIRECTOR OF PLANNING & ZONING

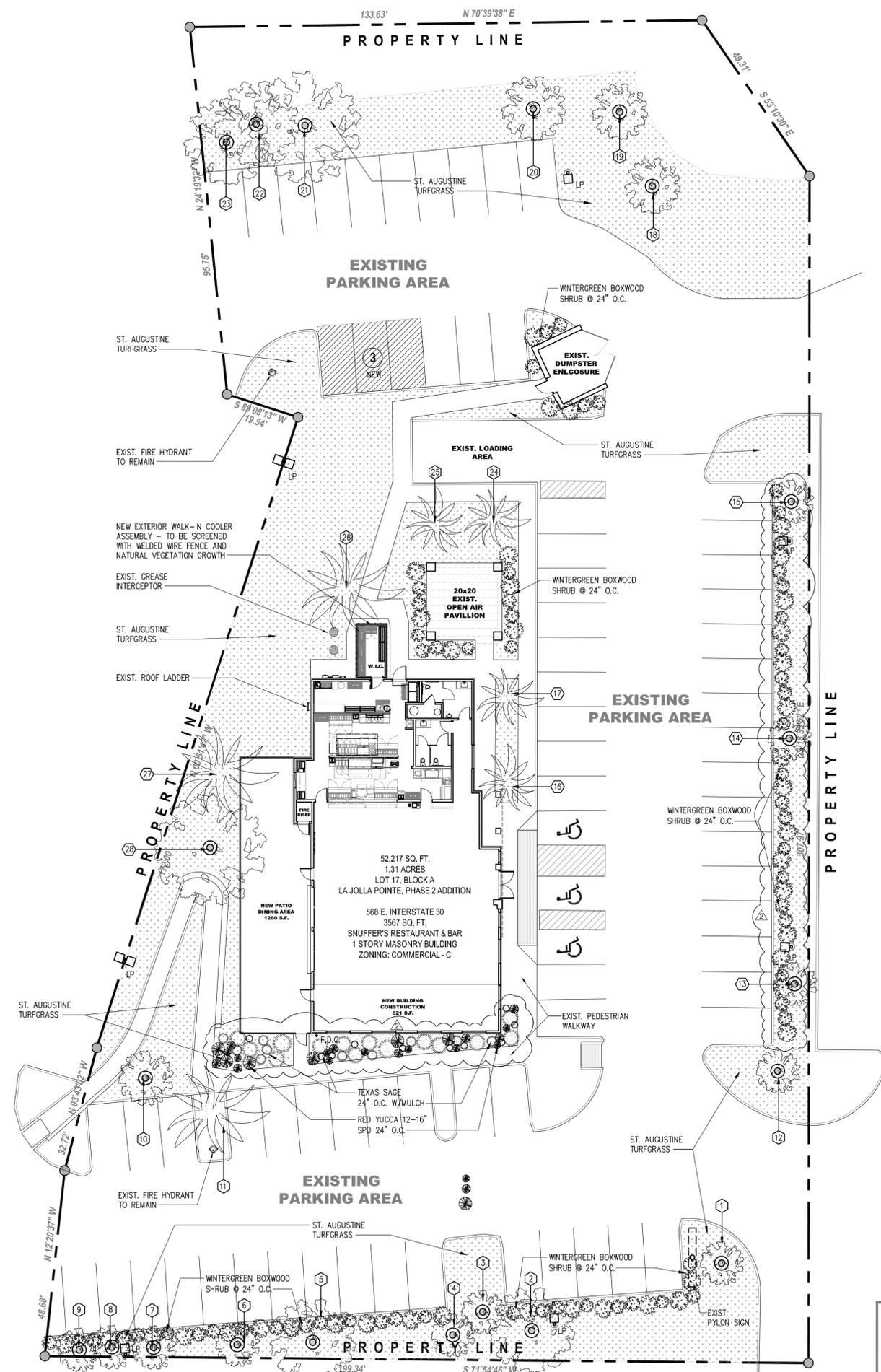
EXTERIOR ELEVATIONS

REV. NO.	DATE	DESCRIPTION
1	07.09.22	CITY COMMENTS
2	10.31.22	PLANNING & ZONING COMMENTS

DATE ISSUED: 03-13-22

PROJECT NO.: 21751

DRAWING NO.: **A301**



01 LANDSCAPE PLAN
SCALE: 1/16" = 1'-0"

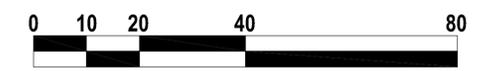


SITE DATA SUMMARY TABLE			
ZONING	COMMERCIAL	RESTAURANT	1 PER 100 S.F. OF GROSS BUILDING AREA
PROPOSED USE	RESTAURANT	TOTAL HANDICAP REQUIRED	2
TOTAL LOT AREA / SQ. FT. & AC	57,217 SQ. FT. / 1.31 AC	TOTAL HANDICAP PROVIDED	3
TOTAL BUILDING FOOTPRINT	5448 SQ. FT.	TOTAL PARKING PROVIDED	55
TOTAL BUILDING FLOOR AREA	5448 SQ. FT.	TOTAL PARKING AREA	28,172 SQ. FT.
BUILDING HEIGHT	1-STORY	INTERIOR PLANTING AREA (5%)	572 SQ. FT.
MAX. ALLOWABLE LOT COVERAGE	NONE	LANDSCAPE AREA REQUIRED (20%)	11,443 SQ. FT.
ACTUAL LOT COVERAGE	9.5%	LANDSCAPE AREA PROVIDED	15,192 SQ. FT.
FLOOR AREA RATIO	0.095:1	AREA OF IMPERVIOUS SURFACE	36,577 SQ. FT.
TOTAL PARKING REQUIRED	54		

EXISTING TREES					
MARK	DESCRIPTION	MARK	DESCRIPTION	MARK	DESCRIPTION
1	PIN OAK/6" CALIPER	12	PIN OAK/6" CALIPER	24	MEXICAN FAN PALM/14"
16	RED MAPLE/10" CALIPER	13	PIN OAK/6" CALIPER	25	MEXICAN FAN PALM/18"
2	PIN OAK/8" CALIPER	14	LIVE OAK/10" CALIPER	26	MEXICAN FAN PALM/18"
3	RED MAPLE/6" CALIPER	15	PIN OAK/8" CALIPER	27	MEXICAN FAN PALM/18"
4	RED MAPLE/6" CALIPER	16	MEXICAN FAN PALM/14"	28	RED MAPLE/10" CALIPER
5	PIN OAK/10" CALIPER	17	MEXICAN FAN PALM/14"		
6	RED MAPLE/10" CALIPER	18	PIN OAK/10" CALIPER		
7	RED MAPLE/10" CALIPER	19	RED MAPLE/8" CALIPER		
8	RED MAPLE/6" CALIPER	20	RED MAPLE/10" CALIPER		
9	PIN OAK/10" CALIPER	21	LIVE OAK/12" CALIPER		
10	RED MAPLE/10" CALIPER	22	PIN OAK/10" CALIPER		
11	MEXICAN FAN PALM/14"	23	LIVE OAK/6" CALIPER		

MAINTENANCE NOTES	LANDSCAPE NOTES
<ol style="list-style-type: none"> THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE. ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO LANDSCAPE MAINTENANCE. ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THIS PLAN. ALL PLANT MATERIAL WHICH DOES SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE. CONTRACTOR SHALL PROVIDE SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE. 	<ol style="list-style-type: none"> CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY OWNER OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS. CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY OWNER OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS. CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES. ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SEWERLINES OR CURBS. ALL LANDSCAPE AREAS THAT EXCEED 1000 SQ. FT. TO BE IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS. METAL EDGING SHALL BE 4" MIN. ALL LANDSCAPE SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM PROVIDED.

PLANT SCHEDULE					
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
18		HESPERALOE PARVIFLORAH	RED YUCCA	60" HT X 36" SPR.	-
25		LEUCOPHYLLUM FRUTESCENS	TEXAS SAGE	96" HT X 72" W	-
197		BUXUS SINICA VAR. INSULARIS 'WINTERGREEN'	WINTERGREEN BOXWOOD	24" HT X 60" W	-
-		STENOTAPHRUM SECUNDATUM	ST. AUGUSTINE TURFGRASS	SOD	SOD TO HAVE TIGHT, ROLLED JOINTS & BE FREE OF WEEDS, DEBRIS, & ROCK



LEGAL DESCRIPTION
LOT 17, BLOCK A, LA JOLLA POINTE, PHASE 2 ADDITION,
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS,
ZONED COMMERCIAL (C) DISTRICT, SITUATED
WITHIN THE IH-30 OVERLAY (IH-30 OV) DISTRICT

OWNER: LOCAL FAVORITE RESTAURANTS, LLC
1845 WOODALL RODGERS FWY. #1100 DALLAS, TX 75201
BILL McMAHON 972.241.2171

PROJECT NUMBER: SP2022-54

SITE PLAN SIGNATURE BLOCK:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT
IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING & ZONING
COMMISSION OF THE CITY OF ROCKWALL.

WITNESS OUR HANDS, THIS _____ DAY OF _____
PLANNING & ZONING COMMISSION CHAIRMAN DIRECTOR OF PLANNING & ZONING

LANDSCAPE PLAN

REV. NO.	DATE	DESCRIPTION
A	07.09.22	CITY COMMENTS
B	10.31.22	PLANNING & ZONING COMMENTS



800 EXPOSITION AVENUE
DALLAS TEXAS 75226
TEL: 214.821.8242
hubcityr2002@gmail.com

SNUFFER'S
RESTAURANT & BAR
CONVERSION
568 EAST I-30 • ROCKWALL, TEXAS 75087

LIGHTING PLAN

REV. NO.	DATE	DESCRIPTION
A	07.09.22	CITY COMMENTS
B	10.31.22	PLANNING & ZONING COMMENTS

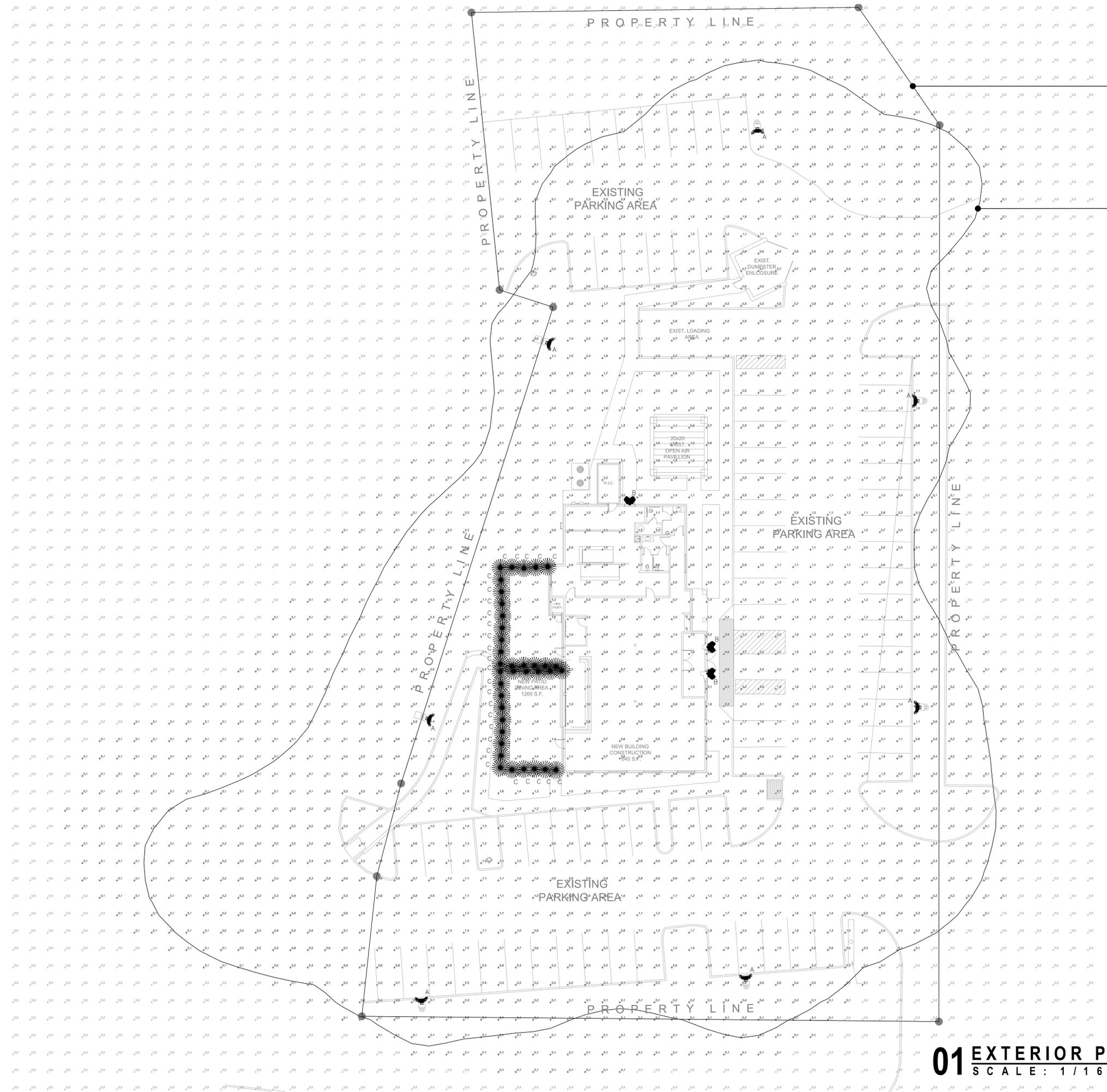


Peter A. Leptuch, P.E.
PE #101149, FIRM #13543
300 N. Carroll Blvd. #200
Denton, TX 76201
(940) 808-0615

DATE ISSUED:
03-13-22

PROJECT NO.:
21751

DRAWING NO.:
E3.1



PROPERTY LINE

0.1 FOOT CANDLE LIMIT

EXTERIOR LIGHTING LEGEND

	POLE LIGHT, 73W LED, 120V MANF: LITHONIA LIGHTING MODEL: RSK1 LED P2 50K R3 HS 20'-0" MOUNTING HEIGHT, 0° TILT
	WALL PACK, 19.1W LED, 120V MANF: LITHONIA LIGHTING MODEL: DSX1 LED 10C 530 40K TFTM MVOLT 10'-0" MOUNTING HEIGHT
	FESTOON LIGHTING, 1.5W LED, 120V MANF: BUDGET LIGHTING MODEL: BAYSIDE LIGHT STRIP HEAVY DUTY 10'-0" MOUNTING HEIGHT

*COORDINATE FIXTURE FINISHES WITH ARCHITECT.
**MOUNTING HEIGHT REFERS TO THE HEIGHT OF THE LIGHT FIXTURE ABOVE GRADE. ANY POLE LIGHT MOUNTED ONTO A CONCRETE BASE SHALL BE CONFIGURED SO THAT THE HEIGHT OF THE LIGHT SOURCE EQUALS WHAT IS SHOWN ON THE SCHEDULE (BASE HEIGHT + POLE HEIGHT = 20'-0").
***VERIFY ALL FINAL SPECIFICATIONS WITH ARCHITECT.
****PARKING LOT LIGHTING IS EXISTING TO REMAIN. EXTERIOR PHOTOMETRIC PLAN IS BASED ON THE POLE LIGHT SPECIFICATION SHOWN ABOVE. WHERE LIGHTING LEVELS MEASURED IN THE FIELD DO NOT MEET LOCAL REQUIREMENTS, REPLACE WITH FIXTURE SPECIFICATION SHOWN ABOVE.

OVERALL ILLUMINATED ZONE CALCULATION

AVERAGE FOOTCANDLE:	0.9
MAXIMUM FOOTCANDLE:	4.4
MINIMUM FOOTCANDLE:	0.1
MAXIMUM/MINIMUM:	44:1
AVERAGE/MINIMUM:	9:1

CIRCUIT ALL EXTERIOR LIGHTING TO CIRCUIT LA-36. CONTROLS SHALL BE VIA PHOTOCELL (ON) AND TIMELOCK (OFF).

01 EXTERIOR PHOTOMETRIC PLAN
SCALE: 1/16" = 1'-0"





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: November 15, 2022
APPLICANT: Frank Polma; *R-Delta Engineers, Inc.*
CASE NUMBER: SP2022-058; *Site Plan for Rayburn Electric Corporation*

SUMMARY

Discuss and consider a request by Frank A. Polma, PE of R-Delta Engineers, Inc. on behalf of Stephen Geiger of Rayburn Country Electric Cooperative for the approval of a Site Plan for an Industrial Campus on a 99.849-acre tract of land identified as Lots 6, 7, 8 & 9, Block A, Rayburn Country Addition and Tract 3 of the W. H. Barnes Survey, Abstract No. 26, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 950 & 980 Sids Road, and take any action necessary.

BACKGROUND

The subject property was annexed on May 19, 1986 by *Ordinance No. 86-37 [Case No. A1986-005]*. According to the December 7, 1993 zoning map the subject property was zoned Agricultural (AG) District and Heavy Commercial (HC) District. On March 17, 2014, the City Council approved a zoning change [*Case No. Z2014-001*] for a portion of the subject property changing the designation from an Agricultural (AG) District to a Heavy Commercial (HC) District. This zoning change put the entire subject property under the Heavy Commercial (HC) District designation. Following this approval, on August 11, 2014, the City Council approved a final plat of the subject property designating it as Lots 1-3, Block A, Rayburn Country Addition. On May 15, 2018, the City Council approved a replat of the subject property establishing Lots 4-7, Block A, Rayburn Country Addition. On January 30, 2019 the City Council approved a subsequent replat of the subject property establishing Lots 8 & 9, Block A, Rayburn Country Addition. On September 19, 2022, the City Council approved a preliminary plat [*Case No. P2022-041*] for the subject property.

PURPOSE

On October 14, 2022, the applicant -- *Frank Polma of R-Delta Engineers, Inc.* -- submitted an application requesting the approval of a Site Plan for the purpose of constructing three (3) buildings on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 950 & 980 Sids Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a two (2) acre parcel of land developed with an office/manufacturing building, zoned Planned Development District 43 (PD-43) for Commercial (C) District land uses. Beyond this is Sids Road, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this are seven (7) tracts of land, one (1) zoned Commercial (C) District (*i.e. 960 Sids Road*), four (4) zoned Heavy Commercial (HC) District (*i.e. 955, 965, 967 & 981 Sids Road*), and two (2) zoned Agricultural (AG) District (*i.e. 995 & 1005 Sids Road*). Beyond this are two (2) large vacant tracts of land zoned Commercial (C) District.

South: Directly south of the subject property is a vacant 58.72-acre tract of land, owned by the applicant, and zoned Heavy Commercial (HC) District and Commercial (C) District. Beyond this is Mims Road, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is the Rockwall Business Park, which is zoned

Heavy Commercial (HC) District. This is followed by two (2) large vacant tracts of land, zoned Agricultural (AG) District.

East: Directly east of the subject property is a vacant 4.1334-acre parcel of land zoned Commercial (C) District. Beyond this is S. Goliad Street [SH-205], which is identified as a P6D (i.e. principal arterial, six [6] lane, divided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the Hickory Ridge Subdivision, which is zoned Planned Development District 10 (PD-10) for Single-Family land uses.

West: Directly west of the subject property is a 1.50-acre tract of land zoned Planned Development District 38 (PD-38) for Heavy Commercial (HC) District land uses. Beyond this is the intersection of Sids Road and Mims Road, which are both identified as M4U (i.e. major collector, four [4] lane, undivided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is the Highland Meadows Subdivision, which is zoned Single Family 7 (SF-7) District.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), an *Office* and *Warehouse* is a permitted *by-right* land use in a Heavy Commercial (HC) District. The submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Heavy Commercial (HC) District with the exception of the items noted in the *Variations and Exceptions Requested by the Applicant* section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	12,500 SF	X=99.849-acres; <i>In Conformance</i>
<i>Minimum Lot Frontage</i>	100-Feet	X= 1,166.39-feet; <i>In Conformance</i>
<i>Minimum Lot Depth</i>	125-Feet	X=338.73-feet; <i>In Conformance</i>
<i>Minimum Front Yard Setback</i>	25-Feet	X>25-feet; <i>In Conformance</i>
<i>Minimum Rear Yard Setback</i>	20-Feet	X>20-feet; <i>In Conformance</i>
<i>Minimum Side Yard Setback</i>	15-Feet	X>15-feet; <i>In Conformance</i>
<i>Maximum Building Height</i>	60-Feet	X=46.25-feet; <i>In Conformance</i>
<i>Max Building/Lot Coverage</i>	60%	X=07.80%; <i>In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	1 Parking Space/1000 SF (47 Required) 1 Parking Space/ 300 SF (222 Required) Total = 269 Parking Spaces	X=271; <i>In Conformance</i>
<i>Minimum Landscaping Percentage</i>	15%	X>15.00%; <i>In Conformance</i>
<i>Maximum Impervious Coverage</i>	90-95%	X<90%; <i>In Conformance</i>

TREESCAPE PLAN

The *Treescape Plan* provided by the applicant indicates that 377.5 caliper inches of trees will be removed from the property as a result of the development. As part of the proposed development the applicant’s landscape plan shows that 78, four (4) inch caliper canopy trees and 17, five (5) inch caliper canopy trees will be planted, totaling 397.00 caliper inches of trees being planted with the proposed development. Based on this the proposed landscape plan satisfies the mitigation balance.

CONFORMANCE WITH THE CITY’S CODES

The applicant is requesting to construct three (3) new buildings on the subject property that will contain a mix of *Office* and *Warehousing* land uses. According to Subsection 02.02(D)(2), *Office Building*, of Article 13, *Definitions*, of the Unified Development Code (UDC), an *Office* is defined as “facility that provides executive, management, administrative, or professional services...but not involving the sale of merchandise except as incidental to a permitted use.” According to Subsection 02.02(D)(2), *Warehouse/Distribution Center*, of Article 13, *Definitions*, of the Unified Development Code (UDC) a *Warehouse/Distribution Center* is defined as “(a) building used primarily for the storage and distribution of goods, merchandise, supplies, and equipment.” In this case, the applicant’s request for *Office* and *Warehousing* land uses are

permitted by right according to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

According to Subsection 01.05, *Screening Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(o)ff-street loading docks must be screened from all public streets, any residential zoning district or residentially used property, and any parks and open space that abuts or is directly across a public street or alley from the subject property." This section also states that either a six (6) foot masonry wall with canopy trees or three (3) tiered screening shall be utilized to screen off-street loading docks. In this case, the applicant's off-street loading dock faces onto a public street (*i.e. Sids Road*) and requires screening. In lieu of the screening methods listed previously, the applicant is suggesting to plant a 36-inch tall shrub row along Sids Road for screening. The applicant has proposed this screening method as they have detailed that existing water and sewer easements restrict their ability to use of canopy or accent trees. This screening method will require an exception from the Planning and Zoning Commission, which is listed in the *Variations and Exceptions Requested by the Applicant* section of this case memo.

The proposed site plan also generally conforms to the requirements of the *General Commercial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the exceptions being requested as outlined in the *Variations and Exceptions Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following exceptions:

(1) Screening Standards.

- (a) Above Ground Storage Tanks. According to Subsection 01.05, *Screening Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(a)bove ground storage tanks shall be screened utilizing walls matching the main structure." In this case, the applicant is requesting not to screen an above ground storage tank, stating that it will be internal to the site and have limited visibility from any public rights-of-way or adjoining properties. This will require an exception from the Planning and Zoning Commission.
- (b) Outside Storage. According to Subsection 01.05, *Screening Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(o)utside storage of materials or vehicles shall be screened from all public streets, any residential zoning district or residentially used property, and parks and open space that abuts or is directly across a public street or alley from the subject property." In this case, the applicant has a laydown yard for outside storage and is requesting not to fully screen it on the basis that it will be internal to the site and have limited visibility from any public rights-of-way or adjoining properties. This will require an exception from the Planning and Zoning Commission.
- (c) Loading Docks. According to Subsection 01.05, *Screening Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(o)ff-street loading docks must be screened from all public streets, any residential zoning district or residentially used property, and any parks and open space that abuts or is directly across a public street or alley from the subject property." In this case the applicant is requesting to screen the roll up doors with 36-inch tall shrubs in lieu of three (3) tiered landscaping or a masonry wall with canopy trees. As stated above the applicant has indicated there is existing water and wastewater lines/easements that restrict their ability to plant canopy or accent trees in these areas. This will require an exception from the Planning and Zoning Commission.

(2) Building Articulation.

- (a) Primary and Secondary Building Facades. According to Subsection 04.01 (C), *General Commercial District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), for primary and secondary building facades a "...wall length shall not exceed three (3) times the wall height." In this case, each of

the new buildings the applicant is proposing do not meet the wall length requirement. This will require an exception from the Planning and Zoning Commission.

(3) Landscaping Standards.

- (a) Non-Residential Landscape Buffers. According to Subsection 05.01, *Landscape Buffers*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), a landscape buffer abutting a public right-of-way shall be "(a) minimum of a ten (10) foot wide landscape buffer [and] shall be required along the entire length of any non-residential lot that abuts a public right-of-way..." and "...shall incorporate ground cover, a built-up berm and shrubbery along the entire length of frontage." In this case, the applicant is requesting to only provide the buffer in front of the buildings they are proposing to develop along Sids Road, and not along the existing detention pond. Currently, there is a ten (10) landscape buffer; however, this portion of the landscape buffer does not incorporate the required canopy and accent trees. The applicant is also requesting not to incorporate the berm along the entire existing and proposed ten (10) foot landscape buffer. The applicant has stated that they are trying to provide continuity along their frontage and that the existing landscape buffer does not incorporate a berm. This will require an exception from the Planning and Zoning Commission.

(4) Engineering Standards.

- (a) Driveway Spacing. According to Figure 2.3, *Minimum Driveway Spacing & Corner Clearance*, of Section 2, *Streets*, of the Engineering Standards of Design and Construction the proposed driveway along S. Goliad Street [SH-205] does not meet the minimum driveway spacing requirements. In this case, the applicant has been working with TXDOT on right-in and right-out configuration for this driveway. While this is considered to be off-site, this element of the proposed project will require a variance from the Planning and Zoning Commission.
- (b) Gravel Surface. According to Subsection 2.20, *Off-Street Parking*, of Section 2, *Streets*, of the Engineering Standards of Design and Construction states that "(a)ll parking areas and spaces shall be designed and constructed of steel reinforced concrete." In addition, Subsection 03.02, *Paving Materials*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC) states that "(a)ll required parking and loading areas, public and private drives, and fire lanes shall be constructed of concrete ...". In this case, the applicant is requesting a gravel lay down yard for equipment and vehicles, and has stated that this is to accommodate tracked vehicles. This will require a variance/exception from the Planning and Zoning Commission.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code would create an undue hardship. In addition, the code requires that the applicant provide compensatory measures that directly offset the requested variances and exceptions. As compensatory measures for this case, the applicant is proposing [1] increased architectural elements on *Buildings D & E*, [2] *Building E* will have at least 90% stone on each façade, [3] all buildings will have greater masonry material percentages than adjacent properties, and [4] providing seventeen (17), five (5) inch caliper canopy trees in lieu of the required four (4) inch caliper trees. Compensatory measure three (3) is not truly a compensatory measure; however, staff should note that the proposed buildings do incorporate a greater percentage of stone than the adjacent properties along Sids Road and that the proposed buildings maintain continuity with the design scheme of other buildings situated on the site. This better creates a campus type development on the subject property; however, requests for exceptions and variances to the *General Standards* and *Engineering Standards of Design and Construction* are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (e.g. six [6] out of the seven [7] commissioners) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of a variance or exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the Southwest Residential District. The Southwest Residential District "...contains a mixture of land uses that include existing medium and low density residential, heavy commercial/retail land uses (i.e. *National Drive, Sids Road, and Mims Road*) and commercial land uses." *Strategy #2* in the Southwest Residential District indicates that the properties

surrounding Sids Road and Mims Road contain some of the only land in the City for *Commercial/Industrial* land uses and that "...these areas should be protected from the encroachment of incompatible land uses." In this case, the applicant is proposing *Office* and *Warehousing*, which maintains the existing land uses on subject property and in the surrounding area. Based on this the applicant's proposal appears to conform with the goals and policies of the Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On October 25, 2022 the Architecture Review Board approved a motion to recommend approval of the building elevations and variances/exceptions by a vote of 6-0, with Board Member Johnson absent.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the construction of three (3) buildings on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **950 Sids Road, Rockwall, Texas**

SUBDIVISION **Rayburn Country Addition**

LOT _____

BLOCK _____

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **AG, C and HC**

CURRENT USE **Rayburn Electric's Headquarters**

PROPOSED ZONING **AG, C and HC**

PROPOSED USE **Rayburn Electric's Headquarters**

ACREAGE **99.849**

LOTS [CURRENT] _____

Four (4)

LOTS [PROPOSED] _____

Four (4)



SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Rayburn Country Electric Coop.**

APPLICANT **R-Delta Engineers, Inc.**

CONTACT PERSON **Stephen Geiger**

CONTACT PERSON **Frank A. Polma, P.E.**

ADDRESS **950 Sids Road**

ADDRESS **618 Main Street**

CITY, STATE & ZIP **Rockwall, Texas, 75087**

CITY, STATE & ZIP **Garland, Texas, 75040**

PHONE **(469) 402-2112**

PHONE **(972) 494-5031**

E-MAIL **sgeiger@rayburnelectric.com**

E-MAIL **fapolma@rdelta.com**

NOTARY VERIFICATION [REQUIRED]

Stephen Geiger

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

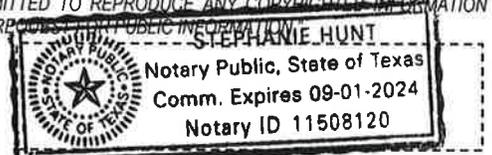
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 2,246.98 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF October, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12 DAY OF October, 2022

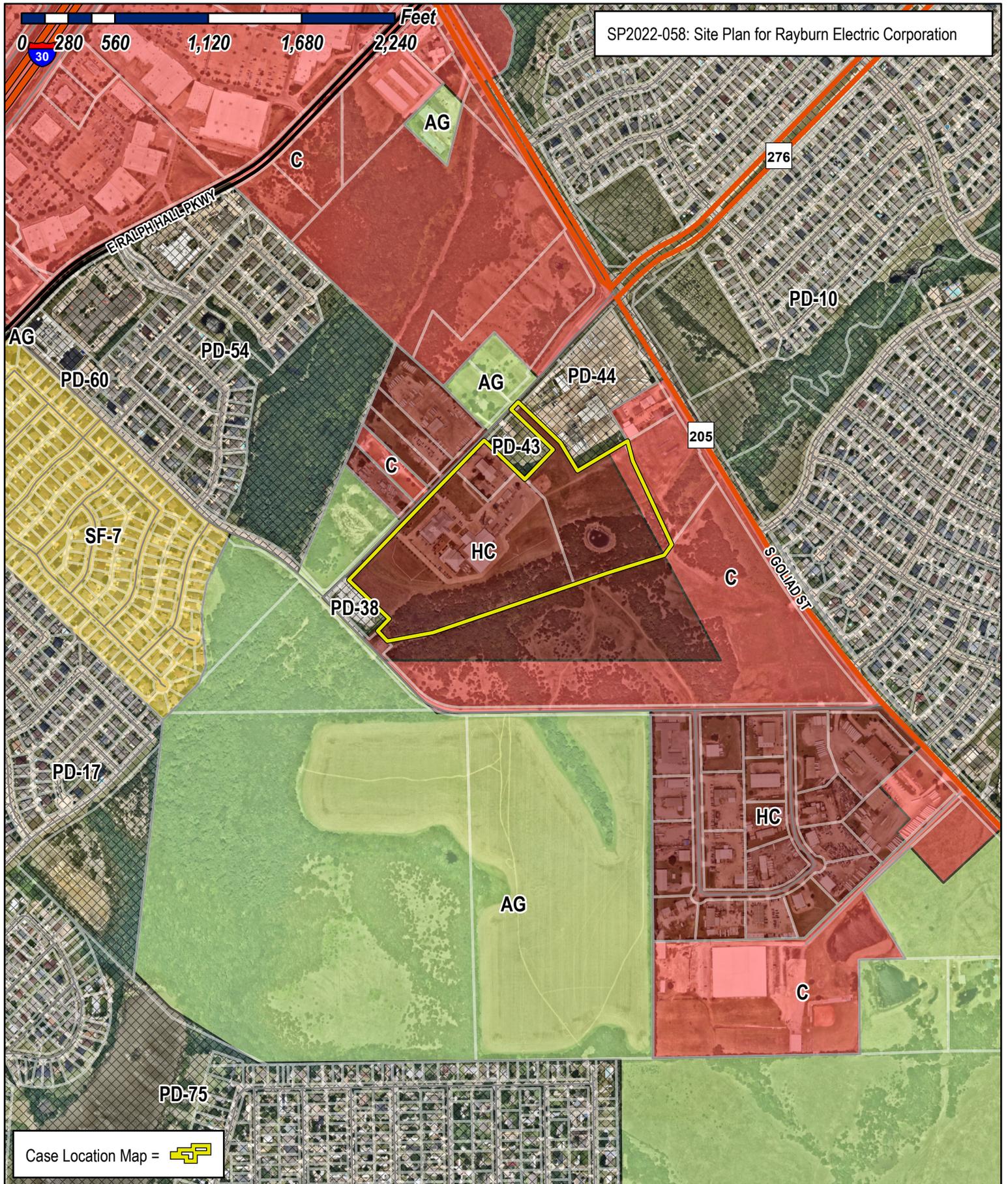
OWNER'S SIGNATURE

Stephen Geiger

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES



SP2022-058: Site Plan for Rayburn Electric Corporation

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





November 3, 2022

City of Rockwall, Texas
385 S. Goliad Street
Rockwall, Texas 75087

ATTENTION: **Mr. Henry Lee, AICP
Planner**

SUBJECT: **REC Campus Expansion – Case #SP2022-058
Variance Requests (Revision 2)**

Dear Mr. Lee,

Pursuant to submittal of the project Site Plan and supporting documents and on behalf of Rayburn Country Electric Cooperative (REC); we request variances to the following City Unified Development Code (UDC) requirements for this project:

- 1) **Building Primary and Secondary Façade Articulation:** The proposed cladding of Buildings “D” and “E” is based on the functionality of the building interior activities as well as the existing REC Headquarters Building on site. The facilities within Buildings “D” and “E” (new warehouse, mobile substation storage, lineman training facility, and office administration areas) are critical spaces requiring 24/7 redundancy for mechanical and electrical systems to maintain operations regardless of any adverse environmental conditions. The proposed length of Building “D” reflects the layout necessary to meet the required program and the specific adjacencies necessary to support these functions. The office components of Building “D” emulate the example of the existing headquarters building to ensure a similar architectural style from the site and along Sids road. The materials of Building “D” are primarily leuders stone, tilt-up concrete panels with matching integral color, standing-seam metal roofs, and wood accents to break up the massing. As part of the overall campus expansion, the design considers the massing of existing buildings, locating the new buildings on the site to allow open green space to be viewed from the public right of way. Compensatory measures included in the building designs per Article 11, Section 9.01 of the UDC are as follows:
 - (G) Masonry building materials in percentages greater than surrounding properties (Buildings “D”, “E” & “F”)
 - (H) Inclusion of 20-percent natural or cultured stone (Building “E”)
 - (I) Increased architectural elements (Buildings “D” and “E”):
 - Canopies
 - Awnings

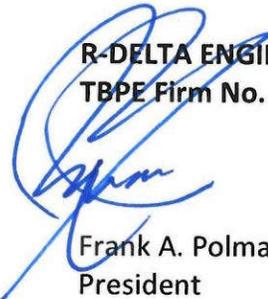
- Peaked roof forms
 - Outdoor patio space
 - Outdoor plaza space
 - Display windows
 - Varied roof heights
 - (K) Compliance with General Overlay District Standards
 - Exterior façade with 90-percent Primary Materials and/or a maximum of 10-percent Secondary Materials excluding doors and windows (Building “E”)
 - Rooftop Mechanical Equipment Screening and other rooftop appurtenances accomplished by architectural features integral to the building’s design ensuring the mechanical equipment is not visible from any direction (Building “D”)
- 2) Above Ground Fuel Tank Screening: Subsection 01.05 of the UDC requires screening with walls matching the main structure. The proposed fuel storage tank is internal to the site and not visible from any public right-of-way. We request that this requirement be waived since walls would serve no purpose screening the fuel storage tank from public view. No compensatory mitigation measures are proposed for this request.
 - 3) Driveway Spacing Variance: A variance to the minimum spacing requirement is requested for the proposed Access Drive connection to State Highway 205. Preliminary discussions with the Texas Department of Transportation indicate they will permit the reduced driveway spacing if the driveway connection is constructed in the “right in” “right out” configuration shown on the Site Plan. The proposed access drive connection to State Highway 205 will be gated and is intended mainly for egress of the REC Mobile Substation. Compensatory mitigation is the “right in” “right out” configuration of the proposed drive approach at State Highway 205.
 - 4) Outdoor Storage Area Screening Variance: A partial variance for screening of the proposed Outdoor Storage Area is requested due to its distance from State Highway 205 and the existing Heavy Commercial use of the adjacent properties. In lieu of perimeter screen walls or the full landscape screening we request that only canopy trees along a portion of the proposed access drive be required to screen the outdoor storage area as shown in the Landscape Plans. As compensatory mitigation proposed Building “F” will include 10-foot high masonry walls on three sides in order to screen the equipment contained within from view of adjacent properties. The purpose of Building “F” is to shelter equipment from the elements and exterior walls are not necessary for this function.
 - 5) Outdoor Storage Area Surfacing: A variance is requested to allow the use of gravel surfacing in lieu of concrete paving in the Outdoor Storage Area. This area will be utilized for storage of high voltage electrical equipment, raw materials, and construction equipment used in the course of business for REC operations. The construction equipment includes a Caterpillar D6 and other metal tracked heavy construction equipment that would degrade concrete paving over time. Compensatory mitigation measures for the gravel surfacing are the extensive enhanced pedestrian improvements and Amenity Pond proposed with the campus expansion.

- 6) Three Tiered Screening along Sids Road: Subsection 05.02, Article 8 of the UDC requires screening of the Building “D” roll-up doors from Sids Road. City comments indicate three-tiered screening is the preferred screening method. Taller shrubs (36-inch height initial) are proposed in lieu of a shrub/berm combination due to the existing 15-foot Water and Drainage Easement, existing fence, and existing trees along the Sids Road frontage.

In addition to the variances requested above, we request that this project be permitted to utilize the version of the Tree Preservation Ordinance (UDC Article 09) in place at the time of Preliminary Plat approval (i.e. the “previous” version). The Treescape Plan included in the Site Plan resubmittal is based on the previous version of the Tree Preservation Ordinance.

We greatly appreciate your consideration of these variance requests.

Best Regards,



R-DELTA ENGINEERS, INC.
TBPE Firm No. F-001515

Frank A. Polma, P.E.
President

Cc: Mr. Stephen Geiger, P.E. – Rayburn Electric Cooperative

ARCHITECT
HKS, INC.
350 N SAINT PAUL ST
SUITE 100
DALLAS, TX 75201

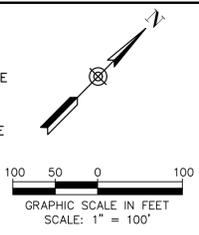
LANDSCAPE ARCHITECT
KIMLEY-HORN AND ASSOCIATE, INC.
260 EAST DAVIS STREET, SUITE 100
MCKINNEY, TX 75069

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HKS, INC.
350 N SAINT PAUL ST, SUITE 100
DALLAS, TX 75201-4240

MEP ENGINEERS
SYSKA HENNESSY GROUP
4925 GREENVILLE AVENUE, SUITE 415
DALLAS, TX 75206

OWNER/APPLICANT
RAYBURN ELECTRIC COOPERATIVE
950 SIDS ROAD
ROCKWALL, TX 75087
469-402-2100

CIVIL ENGINEER
R - DELTA ENGINEERS, INC.
618 MAIN STREET
GARLAND, TEXAS 75040
TBPE No. F-1515



- LEGEND**
- EM EX. ELECTRIC METER
 - ICV EX. IRRIGATION CONTROL VALVE
 - B EX. BOLLARD
 - WM EX. WATER METER
 - SSMH EX. SANITARY SEWER MANHOLE
 - TPED EX. TELEPHONE PEDESTAL
 - WV EX. WATER VALVE
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 - FH EX. FIRE HYDRANT
 - CMP EX. CORRUGATED METAL PIPE
 - X" W EX. WATER MAIN PIPE
 - X" WW EX. WASTE WATER MAIN PIPE
 - XX" CMP EXISTING CORRUGATED METAL PIPE & SIZE
 - EXISTING WROUGHT IRON FENCE
 - EXISTING CHAIN LINK FENCE
 - EXISTING POWER POLE
 - OHE EXISTING OVERHEAD ELECTRIC
 - EXISTING GUY WIRE
 - EXISTING FLOOD LIGHT
 - EDGE OF ASPHALT
 - PROPOSED WROUGHT IRON FENCE
 - PROPOSED 6' CHAIN LINK FENCE BY OTHERS
 - 100-YR FLOOD PLAIN-ROCKWALL
 - BFR - CONSTRUCT BARRIER FREE RAMP WITH TRUNCATED DOMED PANELS PER CITY DETAILS. NO EXTRA PAY ITEM FOR MONOLITHIC CURBS.
 - ACCESSIBLE AISLE STRIPING
 - CROSS-SECTION LOCATION-CITY OF ROCKWALL MASTER DRAINAGE STUDY
 - PROPOSED CONCRETE PAVEMENT
 - PROPOSED GRAVEL SURFACING

EXISTING SITE PARKING DATA

PUBLIC SPACES	ACCESSIBLE SPACES	TOTAL
125	5	130

PROPOSED SITE PARKING DATA

PUBLIC SPACES	ACCESSIBLE SPACES	TOTAL
262	9	271

SITE INFORMATION:

EXISTING ZONING: HEAVY COMMERCIAL (HC), COMMERCIAL (C), & AGRICULTURAL (AG)

PROPOSED ZONING: NO CHANGE

PROPOSED USE: EXPANSION OF EXISTING SITE TO INCLUDE 2 NEW OFFICE BUILDINGS, TRUCK WAREHOUSE, AND LAYDOWN STORAGE WAREHOUSE

TOTAL AREA LOT 1: 1,366,902 SQ FT 31.38 AC
TOTAL AREA LOTS 1-4: 4,146,392 SQ FT 95.19 AC

LOT 1 "HC" ZONING

MAXIMUM BUILDING HEIGHT: 60 FT
MAXIMUM LOT COVERAGE: 60%
MAXIMUM FLOOR AREA RATIO: 4:1
MAXIMUM IMPERVIOUS PARKING: 90-95%

PROPOSED MAX. BUILDING D HEIGHT: 40'
PROPOSED MAX. BUILDING E HEIGHT: 46'-4"
PROPOSED MAX. BUILDING F HEIGHT: 26'-8"
PROPOSED LOT COVERAGE: 106,281/1,366,902 = 7.8%
PROPOSED FLOOR AREA RATIO: 113,260/1,366,902 = 0.08:1
PROPOSED IMPERVIOUS PARKING: 69,510/1,366,902 = 5.1%

EXISTING PARKING:
EXISTING WAREHOUSE 23,520 SQ FT (1:1000) = 24 SPACES
EXISTING OFFICE 31,530 SQ FT (1:300) = 106 SPACES
REMOVED OFFICE 7,700 SQ FT (1:300) = -26 SPACES

EXISTING REQUIRED PARKING = 104 SPACES

REQUIRED PARKING:
PROPOSED WAREHOUSE D 12,750 SQ FT (1:1000) = 13 SPACES
PROPOSED OFFICE D 19,600 SQ FT (1:300) = 66 SPACES
PROPOSED OFFICE E 23,000 SQ FT (1:300) = 77 SPACES
PROPOSED WAREHOUSE F 10,560 SQ FT (1:1000) = 11 SPACES

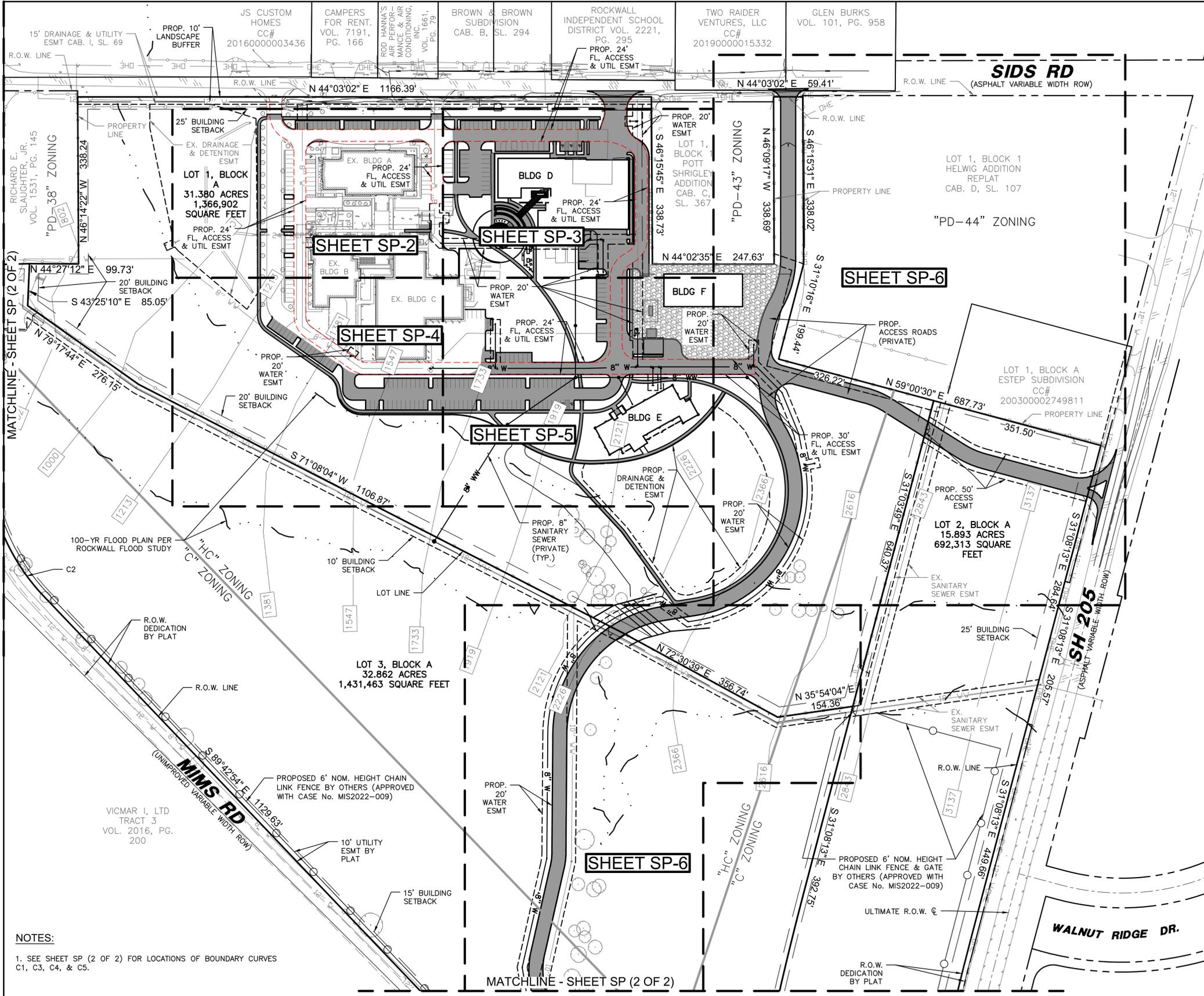
TOTAL REQUIRED PARKING = 271 SPACES
TOTAL PROVIDED PARKING = 271 SPACES

PAVEMENT INFORMATION:

ALL PAVEMENTS BELOW HAVE #3 BARS 24" O.C.E.W.

PAVEMENT TYPE	THICKNESS (INCHES)	28-DAY (PSI)	MIN. CEMENT (SACKS/CY)	HAND
FIRE LANE	6"	3,600	6.0	6.5
DRIVEWAYS	6"	3,600	6.0	6.5
BARRIER FREE RAMPS	6"	3,600	6.0	6.5
DUMPSTER PADS	7"	3,600	6.0	6.5
SIDEWALKS	4"	3,000	N/A	5.5
PARKING LOT/ DRIVE AISLES	5"	3,000	5.0	5.5

REC CAMPUS EXPANSION
REC CAMPUS ADDITION
LOTS 1-4, BLOCK A
WILLIAM H. BARNES SURVEY, ABSTRACT NO. 26,
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



NOTES:
1. SEE SHEET SP (2 OF 2) FOR LOCATIONS OF BOUNDARY CURVES C1, C3, C4, & C5.

BOUNDARY CURVE DATA

CURVE	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	111°1'01"	5,779.71'	1,128.15'	S 36°43'43" E	1,126.36'
C2	46°17'44"	417.50'	337.34'	N 66°34'02" W	328.24'
C3	36°44'03"	482.50'	309.35'	S 61°47'11" E	304.08'
C4	129°16'42"	40.00'	90.25'	S 23°55'53" W	72.29'
C5	7°41'42"	6,142.03'	824.89'	N 34°59'04" W	824.27'

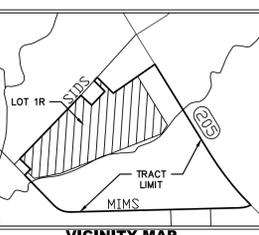
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WITNESS OUR HANDS, this ___ day of ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

PRELIMINARY
SUBMITTED FOR REVIEW
BY: BRIAN PAUL PATRICK
P.E. 80844
R-Delta Engineers, Inc.
Date: November 3, 2022
NOT FOR CONSTRUCTION, BIDDING OR PERMITTING PURPOSES

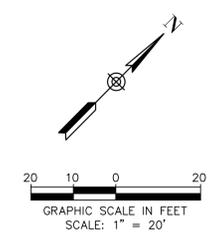
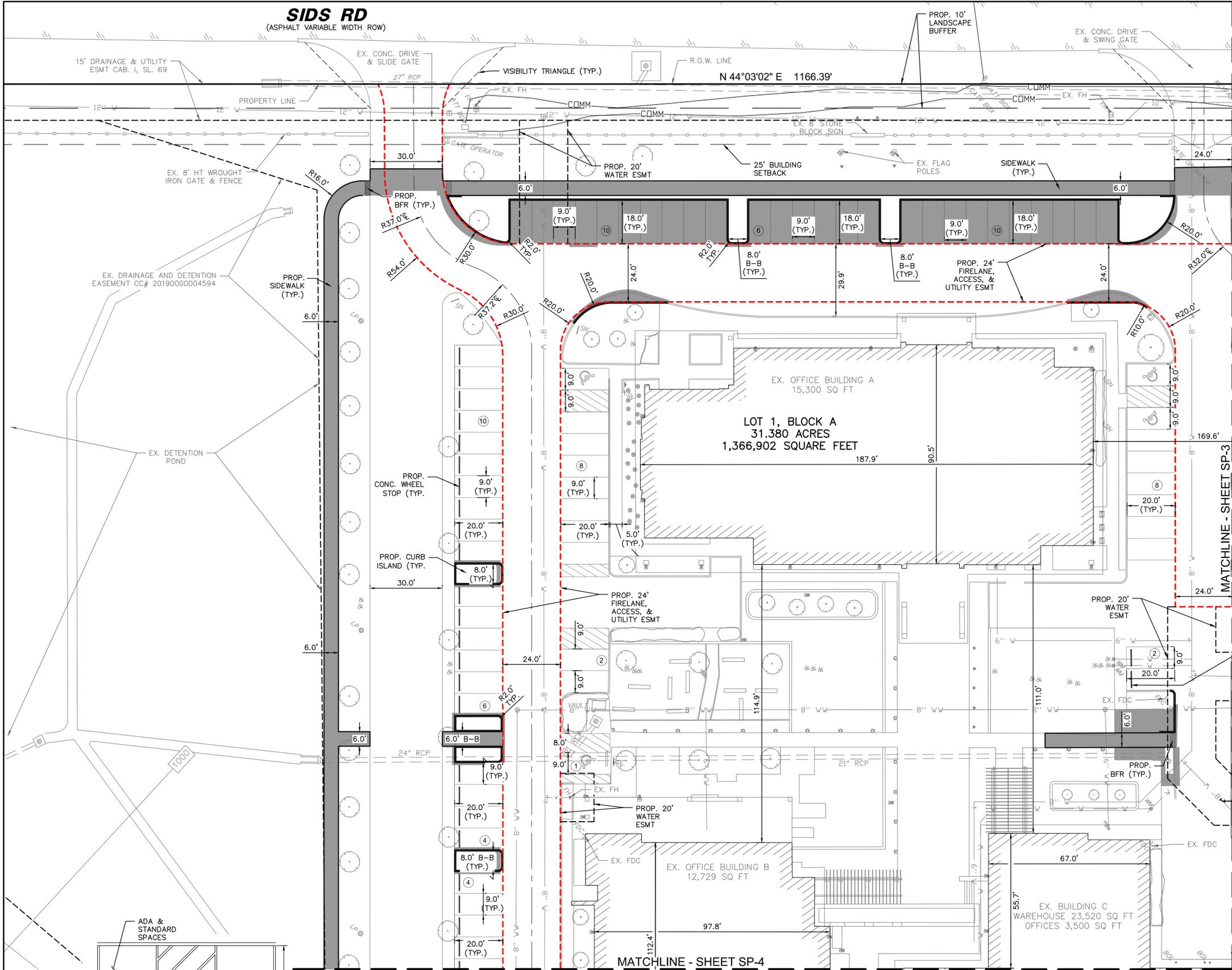


VICINITY MAP

REVISION NO.	DESCRIPTION	DATE

PROJECT NUMBER
3036.21
DATE
11/03/2022
ISSUE
CITY SITE PLAN
SUBMITTAL
SHEET TITLE
SITE PLAN
CASE# SP2022-058

SIDS RD
(ASPHALT VARIABLE WIDTH ROW)

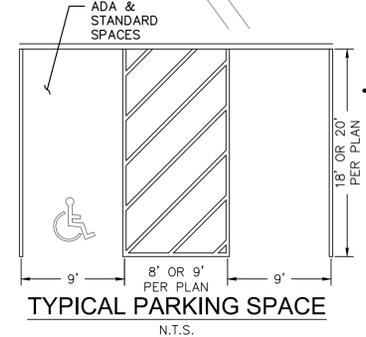


LEGEND

EM	EX. ELECTRIC METER
ICV	EX. IRRIGATION CONTROL VALVE
B	EX. BOLLARD
WM	EX. WATER METER
SSMH	EX. SANITARY SEWER MANHOLE
TPED	EX. TELEPHONE PEDESTAL
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[Symbol]	PROPOSED CONCRETE PAVEMENT

NOTES:

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2. ALL RADII ARE 2' UNLESS OTHERWISE INDICATED.
3. ALL DIMENSIONS ARE TO THE FACE OF CURB OR EDGE OF PAVEMENT.
4. SEE SHEET SP (1 OF 2) FOR SITE INFORMATION AND PARKING INFORMATION.



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Planning & Zoning Commission, Chairman

Director of Planning and Zoning

HKS

ARCHITECT
HKS, INC.
350 N SAINT PAUL ST
SUITE 100
DALLAS, TX 75201

LANDSCAPE ARCHITECT
KIMLEY-HORN AND ASSOCIATE, INC.
260 EAST DAVIS STREET, SUITE 100
MCKINNEY, TX 75069

STRUCTURAL ENGINEER
HKS, INC.
350 N SAINT PAUL ST, SUITE 100
DALLAS, TX 75201-4240

MEP ENGINEERS
SYSKA HENNESSY GROUP
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DALLAS, TX 75206

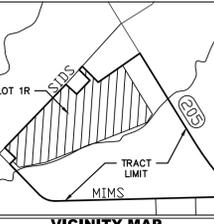
OWNER/APPLICANT
RAYBURN ELECTRIC COOPERATIVE
950 SIDS ROAD
ROCKWALL, TX 75087
469-402-2100

CIVIL ENGINEER
R-DELTA ENGINEERS, INC.
618 MAIN STREET
GARLAND, TEXAS 75040
TBPE No. F-1515



PRELIMINARY

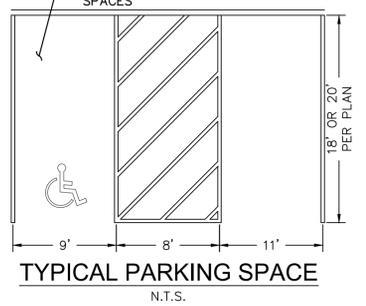
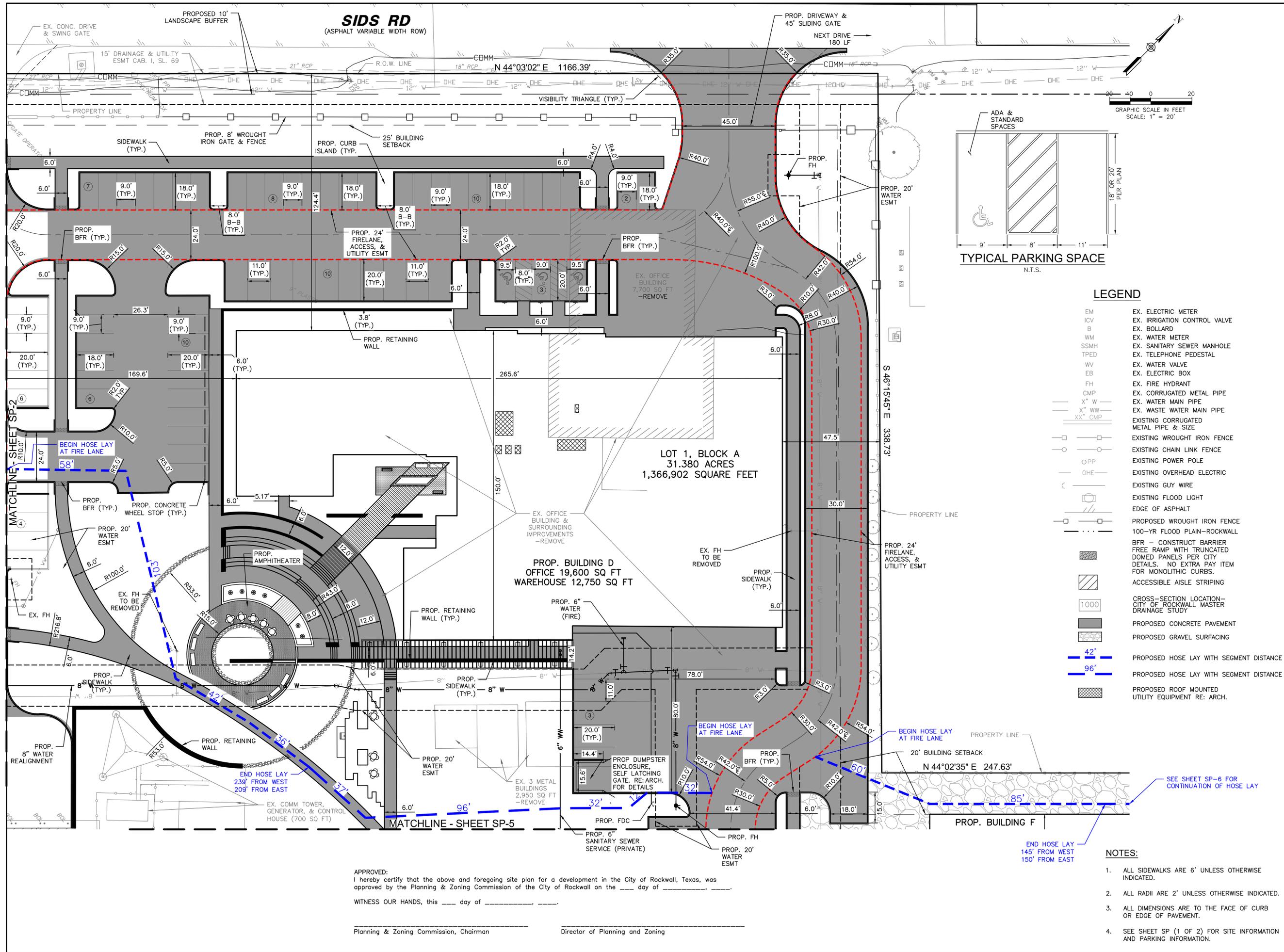
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BY: BRIAN PAUL PATRICK
P.E. 80844
R-Delta Engineers, Inc.
Date: November 3, 2022
NOT FOR CONSTRUCTION, BIDDING OR PERMITTING PURPOSES



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SITE PLAN
CASE# SP2022-058

SHEET NO.
SP-2



LEGEND

EM	EX. ELECTRIC METER
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B	EX. BOLLARD
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[Symbol]	PROPOSED CONCRETE PAVEMENT
[Symbol]	PROPOSED GRAVEL SURFACING
[Symbol]	PROPOSED HOSE LAY WITH SEGMENT DISTANCE 42'
[Symbol]	PROPOSED HOSE LAY WITH SEGMENT DISTANCE 96'
[Symbol]	PROPOSED ROOF MOUNTED UTILITY EQUIPMENT RE: ARCH.

HKS
 ARCHITECT
 HKS, INC.
 350 N SAINT PAUL ST
 SUITE 100
 DALLAS, TX 75201

LANDSCAPE ARCHITECT
 KIMLEY-HORN AND ASSOCIATE, INC.
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STRUCTURAL ENGINEER
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 DALLAS, TX 75201-4240

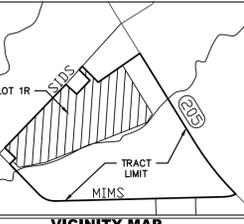
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OWNER/ APPLICANT
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 ROCKWALL, TX 75087
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CIVIL ENGINEER
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REVISION

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SUBMITTAL
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SITE PLAN
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SHEET NO.
SP-3

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 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

- NOTES:**
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 - ALL DIMENSIONS ARE TO THE FACE OF CURB OR EDGE OF PAVEMENT.
 - SEE SHEET SP (1 OF 2) FOR SITE INFORMATION AND PARKING INFORMATION.

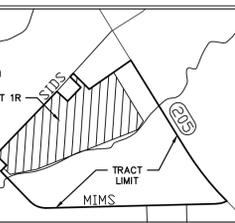


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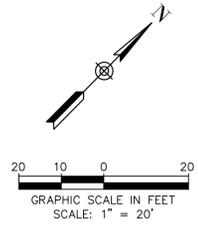


VICINITY MAP

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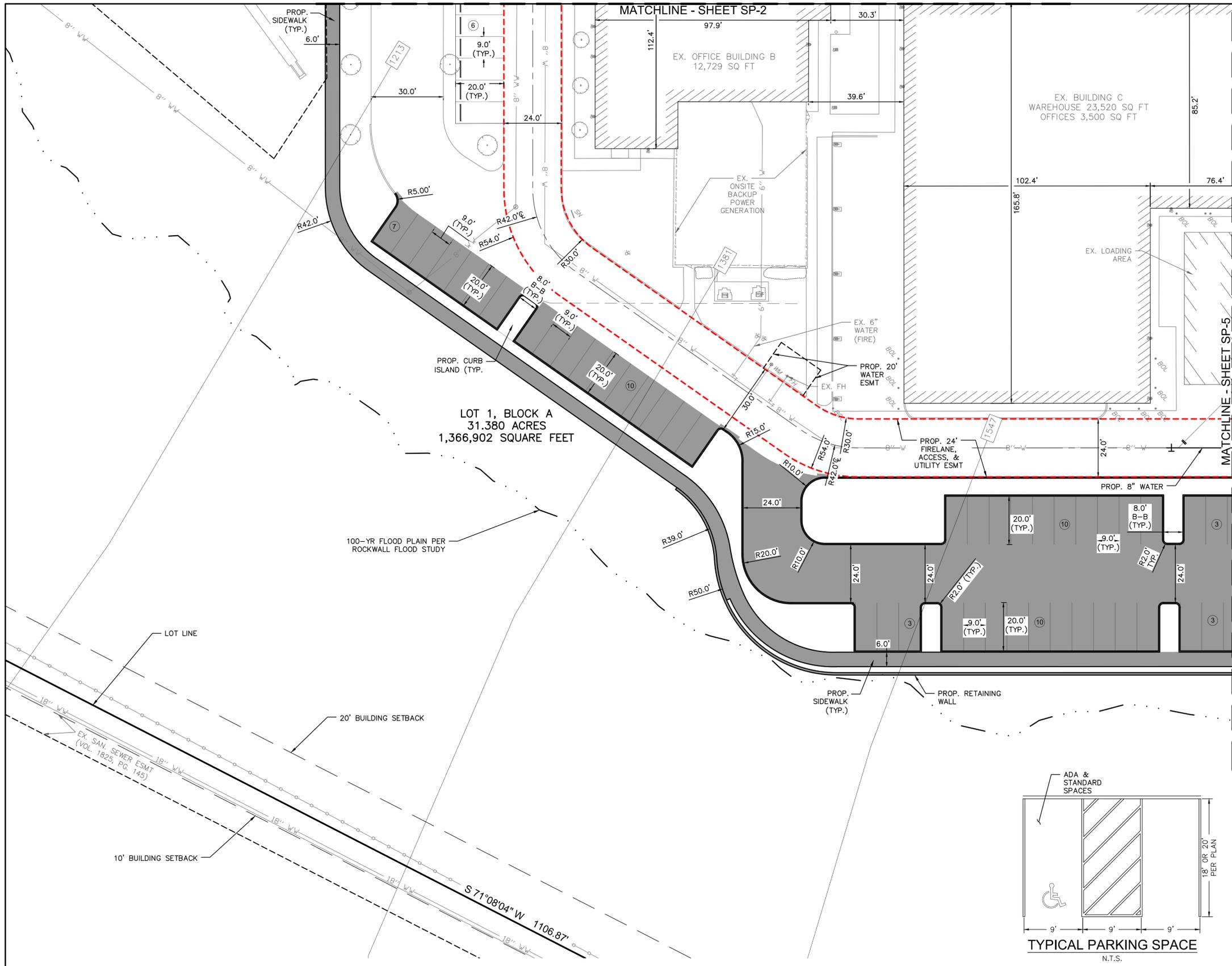
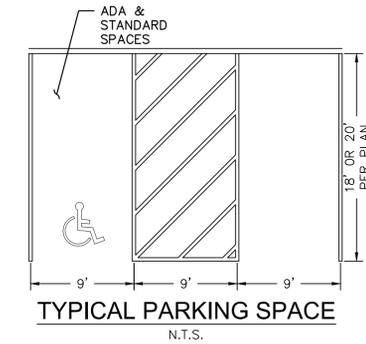


LEGEND

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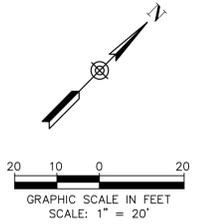
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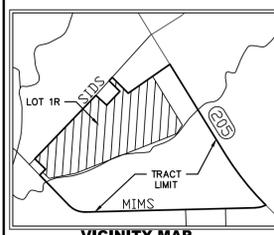
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- PROPOSED CONCRETE PAVEMENT
- PROPOSED GRAVEL SURFACING
- 74' PROPOSED HOSE LAY WITH SEGMENT DISTANCE
- 85' PROPOSED HOSE LAY WITH SEGMENT DISTANCE
- PROPOSED ROOF MOUNTED UTILITY EQUIPMENT RE: ARCH.

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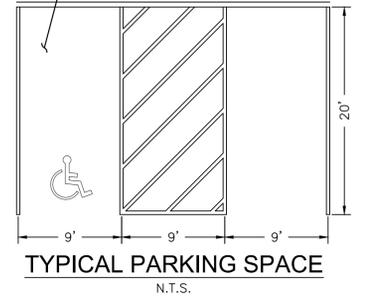
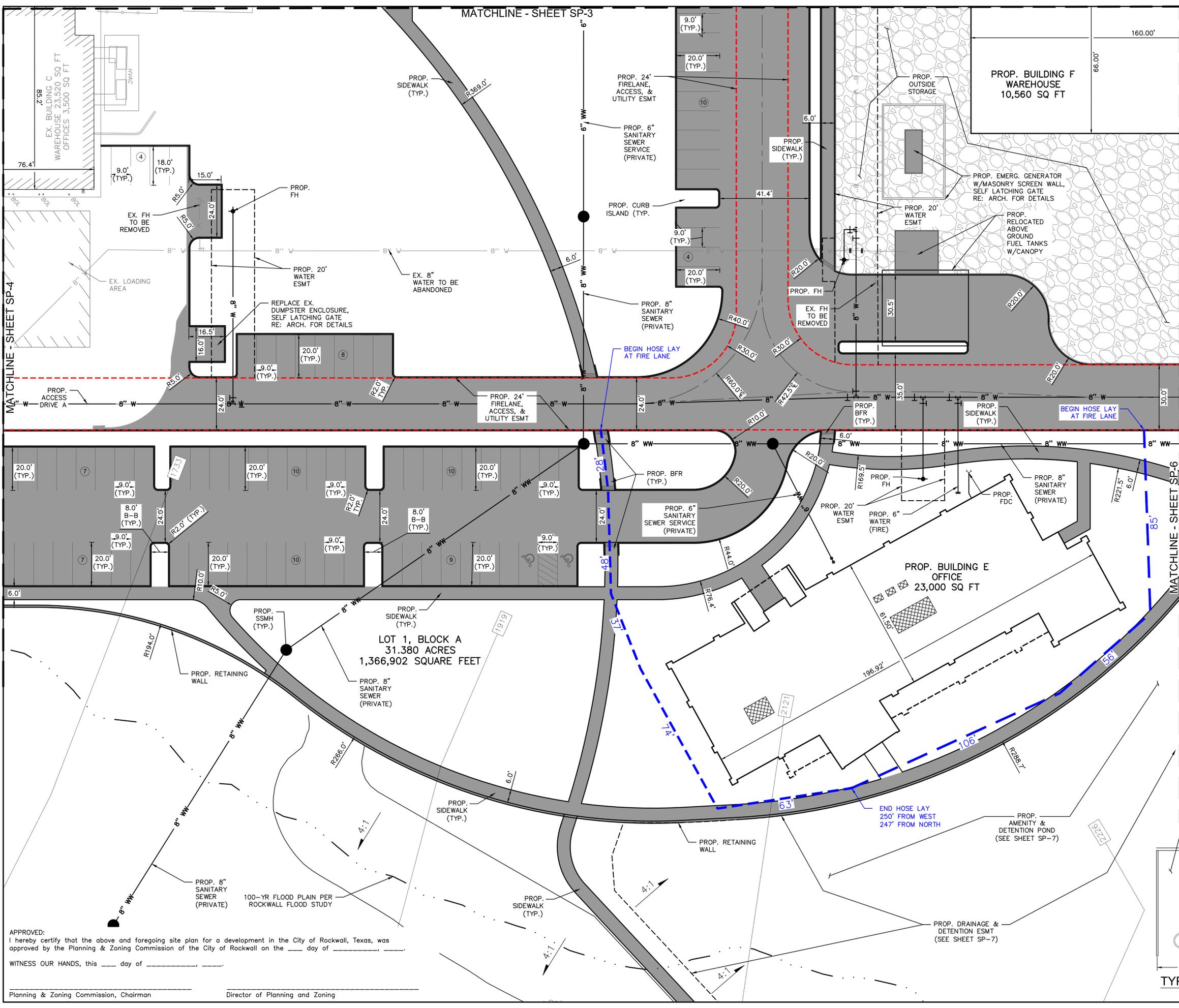
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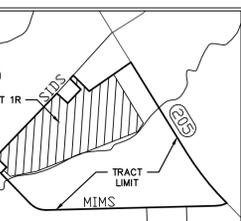


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NOT FOR CONSTRUCTION, BIDDING
OR PERMITTING PURPOSES

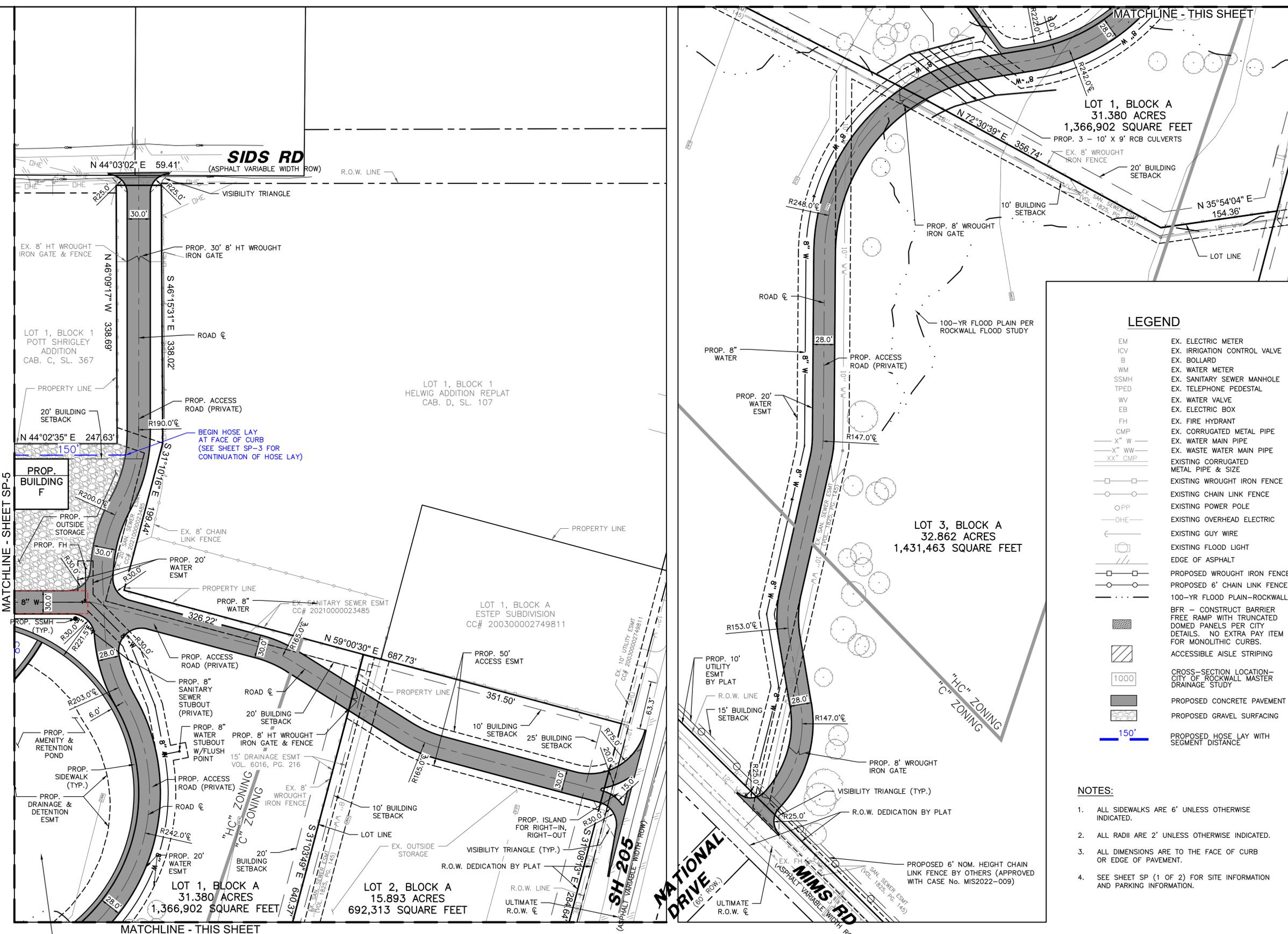
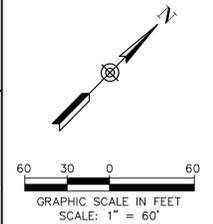


VICINITY MAP

REVISION NO.	DESCRIPTION	DATE

PROJECT NUMBER
3036.21
DATE
11/03/2022
ISSUE
CITY SITE PLAN
SUBMITTAL
SHEET TITLE
SITE PLAN
CASE# SP2022-058

SHEET NO.



LEGEND

EM	EX. ELECTRIC METER
ICV	EX. IRRIGATION CONTROL VALVE
B	EX. BOLLARD
WM	EX. WATER METER
SSMH	EX. SANITARY SEWER MANHOLE
TPED	EX. TELEPHONE PEDESTAL
WV	EX. WATER VALVE
EB	EX. ELECTRIC BOX
FH	EX. FIRE HYDRANT
CMP	EX. CORRUGATED METAL PIPE
X" W	EX. WATER MAIN PIPE
X" WW	EX. WASTE WATER MAIN PIPE
XX" CMP	EXISTING CORRUGATED METAL PIPE & SIZE
—○—	EXISTING WROUGHT IRON FENCE
—○—	EXISTING CHAIN LINK FENCE
○PP	EXISTING POWER POLE
—OHE—	EXISTING OVERHEAD ELECTRIC
—	EXISTING GUY WIRE
—	EXISTING FLOOD LIGHT
—	EDGE OF ASPHALT
—	PROPOSED WROUGHT IRON FENCE
—	PROPOSED 6' CHAIN LINK FENCE BY OTHERS
—	100-YR FLOOD PLAIN-ROCKWALL
—	BFR - CONSTRUCT BARRIER FREE RAMP WITH TRUNCATED DOMED PANELS PER CITY DETAILS. NO EXTRA PAY ITEM FOR MONOLITHIC CURBS.
—	ACCESSIBLE AISLE STRIPING
1000	CROSS-SECTION LOCATION-CITY OF ROCKWALL MASTER DRAINAGE STUDY
—	PROPOSED CONCRETE PAVEMENT
—	PROPOSED GRAVEL SURFACING
150'	PROPOSED HOSE LAY WITH SEGMENT DISTANCE

NOTES:

- ALL SIDEWALKS ARE 6' UNLESS OTHERWISE INDICATED.
- ALL RADII ARE 2' UNLESS OTHERWISE INDICATED.
- ALL DIMENSIONS ARE TO THE FACE OF CURB OR EDGE OF PAVEMENT.
- SEE SHEET SP (1 OF 2) FOR SITE INFORMATION AND PARKING INFORMATION.

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____.

WITNESS OUR HANDS, this ___ day of _____.

Planning & Zoning Commission, Chairman

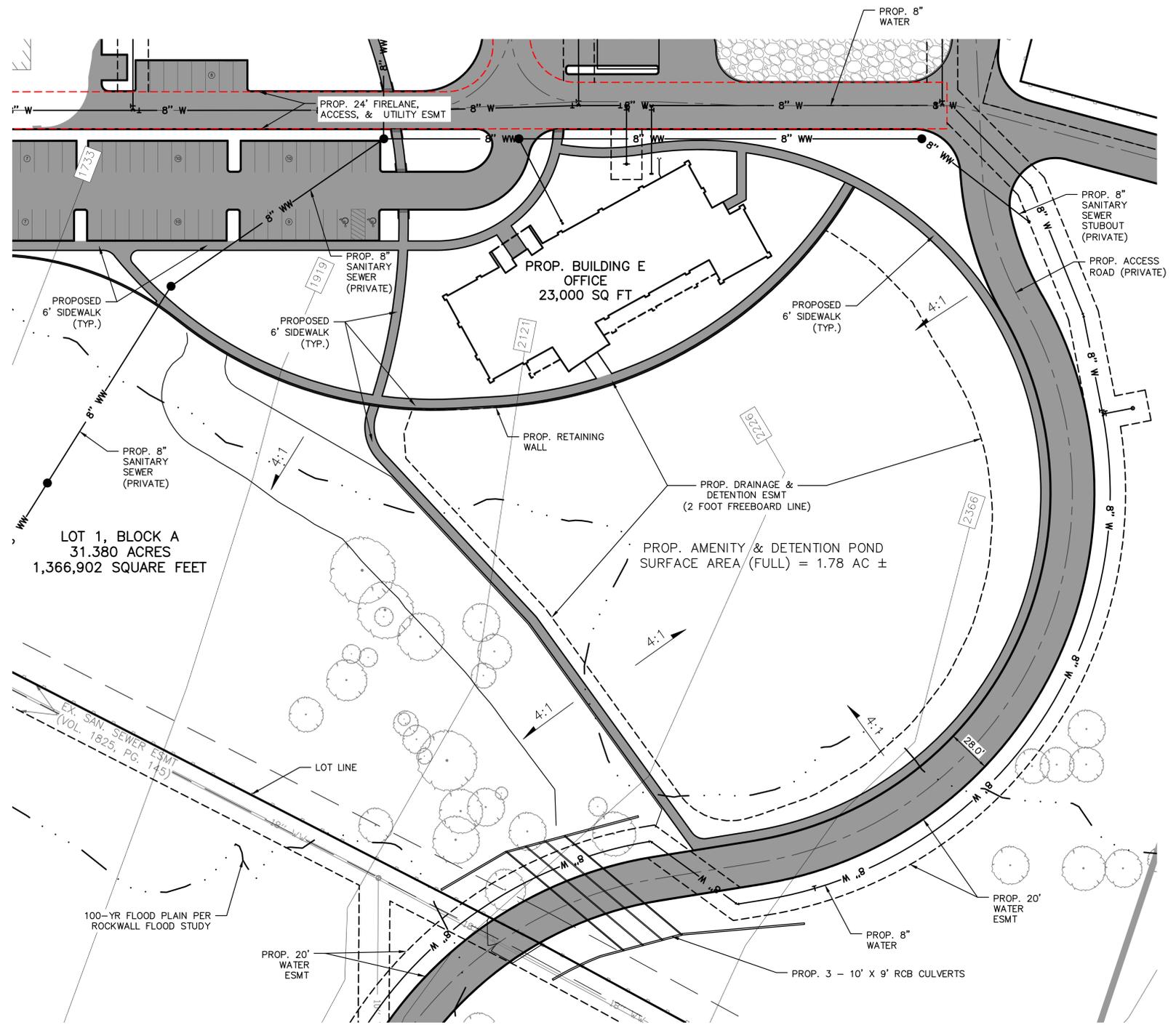
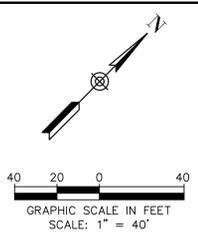
Director of Planning and Zoning

SEE SHEET SP-7 FOR AMENITY & RETENTION POND LIMITS

MATCHLINE - SHEET SP-5

MATCHLINE - THIS SHEET

MATCHLINE - THIS SHEET



LOT 1, BLOCK A
31.380 ACRES
1,366,902 SQUARE FEET

PROP. AMENITY & DETENTION POND
SURFACE AREA (FULL) = 1.78 AC ±

PROP. BUILDING E OFFICE
23,000 SQ FT

PROP. 24' FIRELANE,
ACCESS, & UTILITY ESMT

LEGEND

EM	EX. ELECTRIC METER
ICV	EX. IRRIGATION CONTROL VALVE
B	EX. BOLLARD
WM	EX. WATER METER
SSMH	EX. SANITARY SEWER MANHOLE
TPED	EX. TELEPHONE PEDESTAL
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CMP	EX. CORRUGATED METAL PIPE
X" W	EX. WATER MAIN PIPE
X" WW	EX. WASTE WATER MAIN PIPE
XX" CMP	EX. CORRUGATED METAL PIPE & SIZE
[Symbol]	EX. WROUGHT IRON FENCE
[Symbol]	EX. CHAIN LINK FENCE
[Symbol]	EX. POWER POLE
[Symbol]	EX. OVERHEAD ELECTRIC
[Symbol]	EX. GUY WIRE
[Symbol]	EX. FLOOD LIGHT
[Symbol]	EDGE OF ASPHALT
[Symbol]	PROP. WROUGHT IRON FENCE
[Symbol]	100-YR FLOOD PLAIN-ROCKWALL
[Symbol]	BFR - CONSTRUCT BARRIER FREE RAMP WITH TRUNCATED DOMED PANELS PER CITY DETAILS. NO EXTRA PAY ITEM FOR MONOLITHIC CURBS.
[Symbol]	ACCESSIBLE AISLE STRIPING
[Symbol]	CROSS-SECTION LOCATION-CITY OF ROCKWALL MASTER DRAINAGE STUDY
[Symbol]	PROPOSED CONCRETE PAVEMENT

- NOTES:**
1. ALL SIDEWALKS ARE 6' UNLESS OTHERWISE INDICATED.
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Planning & Zoning Commission, Chairman

Director of Planning and Zoning

HKS
ARCHITECT
HKS, INC.
350 N SAINT PAUL ST
SUITE 100
DALLAS, TX 75201

LANDSCAPE ARCHITECT
KIMLEY-HORN AND ASSOCIATE, INC.
260 EAST DAVIS STREET, SUITE 100
MCKINNEY, TX 75069

STRUCTURAL ENGINEER
HKS, INC.
350 N SAINT PAUL ST, SUITE 100
DALLAS, TX 75201-4240

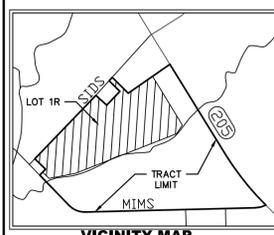
MEP ENGINEERS
SYSKA HENNESSY GROUP
4925 GREENVILLE AVENUE, SUITE 415
DALLAS, TX 75206

OWNER/APPLICANT
RAYBURN ELECTRIC COOPERATIVE
950 SIDS ROAD
ROCKWALL, TX 75087
469-402-2100

CIVIL ENGINEER
R-DELTA ENGINEERS, INC.
618 MAIN STREET
GARLAND, TEXAS 75040
TBPE No. F-1515



PRELIMINARY
SUBMITTED FOR REVIEW
BY: BRIAN PAUL PATRICK
P.E. 80844
R-Delta Engineers, Inc.
Date: November 3, 2022
NOT FOR CONSTRUCTION, BIDDING
OR PERMITTING PURPOSES



VICINITY MAP

REVISION NO.	DESCRIPTION	DATE

PROJECT NUMBER
3036.21

DATE
11/03/2022

ISSUE
CITY SITE PLAN

SUBMITTAL

SHEET TITLE
SITE PLAN

CASE# SP2022-058

SHEET NO.
SP-7

HKS



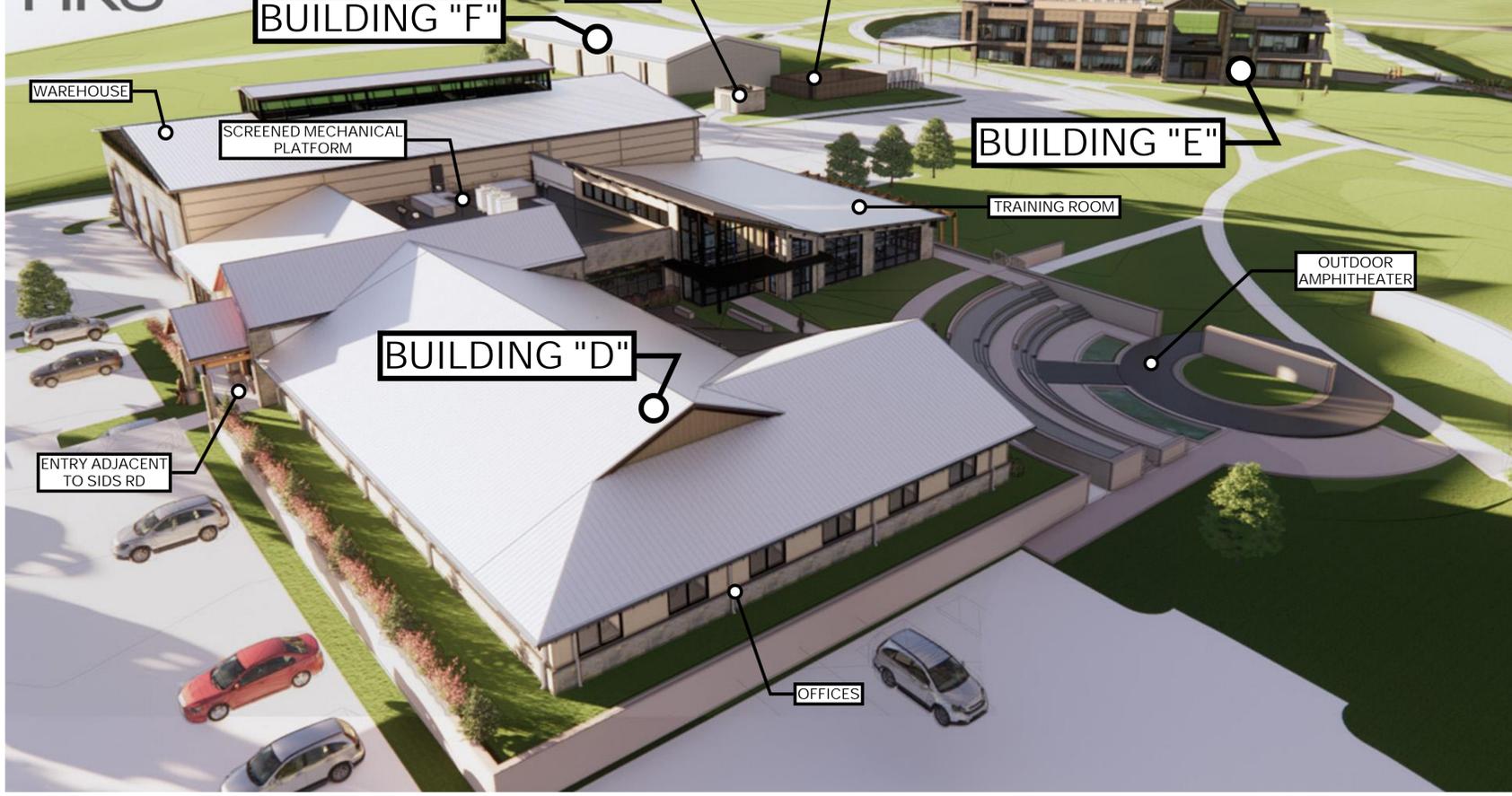
HKS



HKS



HKS



EXTERIOR MATERIALS LEGEND

ST01:
 a. STONE TYPE: LIMESTONE
 b. STONE NAME: LEUDERS CHOPPED BUFF
 c. GROUT/SEALANT COLOR: MATCH EXISTING
 d. LOCATION: EXTERIOR STONE MASONRY VENEER

AMF01:
 a. MATERIAL TYPE: ALUMINUM
 b. FINISH TYPE: ANODIZED
 c. ANODIZED COLOR: DARK BRONZE
 d. COATING COLOR: MATCH EXISTING
 e. LOCATION: MULLIONS

AMF02:
 a. MATERIAL TYPE: STEEL
 b. FINISH TYPE: HIGH-PERFORMANCE ORGANIC FLUOROPOLYMER
 c. COATING COLOR: MATCH PT02
 d. LOCATION: EXPOSED TRELLIS COLUMNS

AMF03:
 a. MATERIAL TYPE: STEEL
 b. COATING COLOR: MATCH EXISTING ROOF, BERTRIDGE PREWEATHERED GALVALUME
 c. MATTE FINISH
 d. LOCATION: STANDING SEAM METAL ROOF

W001:
 a. SPECIES AND CUT: WESTERN RED CEDAR
 b. FINISH: CLEAR MATTE FINISH
 c. LOCATION: WOOD BEAM CLADDING, EXTERIOR SOFFITS, INTERIOR CEILINGS AND TRIM.

CSM01:
 a. MATERIAL TYPE: CAST STONE
 b. COLOR: NATURAL
 c. AGGREGATE:
 d. EXPOSED TEXTURE FINISH: [SMOOTH] [HONED] [SAND TEXTURE]
 e. LOCATION: WAINSCOT SILL @ STONE, PARAPET CAP

PCP01:
 a. MATERIAL TYPE: PORTLAND CEMENT PLASTER
 b. COLOR: MATCH SW 9111 ANTLER VELVET

PC01:
 a. MATERIAL TYPE: TILT UP CONCRETE PANELS
 b. COLOR: MATCH SW 9111 ANTLER VELVET

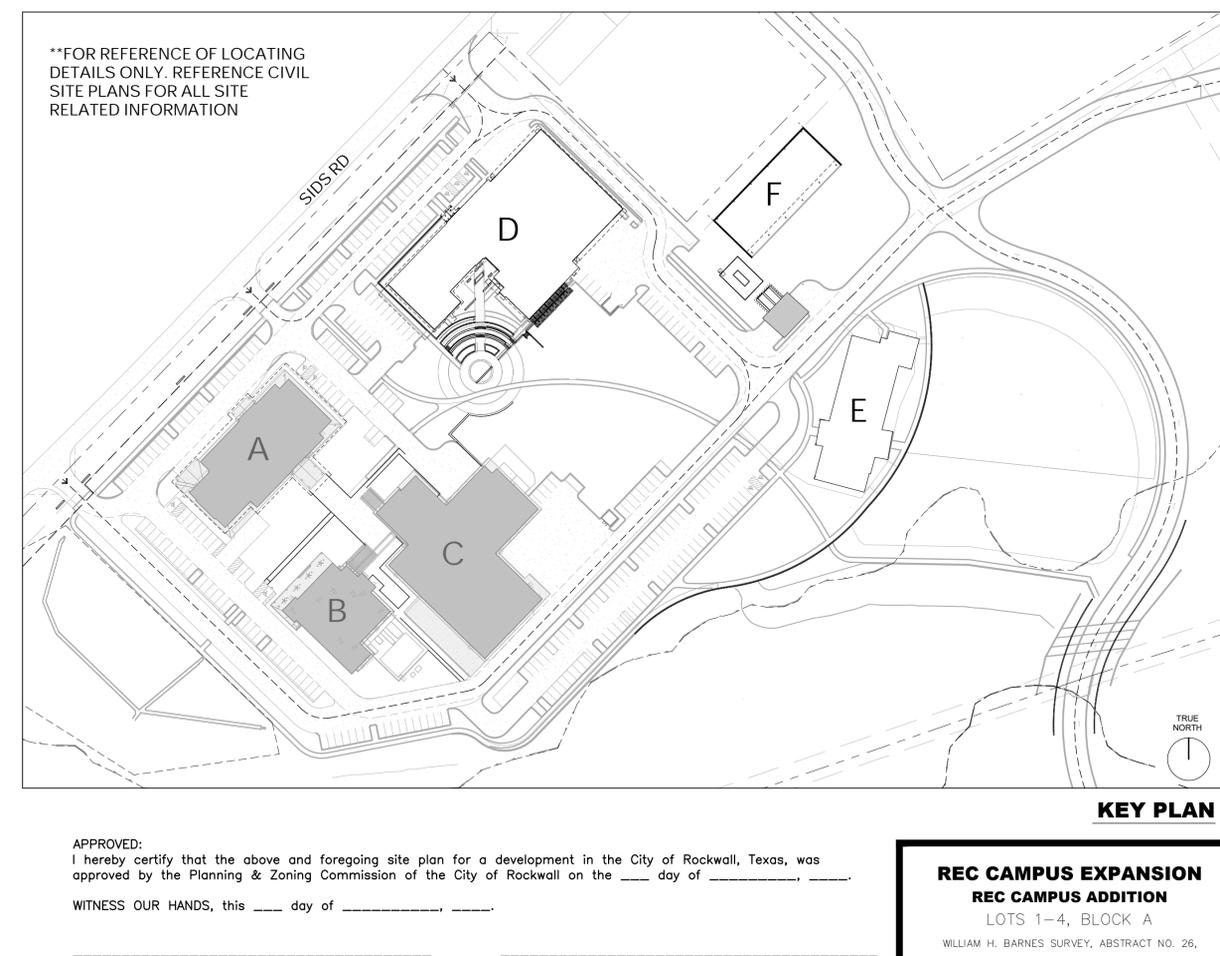
PT01:
 a. MANUFACTURER: SHERWIN WILLIAMS
 b. NUMBER: SW9111
 c. COLOR: ANTLER VELVET
 d. SHEEN: SEMI-GLOSS
 e. LOCATION: GUTTERS AND DOWNSPOUTS

PT02:
 a. MANUFACTURER: SHERWIN WILLIAMS
 b. NUMBER: SW9111
 c. COLOR: ANTLER VELVET
 d. SHEEN: SEMI-GLOSS
 e. LOCATION: EXPOSED STRUCTURAL STEEL & ENTRY CANOPIES

GL01: INSULATING COATED GLASS - VISION
 1) OVERALL THICKNESS: 1 IN NOMINAL
 2) OUTBOARD LITE: CLEAR HS, 1/4" THICK GLASS WITH COATING ON NO 2 SURFACE
 3) AIR SPACE: 1/2" ALUMINUM BLACK ARGON
 4) INBOARD LITE: CLEAR HS, 1/4" THICK GLASS
 5) BASIS OF DESIGN MANUFACTURER AND PRODUCT: VIRACON 1" INSULATED LOW-E GLASS COLOR: V008 GRAY

GL02: INSULATING COATED GLASS - SPANDREL
 1) OVERALL THICKNESS: 1 IN NOMINAL
 2) OUTBOARD LITE: SPANDREL, 1/4" THICK GLASS WITH COATING ON NO 2 SURFACE
 3) AIR SPACE: 1/2" ALUMINUM BLACK ARGON
 4) INBOARD LITE: CLEAR HS, 1/4" THICK GLASS
 5) BASIS OF DESIGN MANUFACTURER AND PRODUCT: VIRACON 1" INSULATED LOW-E GLASS COLOR: V008 GRAY

CMU01:
 a. MANUFACTURER: FEATHERLITE
 b. SPLIT FACE MASONRY BLOCK
 c. COLOR: CREAM



HKS

ARCHITECT
HKS, INC.
350 N SAINT PAUL ST
SUITE 100
DALLAS, TX 75201

LANDSCAPE ARCHITECT
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280 EAST DAVIS STREET, SUITE 100
MCKINNEY, TX 75069

STRUCTURAL ENGINEER
HKS, INC.
350 N SAINT PAUL ST, SUITE 100
DALLAS, TX 75201-4240

MEP ENGINEERS
SYSKA HENNESSY GROUP
4925 GREENVILLE AVENUE, SUITE 415
DALLAS, TX 75206

OWNER
RAYBURN ELECTRIC COOPERATIVE
950 SIDS ROAD
ROCKWALL, TX 75087

CIVIL ENGINEER
R - DELTA ENGINEERS, INC.
618 MAIN STREET
GARLAND, TEXAS 75040



VINTERIM REVIEW ONLY
These documents are incomplete, and are released for interim review only and are not intended for regulatory approval, permit, or construction purposes.
Architect: _____
Arch. Reg. No.: _____
Date: _____

KEY PLAN

REVISION NO.	DESCRIPTION	DATE

HKS PROJECT NUMBER
25370.001

DATE
11/01/22

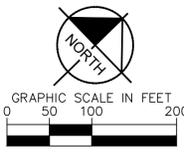
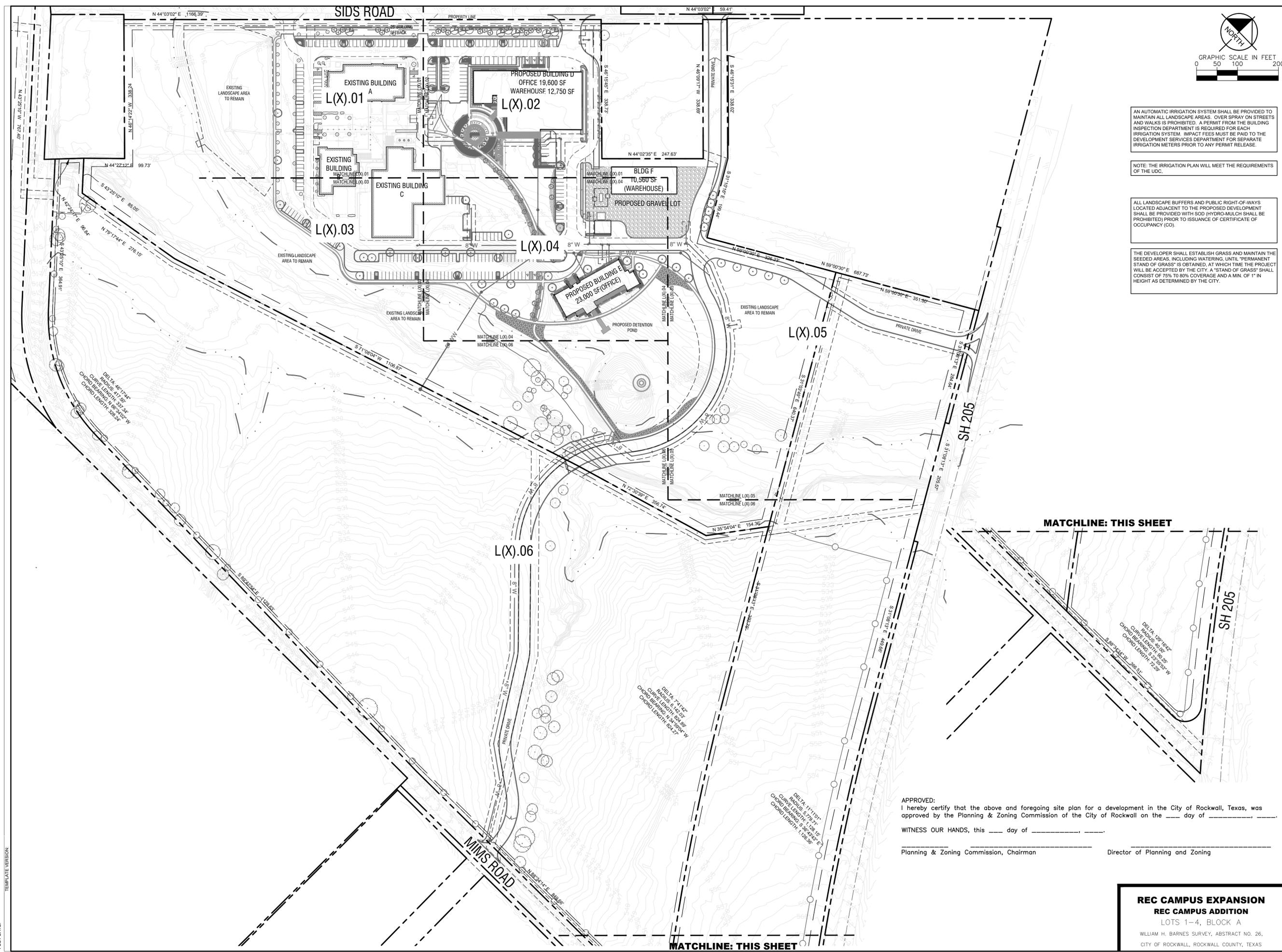
ISSUE
CITY SITE PLAN SUBMITTAL

SHEET TITLE
3D IMAGES

CASE# SP2022-058

SHEET NO.
PA5.05

REC CAMPUS EXPANSION
REC CAMPUS ADDITION
 LOTS 1-4, BLOCK A
 WILLIAM H. BARNES SURVEY, ABSTRACT NO. 26,
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO MAINTAIN ALL LANDSCAPE AREAS. OVER SPRAY ON STREETS AND WALKS IS PROHIBITED. A PERMIT FROM THE BUILDING INSPECTION DEPARTMENT IS REQUIRED FOR EACH IRRIGATION SYSTEM. IMPACT FEES MUST BE PAID TO THE DEVELOPMENT SERVICES DEPARTMENT FOR SEPARATE IRRIGATION METERS PRIOR TO ANY PERMIT RELEASE.

NOTE: THE IRRIGATION PLAN WILL MEET THE REQUIREMENTS OF THE UDC.

ALL LANDSCAPE BUFFERS AND PUBLIC RIGHT-OF-WAYS LOCATED ADJACENT TO THE PROPOSED DEVELOPMENT SHALL BE PROVIDED WITH SOD (HYDRO-MULCH SHALL BE PROHIBITED) PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY (CO).

THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SEEDS AREAS, INCLUDING WATERING, UNTIL "PERMANENT STAND OF GRASS" IS OBTAINED, AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A "STAND OF GRASS" SHALL CONSIST OF 75% TO 80% COVERAGE AND A MIN. OF 1" IN HEIGHT AS DETERMINED BY THE CITY.

HKS

ARCHITECT
HKS, INC.
350 N SAINT PAUL ST
SUITE 100
DALLAS, TX 75201

LANDSCAPE ARCHITECT
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260 EAST DAVIS STREET, SUITE 100
MCKINNEY, TX 75069

STRUCTURAL ENGINEER
HKS, INC.
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DALLAS, TX 75201-4240

MEP ENGINEERS
SYSKA HENNESSY GROUP
4925 GREENVILLE AVENUE, SUITE 415
DALLAS, TX 75206

OWNER
RAYBURN ELECTRIC COOPERATIVE
950 SIDS ROAD
ROCKWALL, TX 75087

CIVIL ENGINEER
R-DELTA ENGINEERS, INC.
618 MAIN STREET
GARLAND, TEXAS 75040



KEY PLAN

REVISION NO.	DESCRIPTION	DATE

HKS PROJECT NUMBER
25370.000
DATE
10/31/22
ISSUE
CITY SITE PLAN SUBMITTAL
SHEET TITLE
OVERALL PLAN

CASE# SP2022-058
SHEET NO.

L1.01

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, ____.

WITNESS OUR HANDS, this ____ day of _____.

Planning & Zoning Commission, Chairman

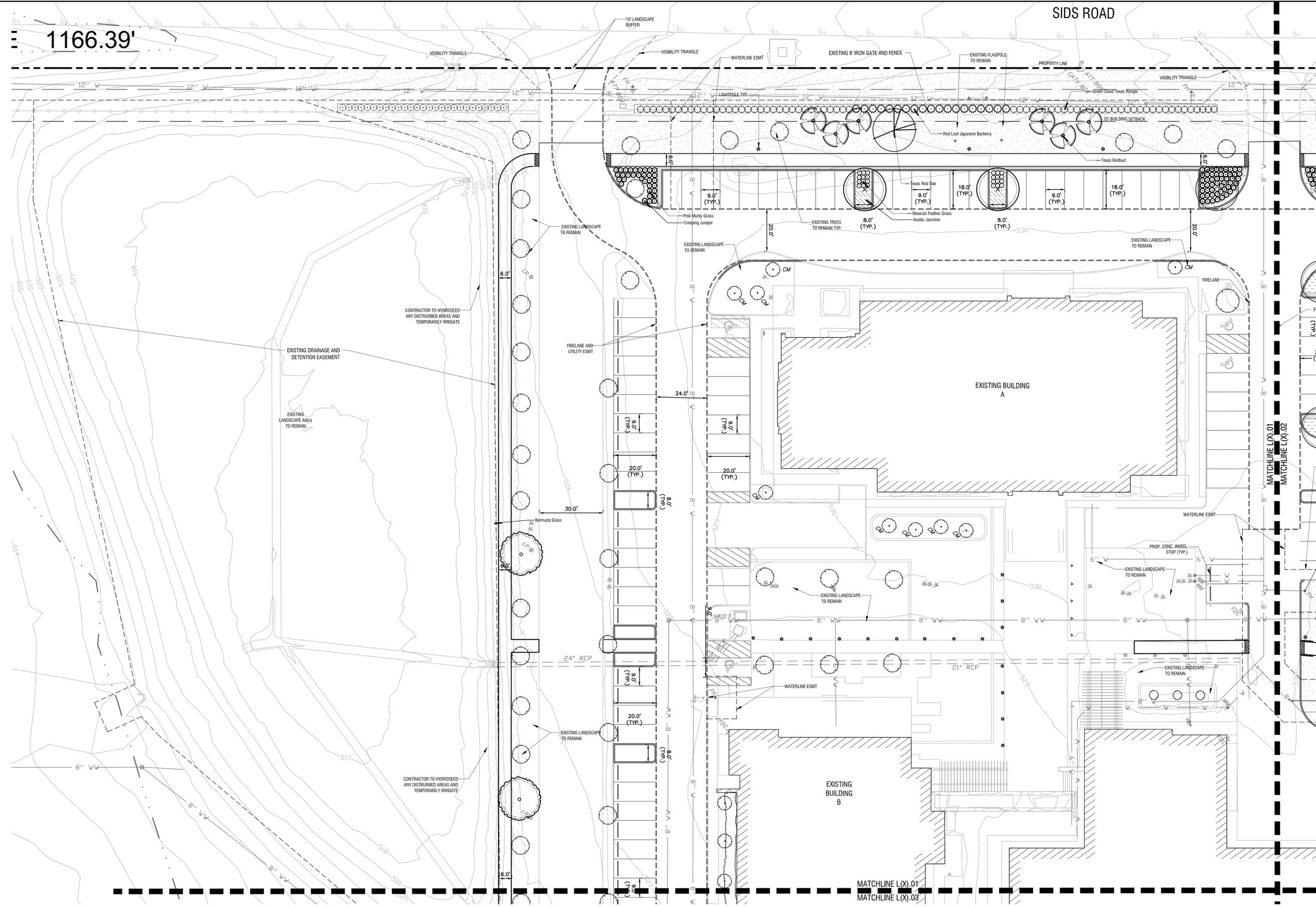
Director of Planning and Zoning

REC CAMPUS EXPANSION
REC CAMPUS ADDITION
LOTS 1-4, BLOCK A
WILLIAM H. BARNES SURVEY, ABSTRACT NO. 26,
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

TEMPLATE VERSION
PLOT DATE:

1166.39'

SIDS ROAD



HKS

ARCHITECT
 HKS, INC.
 350 N SAINT PAUL ST
 SUITE 100
 DALLAS, TX 75201

LANDSCAPE ARCHITECT
 KIMLEY-HORN AND ASSOCIATE, INC.
 260 EAST DAVIS STREET, SUITE 100
 MCKINNEY, TX 75069

STRUCTURAL ENGINEER
 HKS, INC.
 350 N SAINT PAUL ST, SUITE 100
 DALLAS, TX 75201-4240

MEP ENGINEERS
 SYSKA HENNESSY GROUP
 4925 GREENVILLE AVENUE, SUITE 415
 DALLAS, TX 75206

OWNER
 RAYBURN ELECTRIC COOPERATIVE
 950 SIDS ROAD
 ROCKWALL, TX 75087

CIVIL ENGINEER
 R - DELTA ENGINEERS, INC.
 618 MAIN STREET
 GARLAND, TEXAS 75040



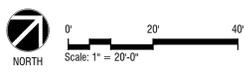
10/31/22
 KEY PLAN

REVISION NO.	DESCRIPTION	DATE

HKS PROJECT NUMBER
25370.000
 DATE
10/31/22
 ISSUE
CITY SITE PLAN SUBMITTAL
 SHEET TITLE
LANDSCAPE PLAN

CASE# SP2022-058
 SHEET NO.

L5.01



Landscape Plan
 Scale: 1" = 20' - 0"

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____, _____.
 WITNESS OUR HANDS, this ___ day of _____, _____.

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

REC CAMPUS EXPANSION
REC CAMPUS ADDITION
 LOTS 1-4, BLOCK A
 WILLIAM H. BARNES SURVEY, ABSTRACT NO. 26,
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

PLOT DATE: TEMPLATE VERSION:



10/31/22

KEY PLAN

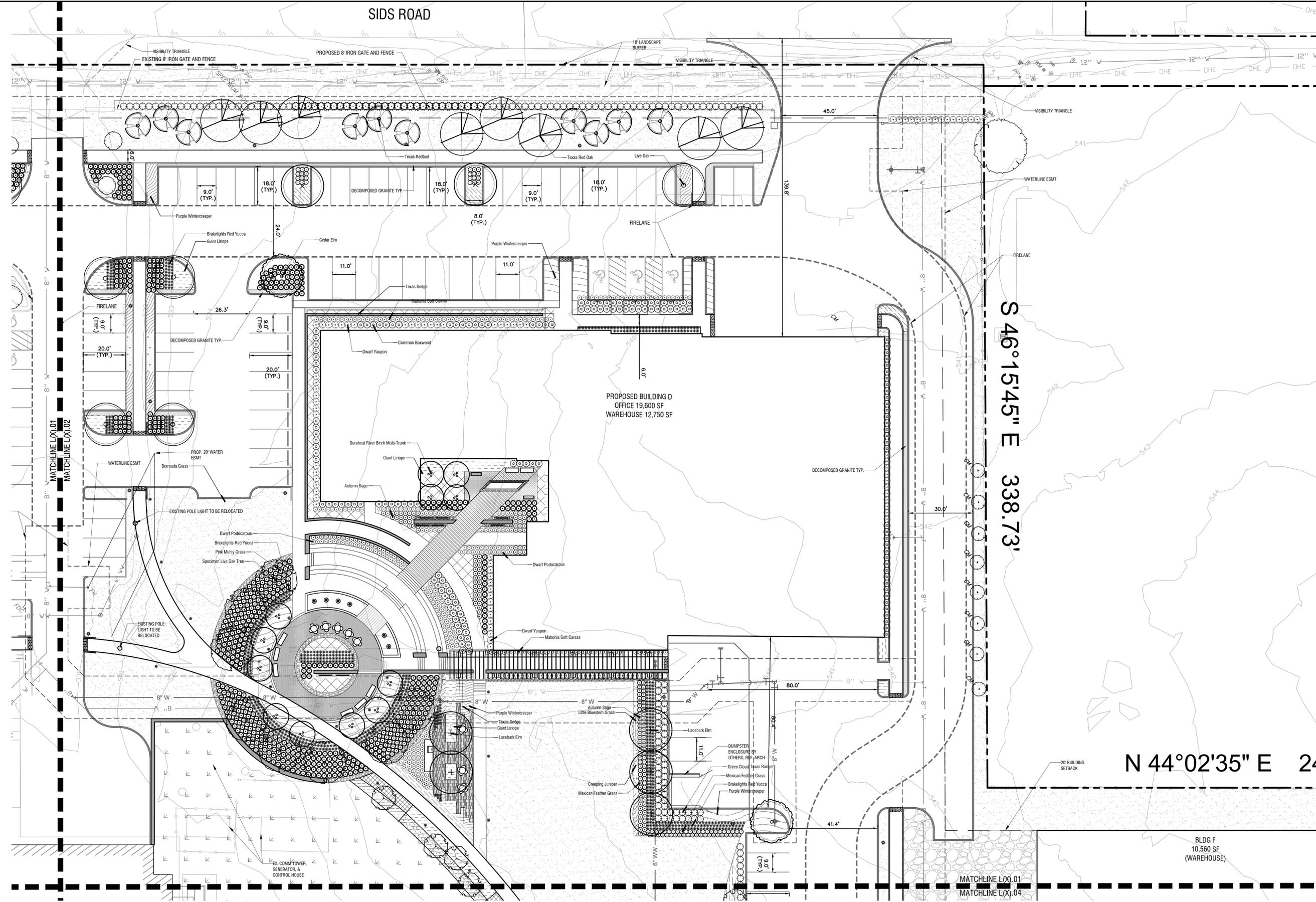
REVISION NO. DESCRIPTION DATE

REVISION NO.	DESCRIPTION	DATE

HKS PROJECT NUMBER
25370.000
DATE
10/31/22
ISSUE
CITY SITE PLAN SUBMITTAL
SHEET TITLE
LANDSCAPE PLAN

CASE# SP2022-058
SHEET NO.

L5.02



SIDS ROAD

S 46°15'45" E 338.73'

N 44°02'35" E 24

Landscape Plan
Scale: 1" = 20' - 0"

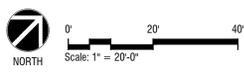
A

APPROVED:
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WITNESS OUR HANDS, this ___ day of _____, _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

REC CAMPUS EXPANSION
REC CAMPUS ADDITION
LOTS 1-4, BLOCK A
WILLIAM H. BARNES SURVEY, ABSTRACT NO. 26,
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



PLOT DATE: TEMPLATE VERSION:



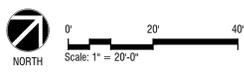
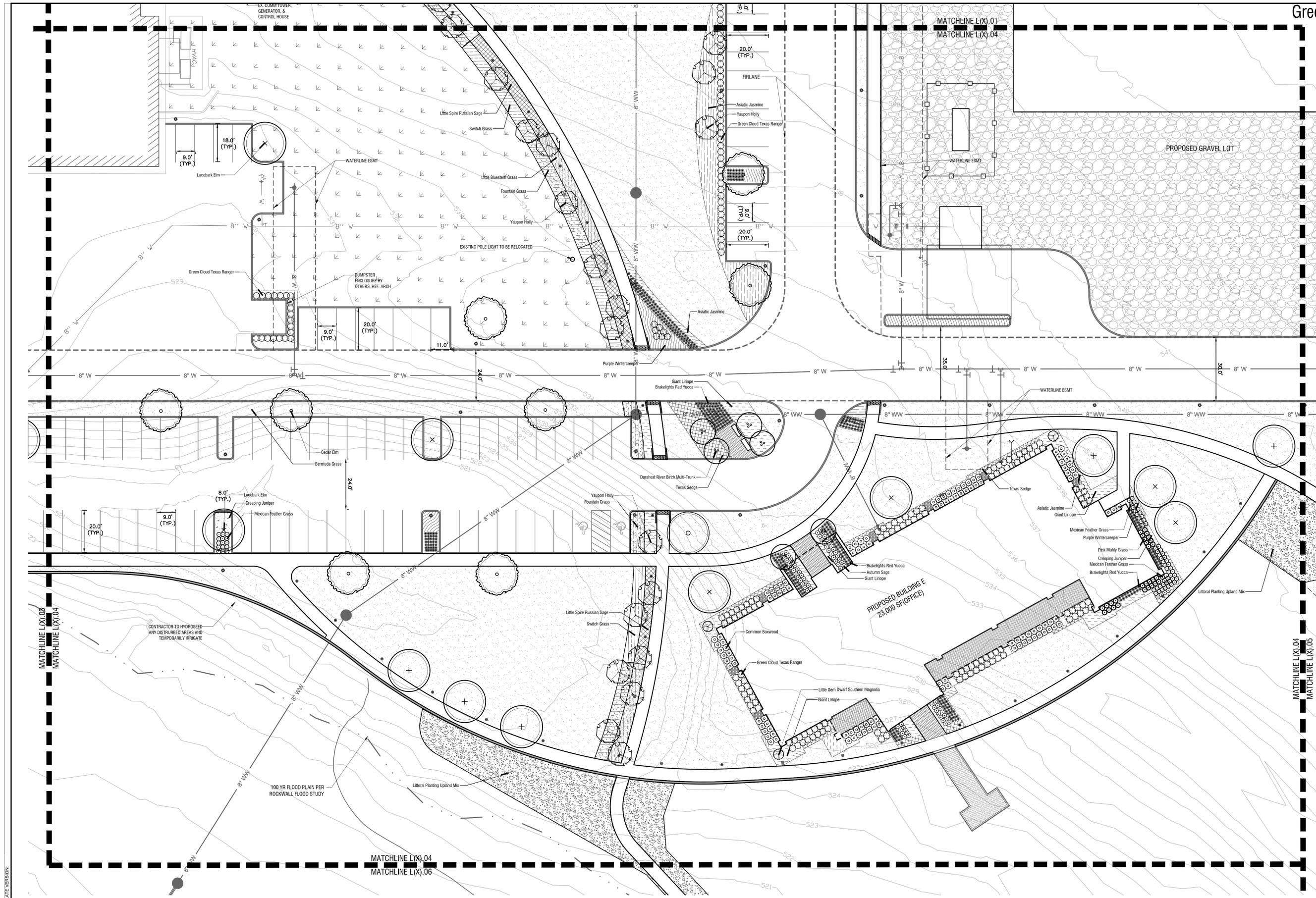
KEY PLAN

REVISION NO.	DESCRIPTION	DATE

HKS PROJECT NUMBER
25370.000
DATE
10/31/22
ISSUE
CITY SITE PLAN SUBMITTAL
SHEET TITLE
LANDSCAPE PLAN

CASE# SP2022-058
SHEET NO.

L5.04



Landscape Plan **A**
Scale: 1" = 20' - 0"

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____, ____.

WITNESS OUR HANDS, this ___ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

REC CAMPUS EXPANSION
REC CAMPUS ADDITION
LOTS 1-4, BLOCK A
WILLIAM H. BARNES SURVEY, ABSTRACT NO. 26.
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

PLOT DATE: _____

TEMPLATE VERSION: _____

ARCHITECT

HKS, INC.
350 N SAINT PAUL ST
SUITE 100
DALLAS, TX 75201

LANDSCAPE ARCHITECT

KIMLEY-HORN AND ASSOCIATE, INC.
260 EAST DAVIS STREET, SUITE 100
MCKINNEY, TX 75069

STRUCTURAL ENGINEER

HKS, INC.
350 N SAINT PAUL ST, SUITE 100
DALLAS, TX 75201-4240

MEP ENGINEERS

SYSKA HENNESSY GROUP
4925 GREENVILLE AVENUE, SUITE 415
DALLAS, TX 75206

OWNER

RAYBURN ELECTRIC COOPERATIVE
950 SIDS ROAD
ROCKWALL, TX 75087

CIVIL ENGINEER

R - DELTA ENGINEERS, INC.
618 MAIN STREET
GARLAND, TEXAS 75040



KEY PLAN

REVISION NO. DESCRIPTION DATE

REVISION NO.	DESCRIPTION	DATE

HKS PROJECT NUMBER

25370.000

DATE

10/31/22

ISSUE

CITY SITE PLAN SUBMITTAL

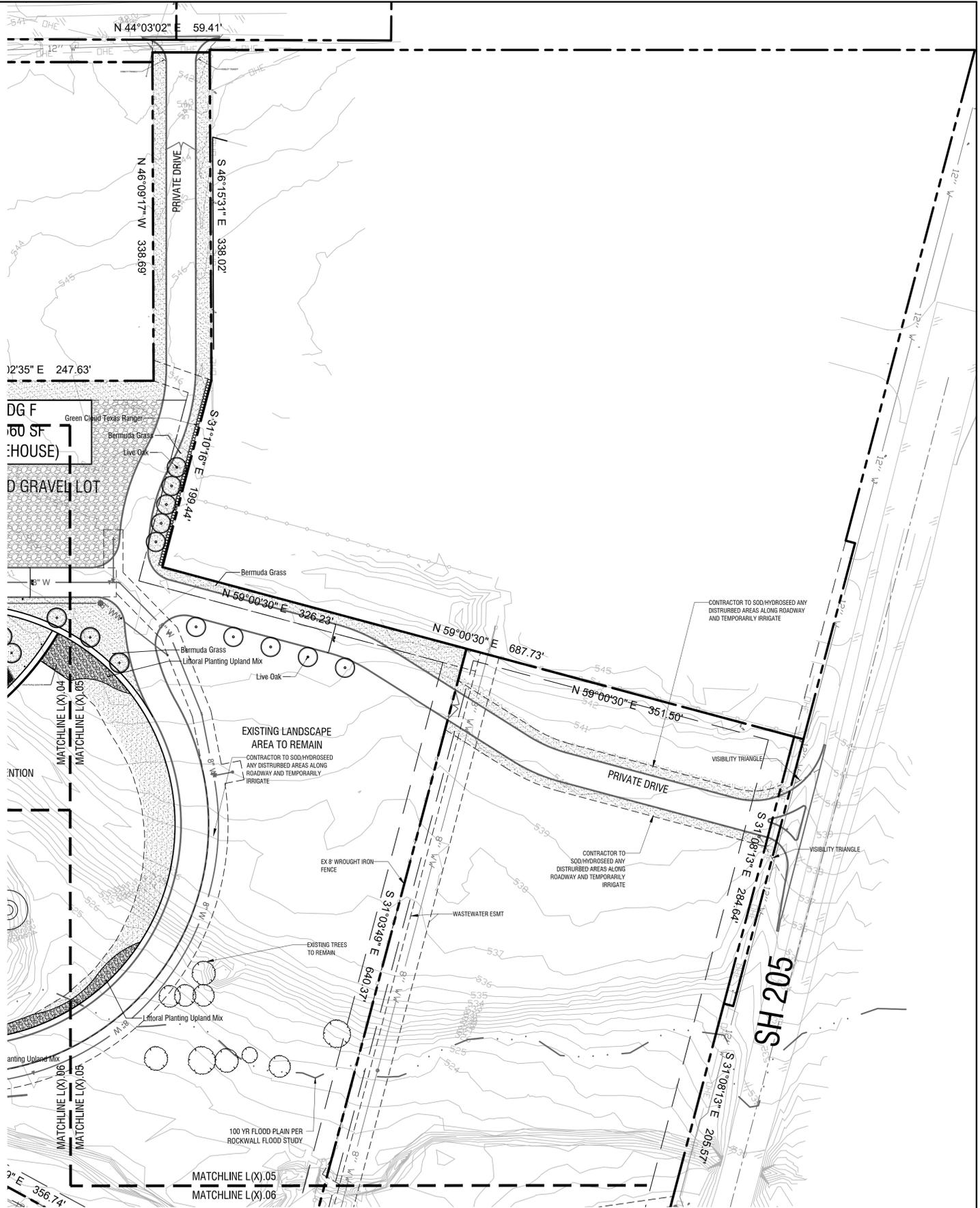
SHEET TITLE

LANDSCAPE PLAN

CASE# SP2022-058

SHEET NO.

L5.05



APPROVED:
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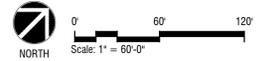
Planning & Zoning Commission, Chairman

Director of Planning and Zoning

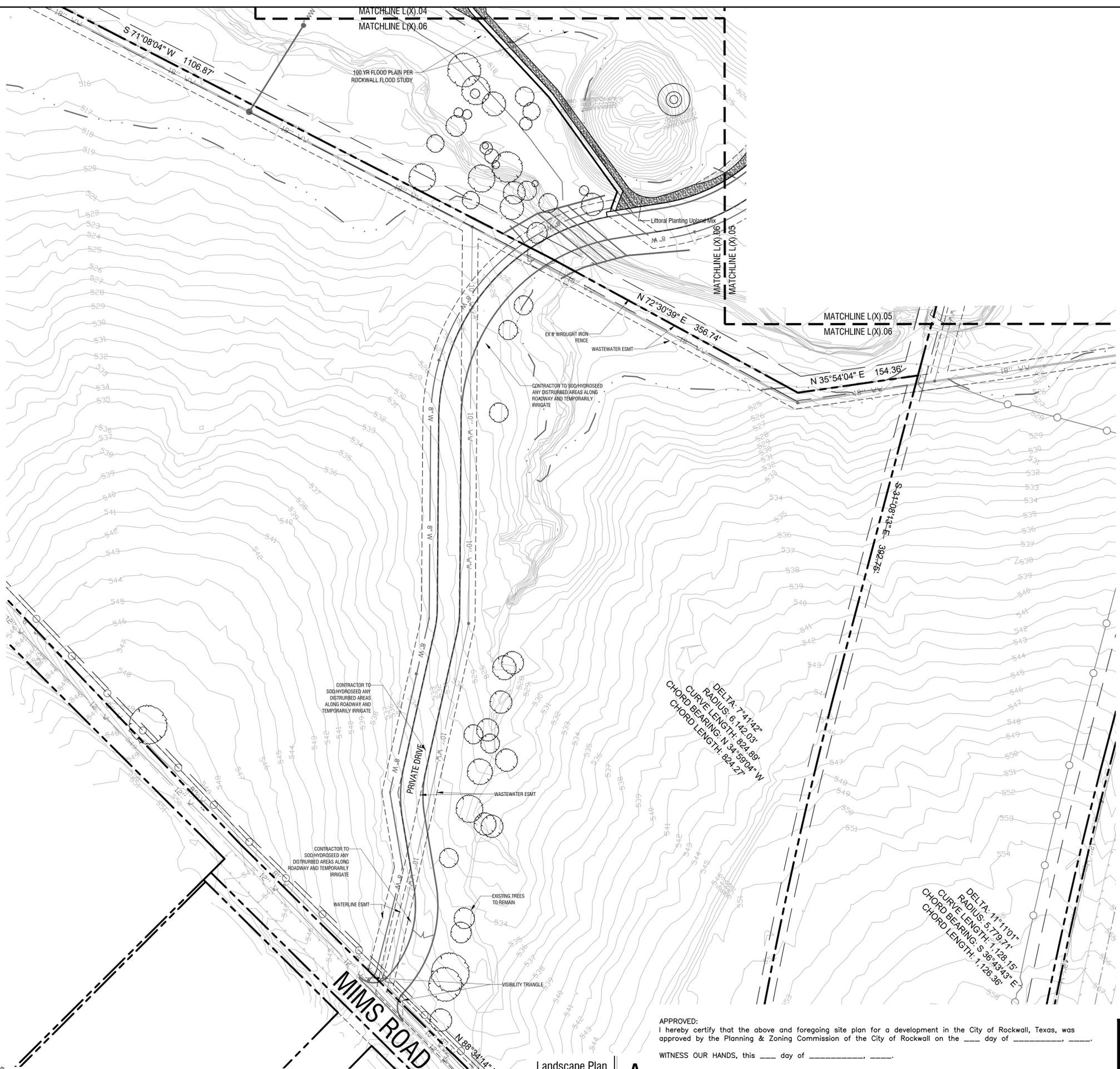
REC CAMPUS EXPANSION
REC CAMPUS ADDITION
LOTS 1-4, BLOCK A
WILLIAM H. BARNES SURVEY, ABSTRACT NO. 26,
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

Landscape Plan
Scale: 1" = 60' - 0"

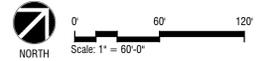
A



TEMPLATE VERSION



PLOT DATE: TEMPLATE VERSION:



Landscape Plan
Scale: 1" = 60'-0"

A

APPROVED:
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WITNESS OUR HANDS, this ____ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

REC CAMPUS EXPANSION
REC CAMPUS ADDITION
LOTS 1-4, BLOCK A
WILLIAM H. BARNES SURVEY, ABSTRACT NO. 26,
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

HKS
ARCHITECT
HKS, INC.
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SUITE 100
DALLAS, TX 75201

LANDSCAPE ARCHITECT
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STRUCTURAL ENGINEER
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950 SIDS ROAD
ROCKWALL, TX 75087

CIVIL ENGINEER
R - DELTA ENGINEERS, INC.
618 MAIN STREET
GARLAND, TEXAS 75040



10/31/22
KEY PLAN

REVISION NO.	DESCRIPTION	DATE

HKS PROJECT NUMBER
25370.000

DATE
10/31/22

ISSUE
CITY SITE PLAN SUBMITTAL

SHEET TITLE
LANDSCAPE PLAN

CASE# SP2022-058
SHEET NO.

L5.06

PLANT SCHEDULE

TREES	COMMON / BOTANICAL NAME	CONT.	SIZE	SPACING	QTY	REMARKS	
	Cedar Elm / <i>Ulmus crassifolia</i>	4' cal	12' -14'	As Shown	13	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER	
	Duraheat River Birch Multi-Trunk / <i>Betula nigra</i> 'Duraheat'	65 gal	10' -12' ht		18	CONTAINER, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, MULTI-TRUNK (3-5 TRUNKS)	
	Lacebark Elm / <i>Ulmus parvifolia</i>	4' cal	14' -16'	As Shown	25	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER	
	Live Oak / <i>Quercus virginiana</i>	4' cal	12' -14' ht	As Shown	22	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER	
	Specimen Live Oak Tree / <i>Quercus virginiana</i>	5' cal	18' -20' ht.		8	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, MULTI-TRUNK (3-5 TRUNKS)	
	Texas Red Oak / <i>Quercus texana</i>	5' cal	16' -18'	As Shown	9	B&B, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, STRONG CENTRAL LEADER	
ORNAMENTAL TREES	COMMON / BOTANICAL NAME	CONT.	SIZE	SPACING	QTY	REMARKS	
	Little Gem Dwarf Southern Magnolia / <i>Magnolia grandiflora</i> 'Little Gem'	65 gal	8' -10' ht	As Shown	3	CONTAINER, NURSERY GROWN, MATCHED, FULL TO BASE, WELL-BRANCHED, STRONG CENTRAL LEADER	
	Texas Redbud / <i>Cercis canadensis texensis</i>	45 gal	8' -10'	As Shown	16	CONTAINER, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED	
	Yaupon Holly / <i>Ilex vomitoria</i>	45 Gal.	8' -10'	As Shown	22	CONTAINER, NURSERY GROWN, MATCHED, FULL, WELL-BRANCHED, MULTI-TRUNK (3 MIN.), TREE FORM	
SHRUBS	COMMON / BOTANICAL NAME	CONT.	SIZE	SPACING	QTY	REMARKS	
	Autumn Sage / <i>Salvia greggii</i>	5 gal	12" h X 18" w	24" OC	205	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED	
	Brakelights Red Yucca / <i>Hesperaloe parviflora</i> 'Brakelights' TM	5 gal	12" h X 12" w	18" OC	1,237	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED	
	Common Boxwood / <i>Buxus sempervirens</i>	5 gal	24" h x 24" w	36" OC	262	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED	
	Dwarf Podocarpus / <i>Podocarpus macrophyllus</i> 'Pringles'	5 gal	24" h x 18" w	24" OC	257	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED	
	Dwarf Yaupon / <i>Ilex vomitoria</i> 'Nana'	5 gal	24" h x 24" w	36" OC	102	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED	
	Green Cloud Texas Ranger / <i>Leucophyllum frutescens</i> 'Green Cloud' TM	7 gal	36" h X 30" w	36" OC	490	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED	
	Mahonia Soft Caress / <i>Mahonia eurybracteata</i> 'Soft Caress'	5 gal	18" h X 18" w	24" OC	125	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED	
	Mexican Feather Grass / <i>Nassella tenuissima</i>	5 gal	12" h X 12" w	24" OC	212	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED	
	Pink Muhly Grass / <i>Muhlenbergia capillaris</i>	5 gal	18" h X 18" w	30" OC	729	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED	
	Red Leaf Japanese Barberry / <i>Berberis thunbergii</i> 'Atropurpurea'	7 gal	36" h X 30" w	36" OC	49	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED	
SHRUB AREAS	COMMON / BOTANICAL NAME	CONT.	SIZE	SPACING	SPACING	QTY	REMARKS
	Littoral Planting Upland Mix	SEED				10,491 sf	
	Fountain Grass / <i>Cenchrus advena</i>	3 gal	12" Ht. x 12" W	24" OC	24" o.c.	305	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
	Little Spire Russian Sage / <i>Perovskia atriplicifolia</i> 'Little Spire'	1 gal	12" Ht. x 12" W	24" O.C.	24" o.c.	263	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
	Switch Grass / <i>Panicum virgatum</i>	3 gal	18" Ht. 12" Spr.	36" O.C.	36" o.c.	117	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED
GROUND COVERS	COMMON / BOTANICAL NAME	CONT.	SIZE	SPACING	QTY	REMARKS	
	Hydroseed	HYDROMULCH				27,926 sf	REFER TO SPECIFICATIONS
	Asiatic Jasmine / <i>Trachelospermum asiaticum</i>	1 gal	8" h x 8" w	18" o.c.	1,022	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED	
	Bermuda Grass / <i>Cynodon dactylon</i>	sod				137,859 sf	REFER TO SPECIFICATIONS
	Creeping Juniper / <i>Juniperus horizontalis</i>	1 gal	8" h x 8" w	18" o.c.	272		
	Giant Liriope / <i>Liriope gigantea</i>	1 gal	12" h x 12" w	18" o.c.	1,130	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED	
	Little Bluestem Grass / <i>Schizachyrium scoparium</i>	3 gal	24" h x 18" w	24" o.c.	195	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED	
	Purple Wintercreeper / <i>Euonymus fortunei</i> 'Coloratus'	1 gal	8" h x 8" w	18" o.c.	1,482	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED	
	Texas Sedge / <i>Carex texensis</i>	1 gal	12" h x 12" w	18" o.c.	1,072	CONTAINER, NURSERY GROWN, MATCHED AND WELL ROOTED	

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

NOTE: PLANTS ARE SPECIFIED BY HEIGHT, SPREAD AND CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.

Rayburn Co-Op - Rockwall Code Calculations Chart		
Site Data	AC	SF
Total Site Area	31.38	1,366,902
Surface Parking Spaces	271	
Site Landscape Area	Required (% / SF)	Provided (% / SF)
15% of site to be landscaped (Heavy Commercial zoning district)*	15%	16%
*Developed area only	205,035	214,086
Street Frontage	Required	Provided
Sids Road - 832 LF (773 LF Frontage + 59.41 LF of Drive connection)		
10' Buffer	YES	YES
1 Canopy Tree/ 50 LF (Min. 4' Cal.)	17	17 (8 Existing)
1 Accent Tree/ 50LF (4 ht. Min.)	17	17
Continuous row of shrubs (min. 36" ht.- 3 Gal.)	YES	YES*
SH 205 - Drive connection 200LF		
1 Canopy Tree/ 50 LF (Min. 4' Cal.)	N/A	N/A
Mims Road - Drive connection 78 LF		
1 Canopy Tree/ 50 LF (Min. 4' Cal.)	N/A	N/A
*36" tall shrubs provided in lieu of berm and 5' cal. trees		
Parking Lot	Required	Provided
1 Large Canopy Tree/ 10 parking spaces	27	35
One tree within 50' of each parking space	YES	YES
Headlight Screening (min. 2' ht. berm with evergreen shrubs)	YES	YES
Total Trees	Required	Provided
Total Canopy Trees		95
Total Trees Existing (within parking areas)		36
Total Trees (Canopy Trees only)		131

EXISTING SITE PARKING DATA

PUBLIC SPACES	ACCESSIBLE SPACES	TOTAL
125	5	130

PROPOSED SITE PARKING DATA

PUBLIC SPACES	ACCESSIBLE SPACES	TOTAL
262	9	271

SITE INFORMATION:

EXISTING ZONING: HEAVY COMMERCIAL (HC), COMMERCIAL (C), & AGRICULTURAL (AG)

PROPOSED ZONING: NO CHANGE

PROPOSED USE: EXPANSION OF EXISTING SITE TO INCLUDE 2 NEW OFFICE BUILDINGS, TRUCK WAREHOUSE, AND LAYDOWN STORAGE WAREHOUSE

TOTAL AREA LOT 1: 1,366,902 SQ FT 31.38 AC
TOTAL AREA LOTS 1-4: 4,146,392 SQ FT 95.19 AC

LOT 1 "HC" ZONING

MAXIMUM BUILDING HEIGHT: 60 FT
MAXIMUM LOT COVERAGE: 60%
MAXIMUM FLOOR AREA RATIO: 4:1
MAXIMUM IMPERVIOUS PARKING: 90-95%

PROPOSED MAX. BUILDING D HEIGHT: 40'
PROPOSED MAX. BUILDING E HEIGHT: 46'-4"
PROPOSED MAX. BUILDING F HEIGHT: 26'-8"
PROPOSED LOT COVERAGE: 106,281/1,366,902 = 7.8%
PROPOSED FLOOR AREA RATIO: 113,260/1,366,902 = 0.08:1
PROPOSED IMPERVIOUS PARKING: 69,510/1,366,902 = 5.1%

EXISTING PARKING:
EXISTING WAREHOUSE 23,520 SQ FT (1:1000) = 24 SPACES
EXISTING OFFICE 31,530 SQ FT (1:300) = 106 SPACES
REMOVED OFFICE 7,700 SQ FT (1:300) = -26 SPACES

EXISTING REQUIRED PARKING = 104 SPACES

REQUIRED PARKING:
PROPOSED WAREHOUSE D 12,750 SQ FT (1:1000) = 13 SPACES
PROPOSED OFFICE D 19,600 SQ FT (1:300) = 66 SPACES
PROPOSED OFFICE E 23,000 SQ FT (1:300) = 77 SPACES
PROPOSED WAREHOUSE F 10,560 SQ FT (1:1000) = 11 SPACES

TOTAL REQUIRED PARKING = 271 SPACES
TOTAL PROVIDED PARKING = 271 SPACES

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, _____.

WITNESS OUR HANDS, this ____ day of _____, _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

**REC CAMPUS EXPANSION
REC CAMPUS ADDITION**
LOTS 1-4, BLOCK A
WILLIAM H. BARNES SURVEY, ABSTRACT NO. 26,
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



ARCHITECT
HKS, INC.
350 N SAINT PAUL ST
SUITE 100
DALLAS, TX 75201

LANDSCAPE ARCHITECT
KIMLEY-HORN AND ASSOCIATE, INC.
260 EAST DAVIS STREET, SUITE 100
MCKINNEY, TX 75069

STRUCTURAL ENGINEER
HKS, INC.
350 N SAINT PAUL ST, SUITE 100
DALLAS, TX 75201-4240

MEP ENGINEERS
SYSKA HENNESSY GROUP
4925 GREENVILLE AVENUE, SUITE 415
DALLAS, TX 75206

OWNER
RAYBURN ELECTRIC COOPERATIVE
950 SIDS ROAD
ROCKWALL, TX 75087

CIVIL ENGINEER
R - DELTA ENGINEERS, INC.
618 MAIN STREET
GARLAND, TEXAS 75040



KEY PLAN

REVISION NO. DESCRIPTION DATE

HKS PROJECT NUMBER

25370.000

DATE

10/31/22

ISSUE

**CITY SITE PLAN
SUBMITTAL**

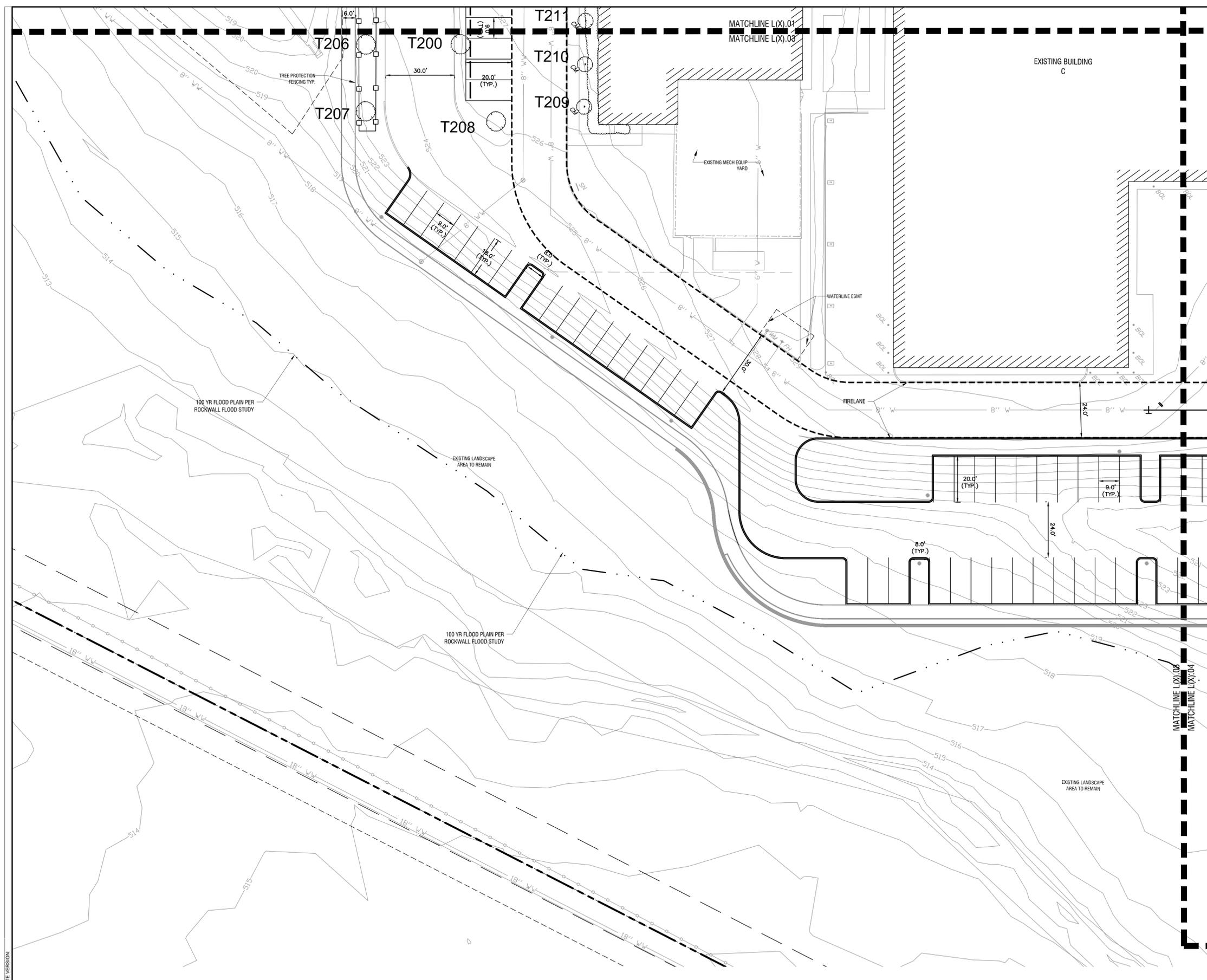
SHEET TITLE

**PLANTING
SCHEDULE**

CASE# SP2022-058

SHEET NO.

L5.07



- LEGEND**
- T40 EXISTING TREE TAG NUMBER
 - EXISTING TREE TO REMAIN
 - EXISTING TREE TO BE REMOVED
 - TREE PROTECTION FENCING

HKS

ARCHITECT
HKS, INC.
350 N SAINT PAUL ST
SUITE 100
DALLAS, TX 75201

LANDSCAPE ARCHITECT
KIMLEY-HORN AND ASSOCIATE, INC.
260 EAST DAVIS STREET, SUITE 100
MCKINNEY, TX 75069

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HKS, INC.
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DALLAS, TX 75201-4240

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R - DELTA ENGINEERS, INC.
618 MAIN STREET
GARLAND, TEXAS 75040



10/31/22
KEY PLAN

REVISION NO.	DESCRIPTION	DATE

HKS PROJECT NUMBER
25370.000

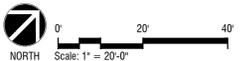
DATE
10/31/22

ISSUE
CITY SITE PLAN SUBMITTAL

SHEET TITLE
TRESCAPE PLAN

CASE# SP2022-058
SHEET NO.

L7.03



Treescape Plan
Scale: 1" = 20' - 0"

A

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____, _____.

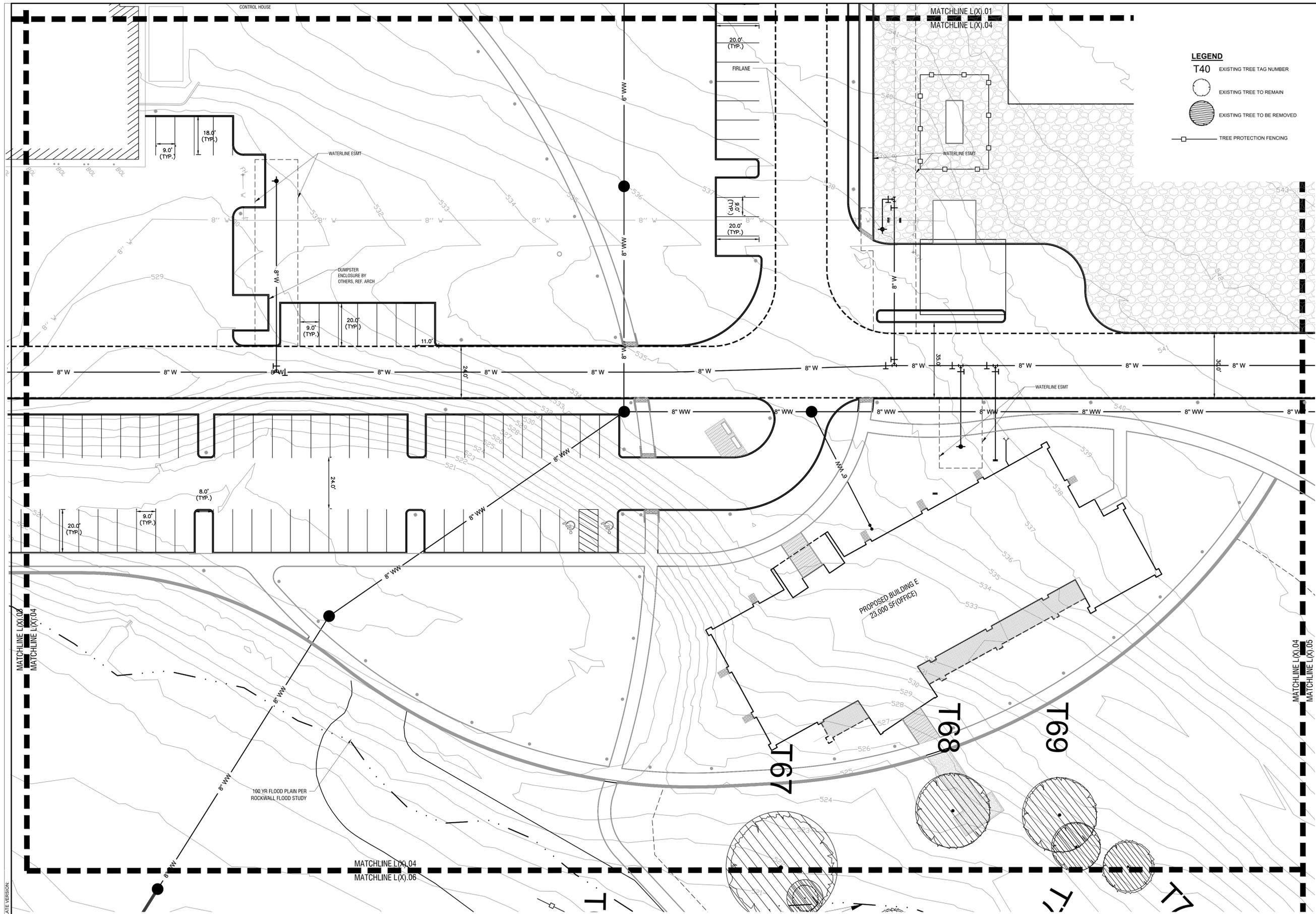
WITNESS OUR HANDS, this ___ day of _____, _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

**REC CAMPUS EXPANSION
REC CAMPUS ADDITION**
LOTS 1-4, BLOCK A
WILLIAM H. BARNES SURVEY, ABSTRACT NO. 26,
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

PLOT DATE: TEMPLATE VERSION:



- LEGEND**
- T40 EXISTING TREE TAG NUMBER
 - EXISTING TREE TO REMAIN
 - ◐ EXISTING TREE TO BE REMOVED
 - TREE PROTECTION FENCING

HKS

ARCHITECT
HKS, INC.
350 N SAINT PAUL ST
SUITE 100
DALLAS, TX 75201

LANDSCAPE ARCHITECT
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RAYBURN ELECTRIC COOPERATIVE
950 SIDS ROAD
ROCKWALL, TX 75087

CIVIL ENGINEER
R - DELTA ENGINEERS, INC.
618 MAIN STREET
GARLAND, TEXAS 75040



10/31/22
KEY PLAN

REVISION NO.	DESCRIPTION	DATE

HKS PROJECT NUMBER
25370.000

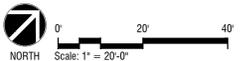
DATE
10/31/22

ISSUE
CITY SITE PLAN SUBMITTAL

SHEET TITLE
TRESCAPE PLAN

CASE# SP2022-058
SHEET NO.

L7.04



Treescape Plan
Scale: 1" = 20' - 0"

A

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____, ____.

WITNESS OUR HANDS, this ___ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

REC CAMPUS EXPANSION
REC CAMPUS ADDITION
LOTS 1-4, BLOCK A
WILLIAM H. BARNES SURVEY, ABSTRACT NO. 26,
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



- LEGEND**
- T40 EXISTING TREE TAG NUMBER
 - EXISTING TREE TO REMAIN
 - ◐ EXISTING TREE TO BE REMOVED
 - TREE PROTECTION FENCING

HKS

ARCHITECT
 HKS, INC.
 350 N SAINT PAUL ST
 SUITE 100
 DALLAS, TX 75201

LANDSCAPE ARCHITECT
 KIMLEY-HORN AND ASSOCIATE, INC.
 260 EAST DAVIS STREET, SUITE 100
 MCKINNEY, TX 75069

STRUCTURAL ENGINEER
 HKS, INC.
 350 N SAINT PAUL ST, SUITE 100
 DALLAS, TX 75201-4240

MEP ENGINEERS
 SYSKA HENNESSY GROUP
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 DALLAS, TX 75206

OWNER
 RAYBURN ELECTRIC COOPERATIVE
 950 SIDS ROAD
 ROCKWALL, TX 75087

CIVIL ENGINEER
 R - DELTA ENGINEERS, INC.
 618 MAIN STREET
 GARLAND, TEXAS 75040



10/31/22
 KEY PLAN

REVISION NO.	DESCRIPTION	DATE

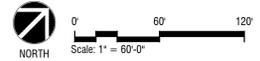
HKS PROJECT NUMBER
25370.000

DATE
10/31/22

ISSUE
CITY SITE PLAN SUBMITTAL

SHEET TITLE
TREESCAPE PLAN

CASE# SP2022-058
 SHEET NO.



APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____, ____.

WITNESS OUR HANDS, this ___ day of _____, ____.

A _____
 Planning & Zoning Commission, Chairman

_____ Director of Planning and Zoning

REC CAMPUS EXPANSION
REC CAMPUS ADDITION
 LOTS 1-4, BLOCK A

WILLIAM H. BARNES SURVEY, ABSTRACT NO. 26,
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

L7.06

Location Key	Size DBH (Inches)	Description	Common Name	Comments	Tree Designation	Removal Status	Replacement Caliper Inches
T1	14	M.T.	Bois D'Arc			X	
T2	24	M.T.	Bois D'Arc			X	
T3	24		Bois D'Arc			X	
T4	16	M.T.	Hackberry		X		
T5	13		American Elm		X		
T6	12		Eastern Red Cedar		X	Removed	6
T7	12		Eastern Red Cedar		X		
T8	14		Hackberry		X		
T9	15	M.T.	Bois D'Arc			X	
T10	18	M.T.	American Elm		X		
T10A	30		Cottonwood		X	Removed	60
T11	14		Black Willow		X		
T12	16		Black Willow		X		
T13	12		Eastern Red Cedar		X		
T14	15	M.T.	Hackberry	Dying and Covered with Poison Ivy	X		
T15	14		Hackberry	Diseased Crown	X		
T15A	14	M.T.	Hackberry		X		
T16	14		Hackberry		X		
T17	15		American Elm		X		
T18	13		Hackberry		X	Removed	6.5
T19	14	M.T.	Bois D'Arc	Tagged as '20'	X	Removed	
T20	12		Eastern Red Cedar		X		
T21	13	M.T.	Eastern Red Cedar		X		
T22	12		Eastern Red Cedar		X	Removed	6
T23	12		Eastern Red Cedar		X	Removed	6
T24	12		Eastern Red Cedar		X		
T25	12		Eastern Red Cedar		X	Removed	6
T26A	9		Cedar Elm		X		
T26	11		Eastern Red Cedar		X		
T27	8		White Ash		X		
T28	13	M.T.	Eastern Red Cedar		X		
T29	14	M.T.	Eastern Red Cedar		X		
T30	11		Eastern Red Cedar		X		
T31	12		Eastern Red Cedar		X		
T32	11		Eastern Red Cedar	Branched to Ground	X		
T33	11		Eastern Red Cedar		X		
T34	17		White Ash		X	Removed	17
T35	12		Eastern Red Cedar	Only Top 1/4 of Tree is Alive	X	Removed	6
T36	13		Eastern Red Cedar	Entirely Dead	X	Removed	6.5
T37	9		White Ash		X	Removed	9
T38	11		Hackberry		X	Removed	5.5
T39	8		Slippery Elm	Entire Tree is Wilted	X	Removed	8
T40	12		Hackberry		X		
T41	13		Hackberry		X	Removed	6.5
T42	14	M.T.	Eastern Red Cedar		X	Removed	7
T43	8		Hackberry		X	Removed	
T44	10'		Bois D'Arc		X	Removed	
T45	14		American Elm		X	Removed	14
T46	7		Slippery Elm		X	Removed	7
T47	14		White Ash		X		
T48	6		Cedar Elm		X		
T49	12		Eastern Red Cedar		X		
T50	4		Bois D'Arc		X		
T51	19		Bois D'Arc		X		
T52	5		Perseimon		X		
T53	9		Perseimon		X		
T54	8		Black Willow		X		
T55	4		Perseimon		X		
T56	15		White Ash		X		
T57	18		Bois D'Arc		X		
T58	6		Bois D'Arc		X		
T59	14	M.T.	Bois D'Arc		X		
T60	21	M.T.	Bois D'Arc		X		
T61	6		Bois D'Arc	Tagged as '62'	X		
T62	6		Bois D'Arc	Tagged as '63'	X		
T63	8		American Elm		X		
T64	8	M.T.	Hackberry		X		
T65	12		White Ash		X		
T66	6		Bois D'Arc		X	Removed	
T67	24	M.T.	Bois D'Arc		X	Removed	
T68	17	M.T.	Hackberry		X	Removed	8.5
T69	15	M.T.	Hackberry		X	Removed	7.5
T70	11		Hackberry		X	Removed	5.5
T71	12		Bois D'Arc		X	Removed	
T72	14		Hackberry		X	Removed	7
T73	11		Cedar Elm		X		
T73A	6		American Elm		X		
T73B	12		Eastern Red Cedar		X		
T74	15		Eastern Red Cedar		X		
T75	15		Eastern Red Cedar		X		
T76	14		Eastern Red Cedar		X		
T77	12		Black Willow		X		
T78	13		Eastern Red Cedar		X		
T79	12		Eastern Red Cedar		X	Removed	6
T80	12		Eastern Red Cedar		X	Removed	6
T81	12	M.T.	Natchez Grape Myrtle		X		
T81A	18		Live Oak		X	Removed	18
T82	7	M.T.	Natchez Grape Myrtle		X		
T83	6	M.T.	Natchez Grape Myrtle		X		
T84	11	M.T.	Natchez Grape Myrtle		X		
T85	16	M.T.	Natchez Grape Myrtle		X		
T86	18	M.T.	Natchez Grape Myrtle		X		
T87	15	M.T.	Natchez Grape Myrtle		X		
T88	11	M.T.	Natchez Grape Myrtle		X		
T89	15		Bradford Pear		X	Removed	15
T90	11	M.T.	Natchez Grape Myrtle		X	Removed	
T90A	20	M.T.	Natchez Grape Myrtle		X	Removed	
T90B	9	M.T.	Watermelon Red Grape Myrtle		X	Removed	
T91	11	M.T.	Natchez Grape Myrtle		X	Removed	
T92	11	M.T.	Natchez Grape Myrtle		X	Removed	
T93	15	M.T.	Natchez Grape Myrtle		X	Removed	
T94	9	M.T.	Natchez Grape Myrtle		X	Removed	
T95	19	M.T.	Natchez Grape Myrtle		X	Removed	

Location Key	Size DBH (Inches)	Description	Common Name	Comments	Tree Designation	Removal Status	Replacement Caliper Inches
T96	7	M.T.	Watermelon Red Grape Myrtle				
T97	19	M.T.	Natchez Grape Myrtle			X	Removed
T98	9	M.T.	Watermelon Red Grape Myrtle			X	Removed
T99	13	M.T.	Natchez Grape Myrtle			X	Removed
T100	8	M.T.	Natchez Grape Myrtle			X	Removed
T101	11	M.T.	Natchez Grape Myrtle			X	Removed
T102	7	M.T.	Natchez Grape Myrtle			X	Removed
T103	10	M.T.	Natchez Grape Myrtle			X	Removed
T104	7	M.T.	Natchez Grape Myrtle			X	Removed
T105	11	M.T.	Natchez Grape Myrtle			X	Removed
T106	6	M.T.	Natchez Grape Myrtle			X	Removed
T107	18		Red Oak		X	Removed	18
T108	22		Bradford Pear		X	Removed	22
T109	12		Bradford Pear	Diseased	X	Removed	12
T110	15		Bradford Pear	Wind Damaged	X	Removed	15
T111	15		Live Oak		X	Removed	15
T112	17		Live Oak		X		
T113	13		Live Oak	Bad Freeze Damaged Trunk	X	Removed	13
T114	5		Magnolia		X	Removed	5
T115	9		Live Oak	Bad Freeze Damaged Trunk	X	Removed	9
T116	12		Texas Red Oak	Substantial Trunk Damage with Borers Infestation	X	Removed	12
T138	18	M.T.	Hackberry		X		
T141	12		Eastern Red Cedar		X		
T142	14		Eastern Red Cedar		X		
T143	17	M.T.	Eastern Red Cedar		X		
T144	4		Cedar Elm		X		
T145	16		Eastern Red Cedar		X		
T146	11		Eastern Red Cedar		X		
T147	14		Eastern Red Cedar		X		
T148	12		Eastern Red Cedar		X		
T149	12		Eastern Red Cedar		X		
T150	12		Eastern Red Cedar		X		
T151	12	M.T.	Eastern Red Cedar		X		
T152	15		Eastern Red Cedar		X		
T153	11		Eastern Red Cedar		X		
T155	16		Eastern Red Cedar		X		
T156	12		Eastern Red Cedar		X		
T157	14		Eastern Red Cedar		X		
T158	8		Cedar Elm		X		
T158A	7		Cedar Elm		X		
T159	8		Locust		X		
T160	5		White Ash		X		
T161	5		Cedar Elm		X		
T162	4		White Ash		X		
T163	4		Cedar Elm		X		
T164	8		Cedar Elm		X		
T164A	7		Cedar Elm		X		
T164B	10	M.T.	Cedar Elm		X		
T164C	6		Cedar Elm		X		
T165	7		Black Willow		X		
T166	20		Black Willow		X		
T168	19	M.T.	Eastern Red Cedar		X		
T168A	23	M.T.	Eastern Red Cedar		X		
T170	6		Live Oak		X	Removed	6
T171	6		Live Oak		X		
T172	6		Bur Oak		X		
T173	6		Bur Oak		X		
T174	6		Bur Oak		X		
T175	6		Bur Oak		X		
T176	7		Live Oak		X		
T177	8	M.T.	Natchez Grape Myrtle		X		
T178	6		Bur Oak		X		
T179	6		Bur Oak		X		
T180	6		Bur Oak		X		
T181	6		Live Oak	Stinked- Old Sapwood Damage	X		
T182	10	M.T.	Natchez Grape Myrtle		X		
T183	7.5	M.T.	Natchez Grape Myrtle		X		
T184	7	M.T.	Natchez Grape Myrtle		X		
T185	6		Bald Cypress		X		
T186	6		Bald Cypress		X		
T187	6		Bald Cypress		X		
T188	6		Bald Cypress		X		
T189	6		Bald Cypress		X		
T190	6		Live Oak	Stinked- Old Sapwood Damage	X		
T191	6		Live Oak		X		
T192	6		Bald Cypress		X		
T193	6		Bald Cypress		X		
T194	8		Live Oak		X		
T195	6		Bald Cypress		X		
T196	6		Live Oak		X		
T197	6		Live Oak		X		
T198	6		Live Oak		X		
T199	6		Live Oak		X		
T200	6		Live Oak		X		
T201	6		Bald Cypress		X		
T202	6		Bald Cypress		X		
T203	6		Bald Cypress		X		
T204	6		Bald Cypress		X		
T205	6		Bald Cypress		X		
T206	6		Bald Cypress		X		
T207	6		Bald Cypress		X		
T208	6		Live Oak		X		
T209	-		Grape Myrtle	Dead, Coming Back From Roots			
T210	3.5	M.T.	Natchez Grape Myrtle		X		
T211	2.5	M.T.	Natchez Grape Myrtle		X		
T212	2.5	M.T.	Natchez Grape Myrtle		X		
T213	3	M.T.	Natchez Grape Myrtle		X		
T214	6		Live Oak	Weeping Habit	X		
T215	6		Live Oak	Weeping Habit	X		
T216	6		Live Oak	Weeping Habit	X		
T217	6		Live Oak	Weeping Habit	X		
T218	6		Live Oak	Weeping Habit	X		
T219	6		Live Oak	Weeping Habit	X		
T223	14		Black Willow		X		
TOTAL	2,210						
TOTAL REPLACEMENT INCHES REQUIRED:							377.5
MITIGATION INCHES PROVIDED ON SITE:							380
MITIGATION INCHES (CREDITS) REMAINING:							-2.5

SITE INFORMATION:

EXISTING ZONING: HEAVY COMMERCIAL (HC), COMMERCIAL (C), & AGRICULTURAL (AG)

PROPOSED ZONING: NO CHANGE

PROPOSED USE: EXPANSION OF EXISTING SITE TO INCLUDE 2 NEW OFFICE BUILDINGS, TRUCK WAREHOUSE, AND LAYDOWN STORAGE WAREHOUSE

TOTAL AREA LOT 1: 1,366,902 SQ FT 31.38 AC
TOTAL AREA LOTS 1-4: 4,146,392 SQ FT 95.19 AC

LOT 1 "HC" ZONING

MAXIMUM BUILDING HEIGHT: 60 FT
MAXIMUM LOT COVERAGE: 60%
MAXIMUM FLOOR AREA RATIO: 4:1
MAXIMUM IMPERVIOUS PARKING: 90-95%

PROPOSED MAX. BUILDING D HEIGHT: 40'
PROPOSED MAX. BUILDING E HEIGHT: 46'-4"
PROPOSED MAX. BUILDING F HEIGHT: 26'-8"
PROPOSED LOT COVERAGE: 106,281/1,366,902 = 7.8%
PROPOSED FLOOR AREA RATIO: 113,260/1,366,902 = 0.08:1
PROPOSED IMPERVIOUS PARKING: 69,510/1,366,902 = 5.1%

EXISTING PARKING:
EXISTING WAREHOUSE 23,520 SQ FT (1:1000) = 24 SPACES
EXISTING OFFICE 31,530 SQ FT (1:300) = 106 SPACES
REMOVED OFFICE 7,700 SQ FT (1:300) = -26 SPACES

EXISTING REQUIRED PARKING = 104 SPACES

REQUIRED PARKING:
PROPOSED WAREHOUSE D 12,750 SQ FT (1:1000) = 13 SPACES
PROPOSED OFFICE D 19,600 SQ FT (1:300) = 66 SPACES
PROPOSED OFFICE E 23,000 SQ FT (1:300) = 77 SPACES
PROPOSED WAREHOUSE F 10,560 SQ FT (1:1000) = 11 SPACES

TOTAL REQUIRED PARKING = 271 SPACES
TOTAL PROVIDED PARKING = 271 SPACES



ARCHITECT

HKS, INC.
350 N SAINT PAUL ST
SUITE 100
DALLAS, TX 75201

LANDSCAPE ARCHITECT

KIMLEY-HORN AND ASSOCIATE, INC.
260 EAST DAVIS STREET, SUITE 100
MCKINNEY, TX 75069

STRUCTURAL ENGINEER

Luminaire Schedule	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Ballast Factor	Light Lost Factor	User Defined Factor
AA	51	LITHONIA CSX1 LED 60C 700 40K T4M HS	12377	134	1.000	0.900	1.000
BB	40	LITHONIA KB88 LED 12C 350 40K ASY MVOLT	809	16	1.000	0.900	1.000
CC	2	LITHONIA DSXW2 LED 20C 350 40K T2S MVOLT	2988	25	1.000	0.900	1.000

Calculation Summary	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min
GROUND Planar	0	Fc	0.76	5.2	0.0	N.A.
PARKING LOT 1	0	Fc	2.69	4.2	1.4	1.92
PARKING LOT 2 & ROADWAY	0	Fc	2.91	5.1	0.8	3.64

AA

CSX1 LED
LED Area Luminaire

CC

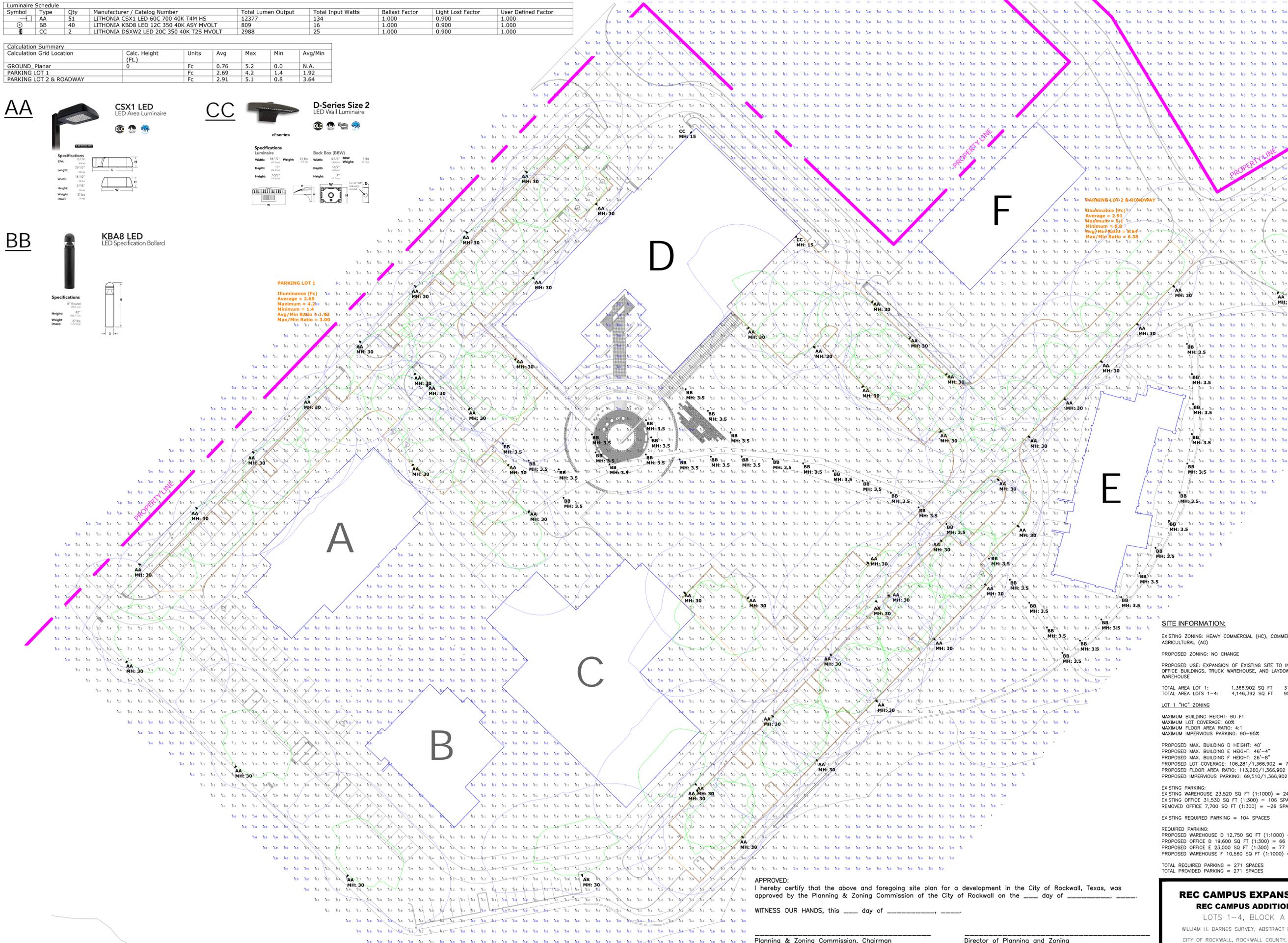
D-Series Size 2
LED Wall Luminaire

BB

KBA8 LED
LED Specification BollardSpecifications
8" Round
Height: 42"
Weight: 27 lbs

Specifications Luminaire	Back Box (BBW)
Width: 18-1/2"	Width: 2-1/2"
Depth: 12"	Depth: 1-1/2"
Height: 7-5/8"	Height: 4"

PARKING LOT 1
Illuminance (Fc)
Average = 2.69
Maximum = 4.2
Minimum = 1.4
Avg/Min Ratio = 1.92
Max/Min Ratio = 3.00



HKS

ARCHITECT
HKS, INC.
350 N SAINT PAUL ST
SUITE 100
DALLAS, TX 75201

LANDSCAPE ARCHITECT
KIMLEY-HORN AND ASSOCIATE, INC.
280 EAST DAVIS STREET, SUITE 100
MCKINNEY, TX 75069

STRUCTURAL ENGINEER
HKS, INC.
350 N SAINT PAUL ST, SUITE 100
DALLAS, TX 75201-4240

MEP ENGINEERS
SYSKA HENNESSY GROUP
4225 GREENVILLE AVENUE, SUITE 415
DALLAS, TX 75206

OWNER
RAYBURN ELECTRIC COOPERATIVE
950 SIDS ROAD
ROCKWALL, TX 75087

CIVIL ENGINEER
R - DELTA ENGINEERS, INC.
618 MAIN STREET
GARLAND, TEXAS 75040

RayburnElectric
COOPERATIVE

INTERIM REVIEW ONLY
These documents are incomplete, and are released for interim review only and are not intended for regulatory approval, permit, or construction purposes.
Architect:
Arch. Reg. No.:
Date:

KEY PLAN

SITE INFORMATION:

EXISTING ZONING: HEAVY COMMERCIAL (HC), COMMERCIAL (C), & AGRICULTURAL (AG)

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PROPOSED OFFICE D 19,600 SQ FT (1:300) = 66 SPACES
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TOTAL PROVIDED PARKING = 271 SPACES

HKS PROJECT NUMBER
25370.001

DATE
11/01/22

ISSUE
CITY SITE PLAN

SUBMITTAL

SHEET TITLE
SITE LIGHTING

CASE# SP2022-058

SHEET NO.

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____.

WITNESS OUR HANDS, this ____ day of _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

REC CAMPUS EXPANSION
REC CAMPUS ADDITION
LOTS 1-4, BLOCK A
WILLIAM H. BARNES SURVEY, ABSTRACT NO. 26,
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SL.00



Traffic Impact Analysis

Rayburn Electric Cooperative
Rockwall, Texas

October 13, 2022

Kimley-Horn and Associates, Inc.
Dallas, Texas

Project #67075002
Registered Firm F-928

Kimley»»Horn

Traffic Impact Analysis

**Rayburn Electric Cooperative Campus
Expansion
Rockwall, Texas**

Prepared by:

Kimley-Horn and Associates, Inc.
13455 Noel Road, Two Galleria Tower, Suite 700
Dallas, Texas 75240
Registered Firm F-928

10/13/2022

Contact:
Christian DeLuca, P.E., PTOE
972-770-1300
October 13, 2022



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EXECUTIVE SUMMARY

The proposed Rayburn Electric Cooperative (REC) Campus Expansion development is located within the block bounded by Goliad Street, Sims Road, and Mims Road in Rockwall, Texas. The site is proposed to be built as a distribution center. This study is intended to identify traffic generation characteristics, identify potential traffic related impacts on the local street system, and to develop mitigation measures required for identified impacts. The following existing intersections were selected to be part of this study:

- Goliad Street & Sids Road
- Mims Road & Sids Road
- Goliad Street & Mims Road
- Mims Road & National Drive

The analysis also included the following driveways having access in and out of the site:

- Drive 1, which is an existing full-access driveway for the REC Campus to Sids Road
- Drive 2, which is an existing full-access driveway for the REC Campus to Sids Road. The driveway is across from the driveway for Air Performance.
- Drive 3, which is an existing full-access driveway for the REC Campus to Sids Road. The driveway is across from the driveway for Rockwall ISD school bus parking lot.
- Drive 4, which is an existing full-access driveway for the REC Campus to Sids Road
- Drive 5, which is a proposed right-in right-out driveway to Goliad Street.
- Drive 6, which is an existing full-access driveway for the REC Campus to Mims Road. The driveway is across from the existing roadway, National Drive.

Traffic operations were analyzed at the study intersections for existing volumes and 2024 background traffic volumes and 2024 background plus site-generated traffic volumes. The future years correspond to the expected buildout year of the site. Conditions were analyzed for the weekday AM and PM peak hours. The background traffic conditions include existing traffic with compound growth rates.

The REC campus expansion development is expected to generate approximately 26 new weekday AM peak hour one-way vehicle trips and 37 new weekday PM peak hour one-way vehicle trips at buildout. The distribution of the site-generated traffic volumes onto the street system was based on the surrounding roadway network, existing traffic patterns, and the project's proposed access locations.

Based on the analysis presented in this report, the proposed Rayburn Electric Cooperative Campus Expansion development can be successfully incorporated into the surrounding roadway network. The proposed site driveways provide the appropriate level of access for the development. The site-generated traffic does not have a significant or disproportionate effect on the existing vehicle traffic operations. The following recommendations should be included in the development of the site:

1. Construct Drive 4 to Goliad Street as a right-in/right-out driveway due to not meeting TxDOT driveway access spacing.

I. INTRODUCTION

A. Purpose

Kimley-Horn was retained to conduct a Traffic Impact Analysis (TIA) of future traffic conditions associated with the development of the Rayburn Electric Cooperative Campus Expansion site located within the block bounded by Goliad Street, Sims Road, and Mims Road in Rockwall, Texas. A site vicinity map is provided as **Exhibit 1**. **Exhibit 2** shows the proposed conceptual site plan. This study is intended to identify traffic generation characteristics, identify potential traffic related impacts on the local street system, and to develop mitigation measures required for identified impacts.

B. Methodology

Traffic operations were analyzed at the study intersections for AM and PM peak hours for the following scenarios due to falling into Analysis Category 1 based on the requirements listed in Table 2.6 in the City of Rockwall's Standards of Design & Construction.

- 2022 existing traffic
- 2024 background traffic
- 2024 background plus site traffic

The capacity analyses were conducted using the *Synchro*TM software package and its associated *Intersection* reports for signalized intersections and *Highway Capacity Manual* reports for unsignalized intersections.

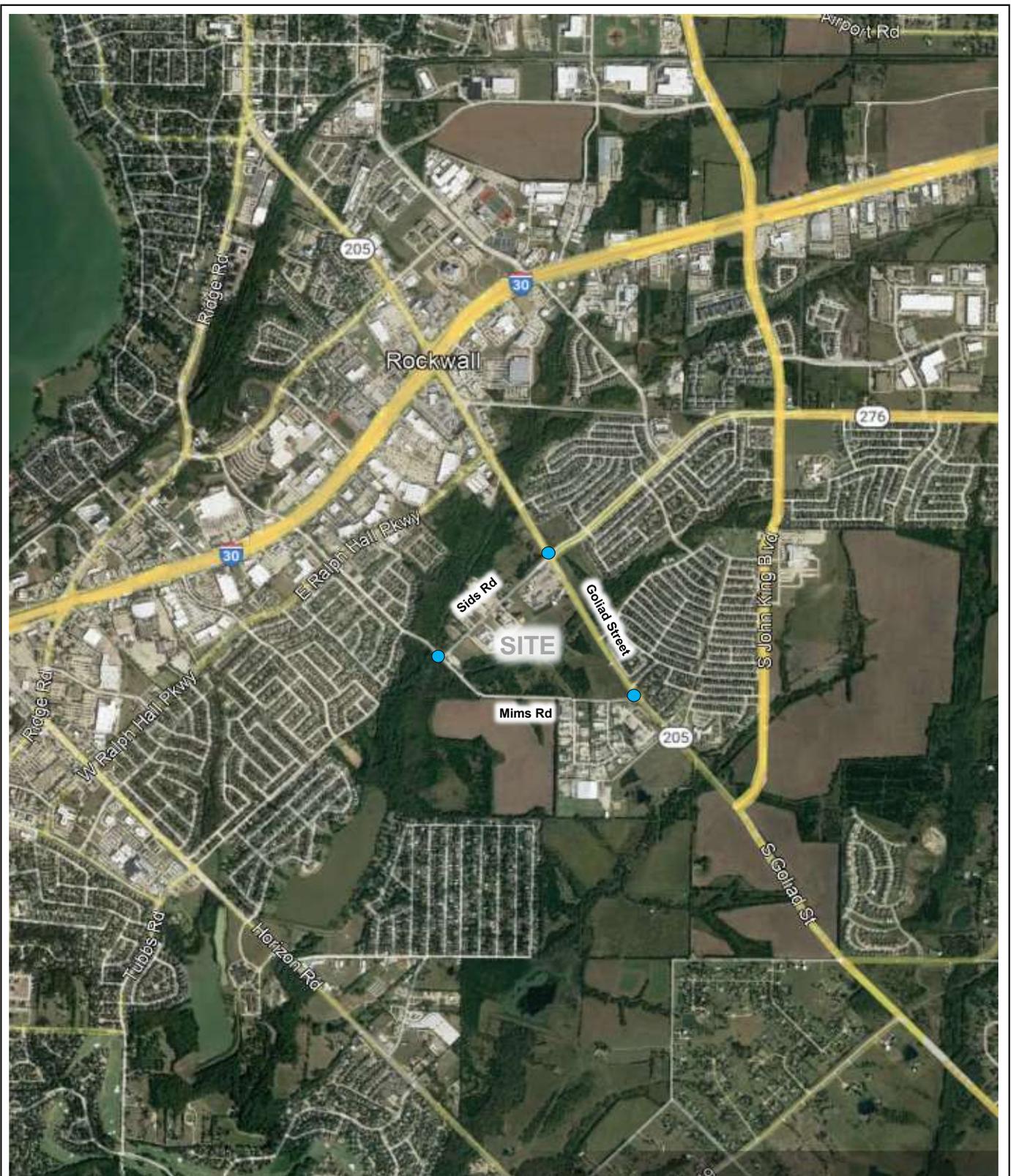


EXHIBIT 1

Vicinity Map
 Lineman Building - Rockwall, Texas

Kimley»Horn

LEGEND:
 = Study Intersection

North

 Not To Scale

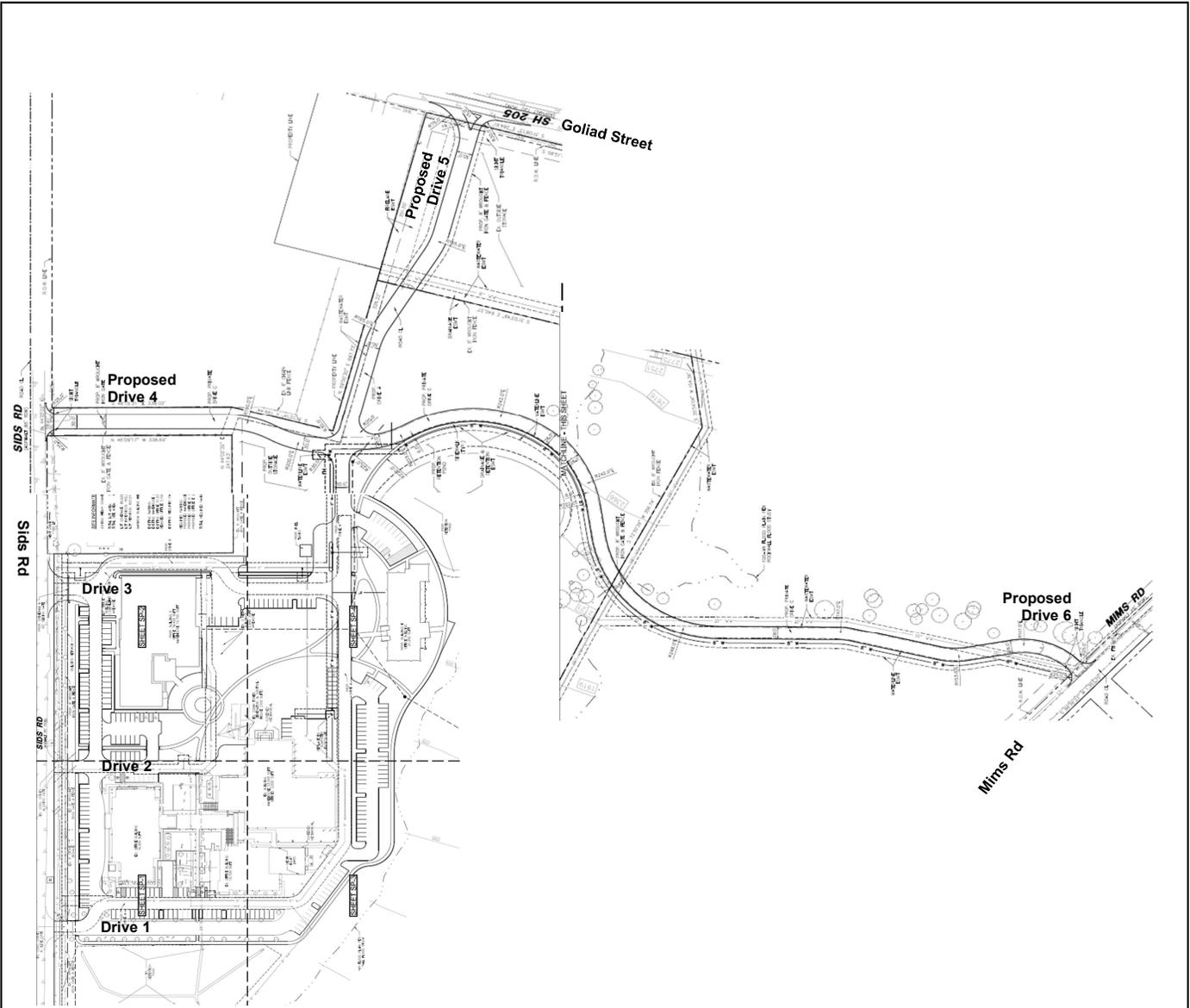


EXHIBIT 2
 Conceptual Site Plan
 Lineman Building - Rockwall, Texas



Not To Scale

II. EXISTING AND FUTURE AREA CONDITIONS

A. Roadway Characteristics

The following signalized intersections were evaluated as part of this study:

- Goliad Street & Sids Road

The following unsignalized intersections were evaluated as part of this study:

- Mims Road & Sids Road
- Goliad Street & Mims Road
- Mims Road & National Drive

The major study area roadways are described below.

Sids Road – is a two-lane undivided roadway between Mims Road to Goliad Street and then transitions into a four-lane divided roadway east of Goliad Street. The speed limit is 30 mph west of Goliad Street adjacent to the proposed site and 50 mph east of Goliad Street. Sids Road is identified as a 4-lane undivided minor arterial, west of Goliad Street, and a 6-lane divided arterial, east of Goliad Street.

Goliad Street (SH 205) – is a two-lane undivided roadway between John King Boulevard to Sids Road and then transitions into a six-lane divided roadway north of Sids Road. The speed limit is 55 mph south of Sids Road adjacent to the proposed site and 45 mph north of Sids Road. Goliad Street is identified as a 6-lane divided arterial on the City of Rockwall Thoroughfare Plan.

Mims Road – is a two-lane undivided roadway that runs from Goliad Street to I-30. On the City of Rockwall Thoroughfare Plan, Industrial Boulevard is designated as a four-lane undivided minor arterial. The speed limit near the site is 30 mph.

Exhibit 3 illustrates the intersection geometry used for the traffic analysis.

B. Existing Study Area

The property is zoned as Heavy Commercial (LHC with “office/warehouse combinations land uses” listed as a primary land use. The use of the property will not be changing.

C. Proposed Site Improvements

The development as proposed includes expansion of the Rayburn Electric Cooperative Campus. The existing REC campus contains 62,750 square feet; 7700 square feet will be removed while two buildings totaling 52,500 square feet will be added. The net gain is 44,800 square feet.

As shown in **Exhibit 3**, the site has three proposed driveways. The driveways to be modeled in this analysis are as follows:

Drive 1 – is an existing full-access driveway to Sids Road. The drive is approximately 550 feet northeast of the intersection of Mims Road and Sids Road.

Drive 2 – is an existing full-access driveway to Sids Road and is located across from another commercial driveway. The drive is approximately 300 feet northeast of Drive 1.

Drive 3 – would reconstruct and widen the site's northernmost driveway to Sids Road. The drive is approximately 375 feet northeast of Drive 2 and meets the City of Rockwall's minimum driveway spacing of 200 feet.

Proposed Drive 4 – would be a full-access driveway to Sids Road approximately 285 feet north of Drive 3. Drive 4 is proposed to be 100 feet northeast of the existing commercial driveway servicing S & A Systems Inc. The City of Rockwall requires 200 feet driveway spacing on Arterials and 100 feet of spacing on Collectors. Sids Road is expected to be a 4-lane arterial in the future based on the thoroughfare plan, however, functions as a two-lane collector today. Furthermore, the roadway dead ends into Mims Road and traffic volumes will likely remain low for quite sometimes. Further attributing to collector characteristics. The S & A Systems driveway only services a few parking spaces and has very low traffic. For these reasons, the 100-foot driveway spacing is appropriate for this driveway.

Proposed Drive 5 – would be a right-in right-out driveway to Goliad Street (SH 205) approximately 810 feet south of Goliad Street. The driveway will be 155 feet south of the next driveway to the north. Goliad Street is a TxDOT roadway and therefore requires 360 feet of spacing as a 45 MPH road. This spacing requirement is not met. To provide reasonable access under these conditions but also provide the safest operation, the driveway connection should be constructed to only allow right-in/right out turning movements.

Proposed Drive 6 – would be a full access driveway to the existing intersection of Mims Road and National Drive. The access point will create the fourth leg of the existing three-legged intersection

The intersection spacing appears to meet the City of Rockwall standards for driveway spacing away from intersections of minor arterials, and between driveways to minor arterials. Intersection sight distance at the proposed driveways is acceptable with each on relatively straight segments of their respective roadway.

D. Existing Traffic Volumes

Exhibit 4 shows the existing weekday AM and PM peak hour traffic volumes. 24-hour machine counts were collected near the site at the intersection of Goliad Street and Sids Road. The raw count sheets, as well as a comparison between the 24-hour volumes collected and previous 24-hour counts, are provided at the end of this report.

The 24-hour count showed the daily volume on the roadway link as follows:

- Goliad Street, west of Sids Road: 11,423 vehicles per day (vpd)
- Sids Road, south of Goliad Street: 2,339 vpd

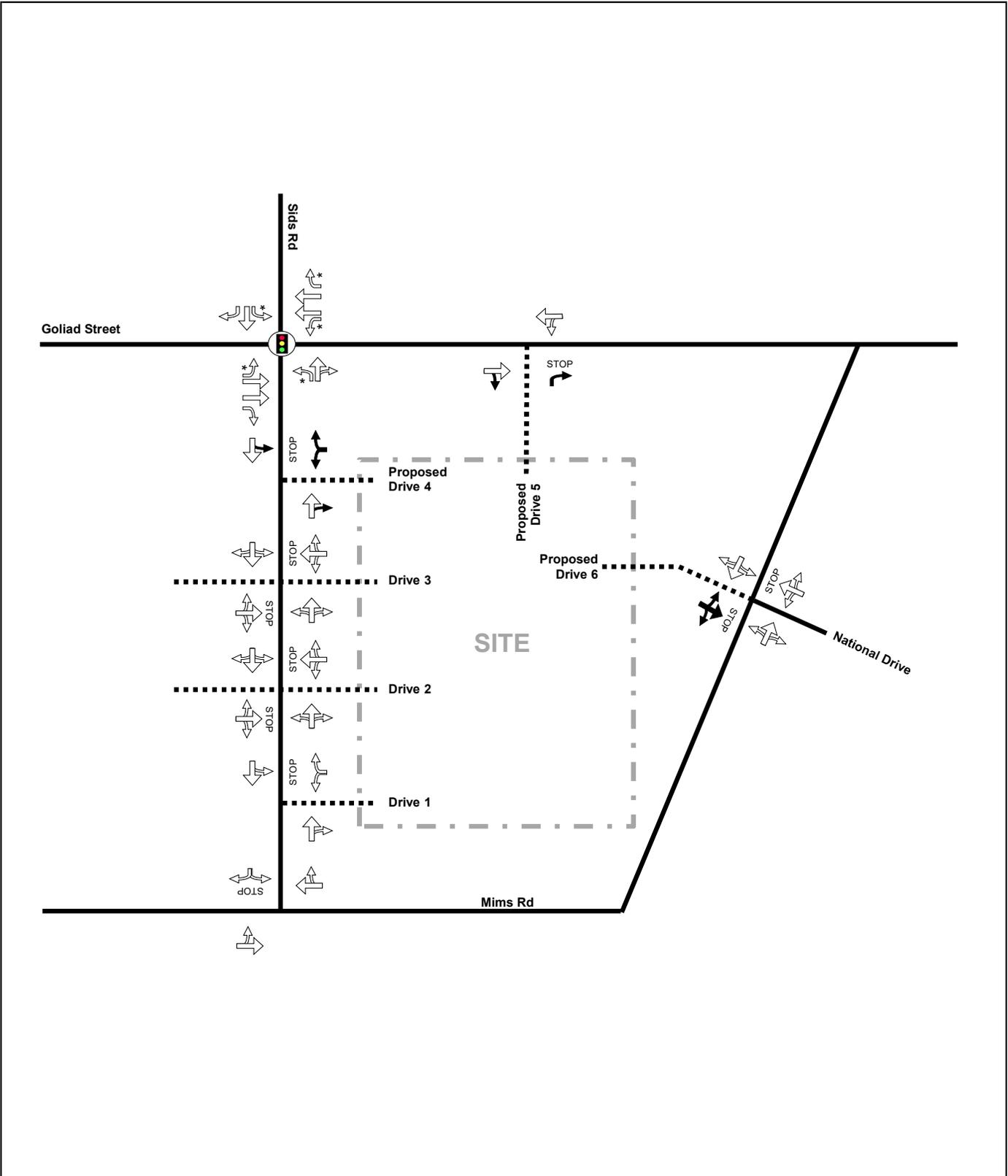


EXHIBIT 3
 Lane Assignment and Intersection Control
 Lineman Building - Rockwall, Texas



LEGEND:

	= Signalized Intersection	*	= Turn Bay
STOP	= Stop-Controlled Approach		= Driveway Lanes or Off-Site Improvements
	= Travel Lane	TWLTL	= Two-Way Left Turn Lane

North
 Not To Scale

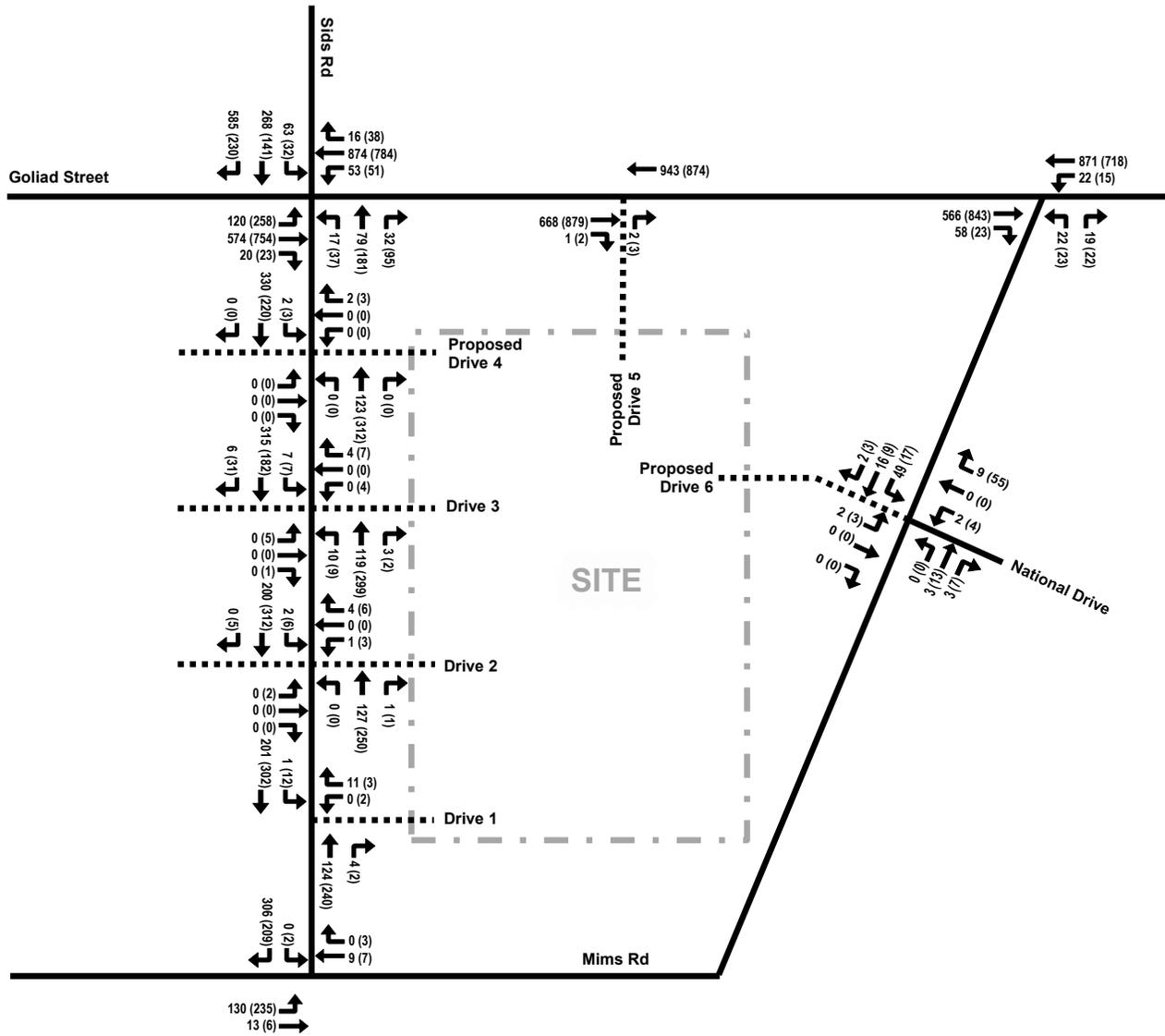


EXHIBIT 8

2024 Background Plus Site-Generated Traffic Volumes
 Lineman Building - Rockwall, Texas



LEGEND:
 X (Y)
 X = Weekday AM Peak Hour Turning Movements
 Y = Weekday PM Peak Hour Turning Movements
 Volumes may not sum from point to point due to rounding
 and presence of smaller driveways not included in analysis.



Not To Scale

III. PROJECT TRAFFIC CHARACTERISTICS

A. Site-Generated Traffic

Site-generated traffic estimates are determined through a process known as trip generation. If site specific trip data is unknown, rates and equations are applied to the proposed land use to estimate traffic generated by the development during a specific tie interval using the 10th edition of *Trip Generation Manual* published by the Institute of Transportation Engineers (ITE). However, since the specific trip data of the existing site is known that data is a better indication of the expected trip data after the expansion is completed. The existing trip data was grown as a ratio based on the square footage of the existing REC campus and proposed REC campus. An additional 20% trip increase was applied to ensure a conservative analysis.

No reductions were taken for pass-by trips, internal capture, or multimodal use.

Table 1 shows the resulting daily and weekday AM and PM peak hour trip generation for the proposed development, showing new external trips.

Table 1 – Trip Generation

Land Uses	Amount	Units	ITE Code	Daily One-Way Trips	AM Peak Hour One-Way Trips			PM Peak Hour One-Way Trips		
					IN	OUT	TOTAL	IN	OUT	TOTAL
<i>Existing Site (Observed)</i>	62,750	SF	170	636 ⁽²⁾	11	13	24	17	18	35
Proposed Expansion (Estimated) ⁽¹⁾	44,800	SF	170	551 ⁽²⁾	8	10	18	13	13	25
Development Totals										
Subtotal Trip Generation Total:				1187 ⁽²⁾	19	23	42	30	31	60
Contingency (20% Increase)				-	4	5	8	6	6	12
<i>Existing Site (Observed)</i>				-636 ⁽²⁾	-11	-13	-24	-17	-18	-35
Total Net New External Vehicle Trips:				551⁽²⁾	12	15	26	19	19	37

(1) Trip Generation rates based on the existing site's observed inbound and outbound trips.

(2) Trip Generation rates based on ITE Trip Generation, 11th Edition.

B. Trip Distribution and Assignment

The distribution of the site-generated traffic volumes in to and out of the site driveways and onto the street system was based on the area street system characteristics, existing traffic patterns, relative land use density, and the locations of the proposed driveway access to/from the site. The corresponding distributions can be found in **Exhibit 5**. The corresponding inbound and outbound traffic assignment, where the directional distribution is applied using the most probable paths to and from the site can be found in **Exhibit 6**

C. Development of 2024 Background Traffic

In order to obtain 2024 background traffic, the existing traffic counts and historic counts near the site were compared to find expected growth trends within the study area. Based on the recent growth in the area, an annual growth rate of 3.2% was assumed for the background traffic through 2024. To calculate the 2024 background traffic, the existing 2022 traffic counts were grown by their respective growth rates annually for two years. The resulting 2024 background weekday AM and PM peak hour traffic volumes are shown in **Exhibit 7**.

D. Development of 2024 Total Traffic

Site traffic volumes were added to the background volumes to represent the estimated total (background plus site-generated) traffic conditions for the 2024 study year after completion of the proposed development. **Exhibit 8** shows the resulting 2024 weekday AM and PM peak hour total traffic volumes.

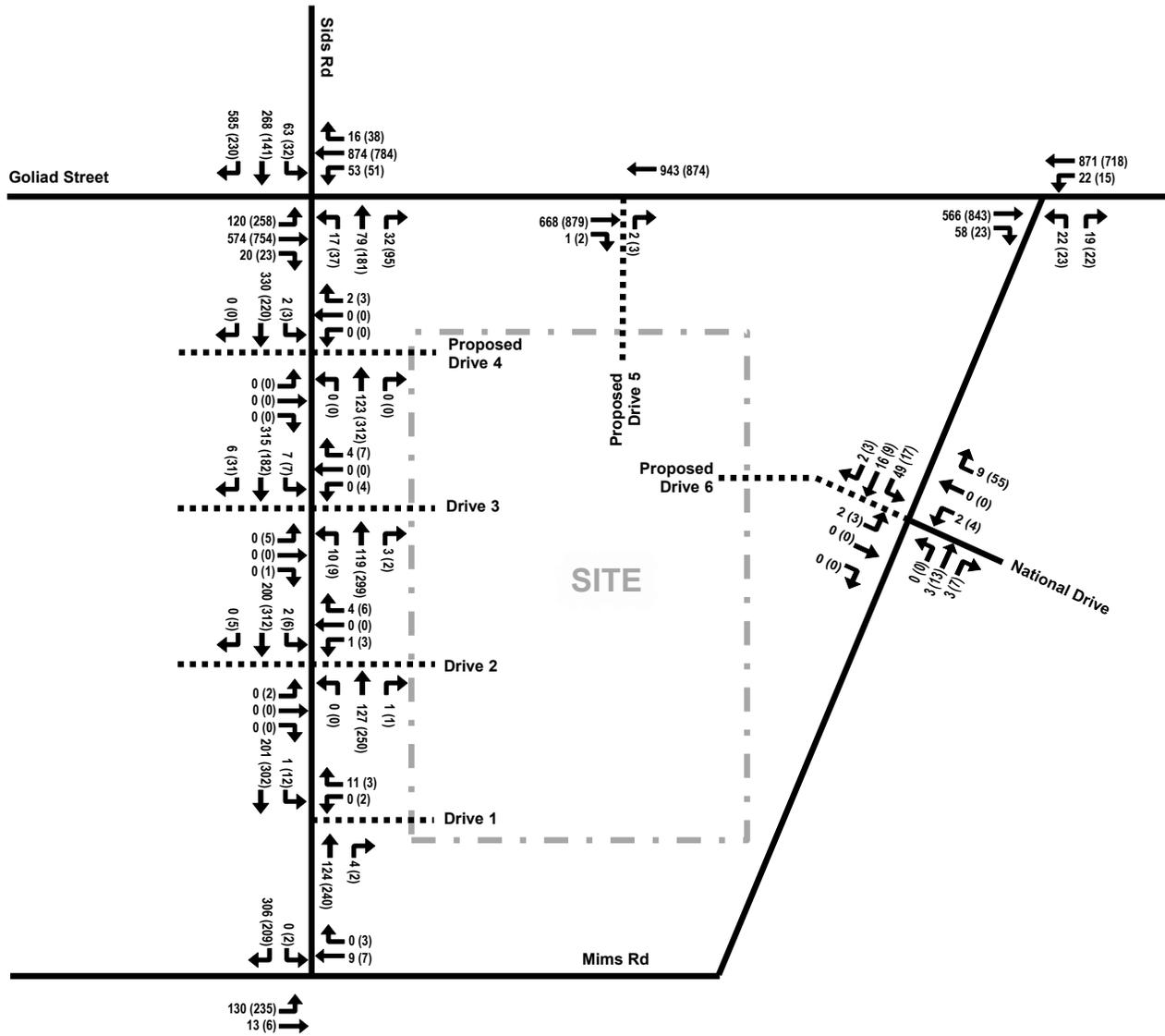


EXHIBIT 8

2024 Background Plus Site-Generated Traffic Volumes
 Lineman Building - Rockwall, Texas



LEGEND:
 X (Y)
 X = Weekday AM Peak Hour Turning Movements
 Y = Weekday PM Peak Hour Turning Movements
 Volumes may not sum from point to point due to rounding
 and presence of smaller driveways not included in analysis.



Not To Scale

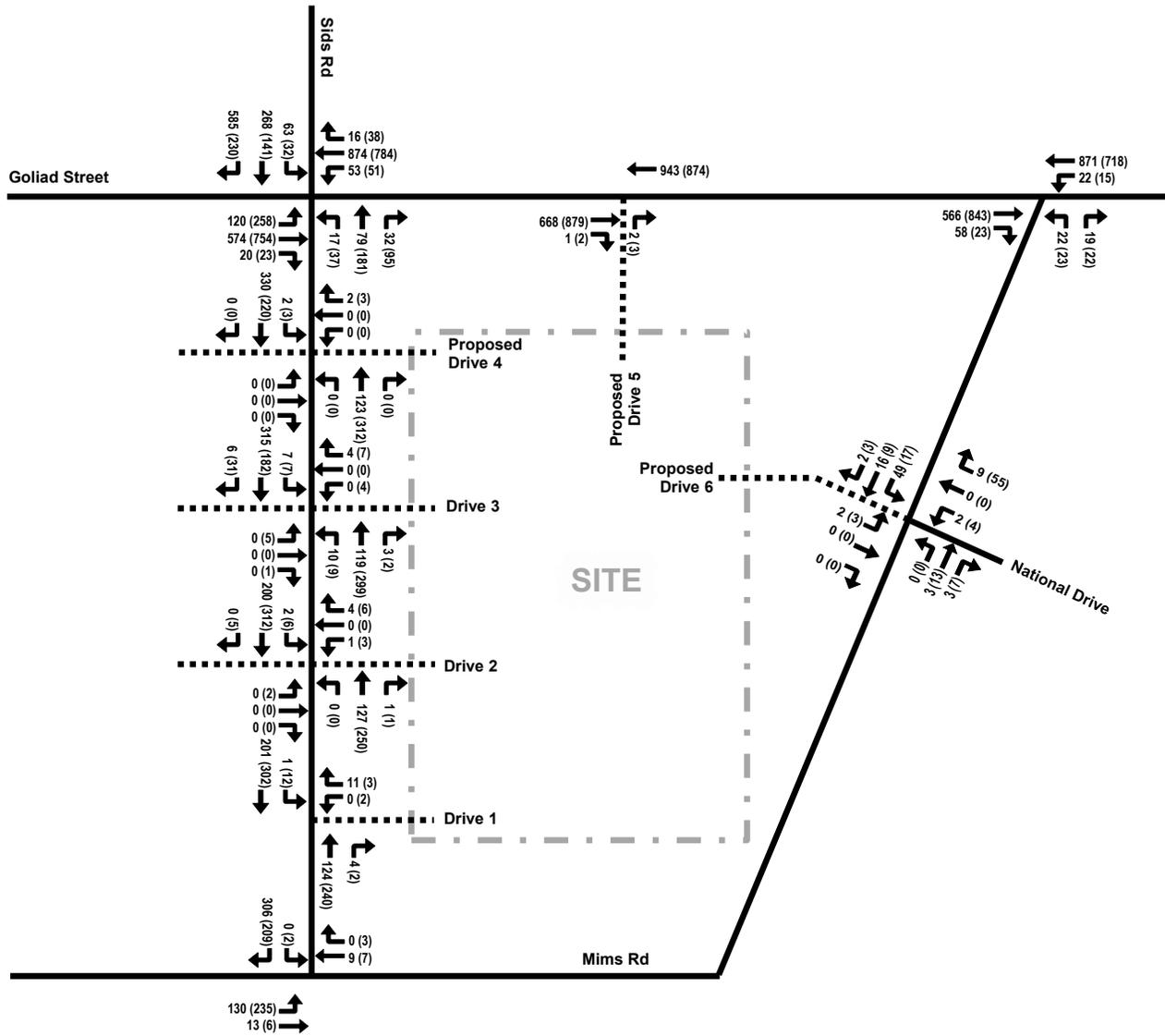


EXHIBIT 8
 2024 Background Plus Site-Generated Traffic Volumes
 Lineman Building - Rockwall, Texas



LEGEND:
 X (Y)
 X = Weekday AM Peak Hour Turning Movements
 Y = Weekday PM Peak Hour Turning Movements
 Volumes may not sum from point to point due to rounding and presence of smaller driveways not included in analysis.



Not To Scale

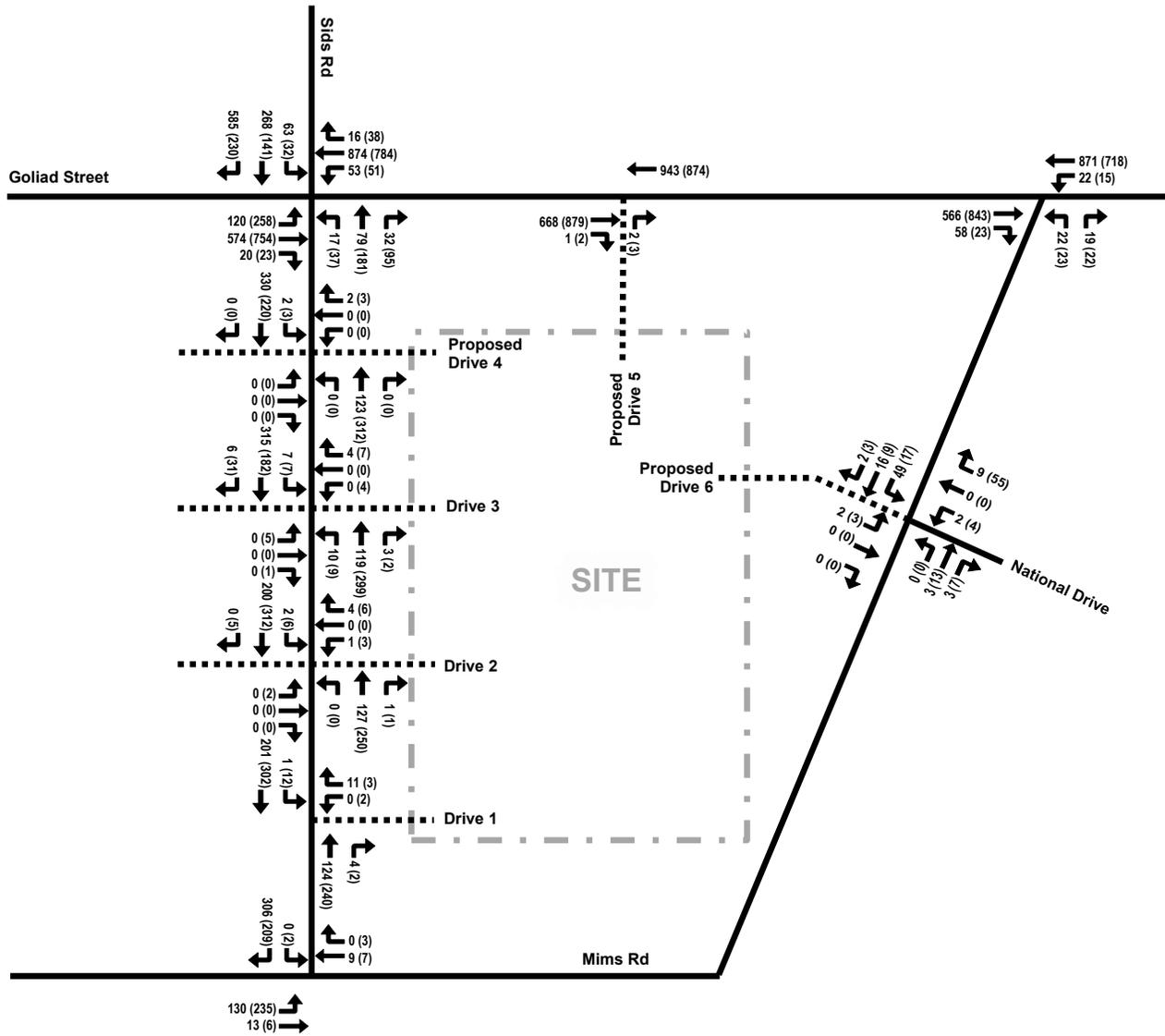


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2024 Background Plus Site-Generated Traffic Volumes
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LEGEND:
 X (Y)
 X = Weekday AM Peak Hour Turning Movements
 Y = Weekday PM Peak Hour Turning Movements
 Volumes may not sum from point to point due to rounding
 and presence of smaller driveways not included in analysis.



Not To Scale

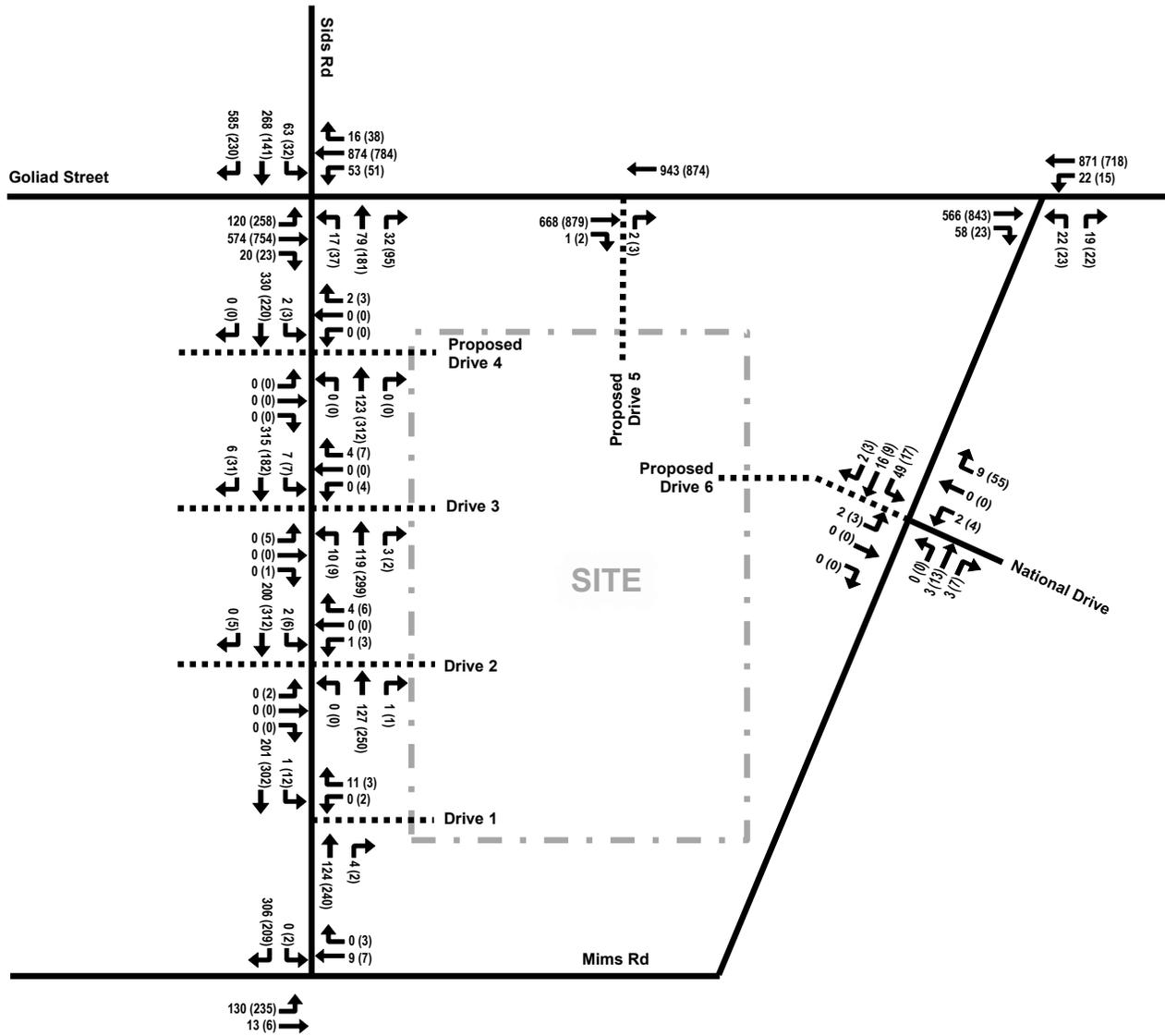


EXHIBIT 8

2024 Background Plus Site-Generated Traffic Volumes
 Lineman Building - Rockwall, Texas



LEGEND:
 X (Y)
 X = Weekday AM Peak Hour Turning Movements
 Y = Weekday PM Peak Hour Turning Movements
 Volumes may not sum from point to point due to rounding
 and presence of smaller driveways not included in analysis.



Not To Scale

IV. TRAFFIC OPERATIONS ANALYSIS

Kimley-Horn conducted a traffic operations analysis to determine potential capacity deficiencies in the 2022 & 2024 study years at the study intersections. The acknowledged source for determining overall capacity is the current edition of the *Highway Capacity Manual*.

A. Analysis Methodology

Capacity analysis results are listed in terms of Level of Service (LOS). LOS is a qualitative term describing operating conditions a driver will experience while traveling on a particular street or highway during a specific time interval. It ranges from A (very little delay) to F (long delays and congestion). **Table 2** shows the definition of level of service for signalized and unsignalized intersections.

Table 2 – Level of Service Definitions

Level of Service	Signalized Intersection Average Total Delay (sec/veh)	Unsignalized Intersection Average Total Delay (sec/veh)
A	≤10	≤10
B	>10 and ≤20	>10 and ≤15
C	>20 and ≤35	>15 and ≤25
D	>35 and ≤55	>25 and ≤35
E	>55 and ≤80	>35 and ≤50
F	>80	>50

Definitions provided from the Highway Capacity Manual, Special Report 209, Transportation Research Board, 2010.

Study area intersections were analyzed based on average total delay analysis for signalized and unsignalized intersections. For the unsignalized analysis, the level of service (LOS) for a two-way stop-controlled intersection is defined for each movement. Unlike signalized intersections which define LOS for each approach and for the intersection as a whole, LOS for two-way stop-controlled intersections is not defined as a whole.

Signal timings for the signalized intersection were based on the observed signal timing in the field. No timing adjustments were made in future scenarios.

The analyses assumed the lane geometry and intersection control shown in **Exhibit 3**.

The peak hour factors (PHF) for the existing traffic is known from the counts collected at the study intersections and was assumed to remain the same through the analysis. PHF for the site-generated traffic is unknown, so at new driveways it was assumed to be 0.92.

B. Analysis Results

Table 3 show the intersection operational results for the weekday AM and PM peak hours, respectively.

Table 3 – Traffic Operational Results – Weekday AM & PM Peak Hour

INTERSECTION	APPROACH	2021 Existing Traffic		2023 Background Traffic		2023 Background plus Site Traffic		2021 Existing Traffic		2023 Background Traffic		2023 Background plus Site Traffic	
		AM PEAK HOUR		AM PEAK HOUR		AM PEAK HOUR		PM PEAK HOUR		PM PEAK HOUR		PM PEAK HOUR	
		DELAY (SEC/VEH)	LOS	DELAY (SEC/VEH)	LOS	DELAY (SEC/VEH)	LOS	DELAY (SEC/VEH)	LOS	DELAY (SEC/VEH)	LOS	DELAY (SEC/VEH)	LOS
Signalized Intersection													
Sids Road & Goliad Road	EB	24.6	C	24.7	C	24.7	C	34.4	C	34.4	C	36.1	D
	WB	34.0	C	34.2	C	34.1	C	32.2	C	32.2	C	31.8	C
	NB	21.8	C	23.3	C	23.2	C	24.9	C	24.9	C	25.2	C
	SB	17.9	B	20.9	C	23.2	C	12.7	B	12.7	B	13.0	B
	Overall	25.5	C	26.7	C	27.4	C	29.3	C	29.3	C	29.8	C
Unsignalized Intersection													
Mims Road & Sids Road	EBL	7.4	A	7.5	A	7.5	A	7.6	A	7.6	A	7.7	A
	SB	9.8	A	9.9	A	10.0	A	9.3	A	9.3	A	9.3	A
Goliad Road & Mims Road	EB	8.5	A	8.5	A	8.5	A	8.4	A	8.4	A	8.4	A
	NBL	7.3	A	7.3	A	7.3	A	7.3	A	7.3	A	7.3	A
Sids Road & Drive 1	WB	9.0	A	9.0	A	9.0	A	11.3	B	11.3	B	11.0	B
	SBL	-	-	-	-	7.5	A	7.8	A	7.8	A	7.8	A
Sids Road & Drive 2	EB	0.0	A	0.0	A	0.0	A	13.7	B	13.7	B	13.9	B
	WB	9.6	A	9.8	A	9.5	A	11.4	B	11.4	B	11.1	B
	NBL	-	-	-	-	-	-	-	-	-	-	-	-
	SBL	7.5	A	7.5	A	7.5	A	7.8	A	7.8	A	7.8	A
Sids Road & Drive 3	EB	-	-	-	-	-	-	12.8	B	12.8	B	13.1	B
	WB	8.9	A	8.9	A	9.0	A	12.0	B	12.0	B	11.4	B
	NBL	8.0	A	8.0	A	8.0	A	7.7	A	7.7	A	7.7	A
	SBL	7.5	A	7.5	A	7.5	A	7.9	A	7.9	A	7.9	A
Sids Road & Drive 4	WB	-	-	-	-	9.2	A	-	-	-	-	10.3	B
	SBL	-	-	-	-	7.6	A	-	-	-	-	8.0	A
Goliad Road & Drive 5	NBT	-	-	-	-	13.6	B	-	-	-	-	16.6	C
Mims Road & National Drive / Drive 6	EBL	-	-	-	-	-	-	-	-	-	-	-	-
	WBL	-	-	-	-	-	-	7.3	A	7.3	A	7.3	A
	NBT	8.6	A	8.6	A	8.6	A	8.7	A	8.7	A	8.7	A
	SBT	-	-	-	-	9.8	A	-	-	-	-	9.4	A

- No traffic movements in this analysis scenario

C. Traffic Operations

The results in **Table 3** show the intersection operational results for the weekday AM and PM peak hours. After the site-generated traffic is added to the roadway network, each approach operates at the same LOS and negligible increase in delay during both the AM and PM peak hours. The signalized intersection of Goliad Street and Sids Road performs at LOS C in the peak hours representing favorable operations; the analysis demonstrates that the site traffic can be incorporated into the roadway network with very limited disturbances to the existing traffic flow. The existing driveways remain operating with low delays and the proposed driveways are all expected to perform with low delays at LOS B or better. These results indicate favorable operations and that the development is provided the appropriate amount of access.

D. Link Volume Analysis

The volume to capacity ratio (V/C) of Sids Road and Goliad Street was calculated for the 2022 existing traffic and the 2024 background and background plus site traffic scenarios. The daily link capacity for each roadway is taken from the NTCOG model capacity volumes assuming the rural area type, Sids Road, as a secondary arterial, has a capacity of 875 vehicles per hour per lane (vphpl). Goliad Street, as a primary arterial, has a capacity of 925 vehicles per hour per lane (vphpl).

The link analyses displayed in **Table 4** shows that Sids Road currently operates with ample capacity of LOS A/B with current traffic volumes. After the traffic from the background growth and the project site are added to the network, the roadway continues to operate at a LOS A/B through the build-out of the site in 2024. Goliad Street currently operates with acceptable capacity of LOS D in a two-lane configuration with current traffic volumes. After the traffic from the background growth and the project site are added to the network, the roadway continues to operate at a LOS D through the build-out of the site in 2024.

The site as proposed does not have a significant negative impact on the link capacities of the study roadways.

Table 4 – Link Operational Results

Analysis Year	Roadway	Segment	Number of Lanes	Capacity	Background Volume	V/C	LOS	Back+Site Volume	V/C	LOS
2022	Sids Road	Mims Road to Goliad Street	2	17,500	11,423	0.65	D	-	-	-
	Goliad Street	Sids Road to Mims Road	2	17,500	2,339	0.13	A/B	-	-	-
2024	Sids Road	Mims Road to Goliad Street	2	17,500	12,166	0.70	D	12,500	0.71	D
	Goliad Street	Sids Road to Mims Road	2	17,500	2,491	0.14	A/B	2,571	0.15	A/B

E. Right-Turn Lane Analysis

Where justified, the addition of right-turn deceleration lanes can help inbound turning vehicles separate from the through traffic, avoiding conflicts and smoothing traffic flow. The TxDOT *Access Management Manual* sets forth criteria for auxiliary lanes on TxDOT roadways. Per Table 2.3 (Auxiliary Lane Thresholds), a right-turn deceleration lane should be considered on roads with a posted speed less than or equal to 45 MPH if the projected right-turn volume into a driveway is greater than 60 vehicles per hour. **Table 5** shows the driveway locations with right-turn driveway access to the site, and how they compare with the TxDOT threshold. The high inbound volume occurs in the PM peak hour for every driveway in this analysis.

In consideration to these recommendations and TxDOT criterion, a right-turn lane is not recommended at any of the site driveways.

Table 5 – Right-Turn Lane Analysis

Right-Turn Location	Projected Maximum Peak Hour Right-Turn Volume	TxDOT Threshold (Access Management Manual, Table 2-3)	Right-Turn Lane Recommended?
Drive 1 from Sids Road	4 vph	60 vph	No
Drive 2 from Sids Road	1 vph	60 vph	No
Drive 3 from Sids Road	3 vph	60 vph	No
Drive 4 from Sids Road	0 vph	60 vph	No
Drive 5 from Goliad Street	2 vph	50 vph	No
Drive 6 from Mims Road	3 vph	60 vph	No

V.CONCLUSIONS AND RECOMMENDATIONS

Based on the analysis presented in this report, the proposed Rayburn Electric Cooperative Campus Expansion development can be successfully incorporated into the surrounding roadway network. The proposed site driveways provide the appropriate level of access for the development. The site-generated traffic does not have a significant or disproportionate effect on the existing vehicle traffic operations.

The following recommendations should be included in the development of the site:

1. Construct Drive 4 to Goliad Street as a right-in/right-out driveway due to not meeting TxDOT driveway access spacing.

TRAFFIC COUNTS AND HISTORICAL DATA

Lineman Building - Rockwall, Texas
 Historical Link Volumes and Growth Rates

Goliad Street						
Record	Year	Link Start	Link End	Source	24-Hour Volume	Annual Growth Rate
1	2011	Lochsring Drive	SH 276	TxDOT	20,696	-
2	2013	Lochsring Drive	SH 276	TxDOT	23,328	6.2%
3	2014	Lochsring Drive	SH 276	TxDOT	21,981	-5.8%
4	2015	Lochsring Drive	SH 276	TxDOT	23,046	4.8%
5	2016	Lochsring Drive	SH 276	TxDOT	24,309	5.5%
6	2017	Lochsring Drive	SH 276	TxDOT	26,274	8.1%
7	2018	Lochsring Drive	SH 276	TxDOT	26,568	1.1%
8	2019	Lochsring Drive	SH 276	TxDOT	26,846	1.0%
9	2020	Lochsring Drive	SH 276	TxDOT	26,590	-1.0%
10	2021	Lochsring Drive	SH 276	TxDOT	27,992	5.3%
Average Growth 2011 - 2021:						3.0%

Mims Road						
Record	Year	Link Start	Link End	Source	24-Hour Volume	Annual Growth Rate
1	2009	Goliad Street	Sids Road	TxDOT	1,143	-
2	2014	Goliad Street	Sids Road	TxDOT	1,353	3.4%
Average Growth 2009 - 2014:						3.4%
Average Annual Growth:						3.2%

National Data & Surveying Services Intersection Turning Movement Count

Location: Rayburn County Electric Middle Dwy & Sids Rd
City: Rockwall
Control: No Control

Project ID: 22-470030-006
Date: 9/20/2022

Data - Totals

NS/EW Streets:	Rayburn County Electric Middle Dwy				Rayburn County Electric Middle Dwy				Sids Rd				Sids Rd								
AM	NORTHBOUND				SOUTHBOUND				EASTBOUND				WESTBOUND								
	0	1	0	0	0	0	0	0	0	1	0	0	0	1	0	0	0	1	0	0	TOTAL
	NL	NT	NR	NU	SL	ST	SR	SU	EL	ET	ER	EU	WL	WT	WR	WU					
6:30 AM	0	0	0	0	0	0	0	0	0	20	0	0	1	19	0	0					40
6:45 AM	0	0	0	0	0	0	0	0	0	12	0	0	2	17	0	0					31
7:00 AM	0	0	0	0	0	0	0	0	0	14	0	0	1	27	0	0					42
7:15 AM	0	0	1	0	0	0	0	0	0	23	0	0	0	42	0	0					66
7:30 AM	0	0	0	0	0	0	0	0	0	32	0	0	1	47	0	0					80
7:45 AM	1	0	1	0	0	0	0	0	0	38	0	0	1	74	1	0					116
8:00 AM	0	0	1	0	0	0	0	0	0	23	0	0	2	93	2	0					121
8:15 AM	0	0	0	0	0	0	0	0	0	25	0	0	0	77	2	0					104
TOTAL VOLUMES :	NL	NT	NR	NU	SL	ST	SR	SU	EL	ET	ER	EU	WL	WT	WR	WU					TOTAL
APPROACH %'s :	25.00%	0.00%	75.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	100.00%	0.00%	0.00%	1.96%	96.82%	1.22%	0.00%					
PEAK HR :	07:30 AM - 08:30 AM																				TOTAL
PEAK HR VOL :	1	0	2	0	0	0	0	0	0	118	0	0	4	291	5	0					421
PEAK HR FACTOR :	0.250	0.000	0.500	0.000	0.000	0.000	0.000	0.000	0.000	0.776	0.000	0.000	0.500	0.782	0.625	0.000					0.870
			0.375							0.776				0.773							
PM	NORTHBOUND				SOUTHBOUND				EASTBOUND				WESTBOUND								
	0	1	0	0	0	0	0	0	0	1	0	0	0	1	0	0	0	1	0	0	TOTAL
	NL	NT	NR	NU	SL	ST	SR	SU	EL	ET	ER	EU	WL	WT	WR	WU					
4:30 PM	0	0	0	0	0	0	0	0	0	62	0	0	0	31	0	0					93
4:45 PM	0	0	2	0	1	0	0	0	0	55	0	0	0	51	0	0					109
5:00 PM	1	0	0	0	1	0	0	0	0	59	0	0	0	51	0	0					112
5:15 PM	2	0	0	0	0	0	0	0	0	59	0	0	1	42	0	0					104
5:30 PM	0	0	2	0	0	0	0	0	0	60	0	0	0	43	0	0					105
5:45 PM	0	0	0	0	1	0	0	0	0	46	0	0	0	37	0	0					84
6:00 PM	0	0	0	0	0	0	0	0	0	50	0	0	0	31	0	0					81
6:15 PM	0	0	1	0	0	0	0	0	0	43	0	0	0	37	0	0					81
TOTAL VOLUMES :	NL	NT	NR	NU	SL	ST	SR	SU	EL	ET	ER	EU	WL	WT	WR	WU					TOTAL
APPROACH %'s :	37.50%	0.00%	62.50%	0.00%	100.00%	0.00%	0.00%	0.00%	0.00%	100.00%	0.00%	0.00%	0.31%	99.69%	0.00%	0.00%					
PEAK HR :	04:45 PM - 05:45 PM																				TOTAL
PEAK HR VOL :	3	0	4	0	2	0	0	0	0	233	0	0	1	187	0	0					430
PEAK HR FACTOR :	0.375	0.000	0.500	0.000	0.500	0.000	0.000	0.000	0.000	0.971	0.000	0.000	0.250	0.917	0.000	0.000					0.960
			0.875			0.500				0.971				0.922							

National Data & Surveying Services Intersection Turning Movement Count

Location: Rayburn County Electric West Dwy & Sids Rd
City: Rockwall
Control: No Control

Project ID: 22-470030-005
Date: 9/20/2022

Data - Totals

NS/EW Streets:	Rayburn County Electric West Dwy				Rayburn County Electric West Dwy				Sids Rd				Sids Rd				
AM	NORTHBOUND				SOUTHBOUND				EASTBOUND				WESTBOUND				
	NL	NT	NR	NU	SL	ST	SR	SU	EL	ET	ER	EU	WL	WT	WR	WU	TOTAL
6:30 AM	0	1	0	0	0	0	0	0	0	1	0	0	0	1	0	0	39
6:45 AM	0	0	0	0	0	0	0	0	0	12	0	0	0	17	0	0	29
7:00 AM	0	0	0	0	0	0	0	0	0	15	0	0	1	26	0	0	42
7:15 AM	0	0	0	0	0	0	0	0	0	23	4	0	2	39	0	0	68
7:30 AM	0	0	1	0	0	0	0	0	0	30	0	0	2	46	0	0	79
7:45 AM	0	0	1	0	0	0	0	0	0	37	1	0	2	72	0	0	113
8:00 AM	0	0	0	0	0	0	0	0	0	23	2	0	5	89	0	0	119
8:15 AM	0	0	0	0	0	0	0	0	0	25	0	0	0	76	0	0	101
TOTAL VOLUMES:	NL	NT	NR	NU	SL	ST	SR	SU	EL	ET	ER	EU	WL	WT	WR	WU	TOTAL
APPROACH %'s:	0.00%	0.00%	100.00%	0.00%	0	0	0	0	0.00%	96.35%	3.65%	0.00%	3.54%	96.46%	0.00%	0.00%	590
PEAK HR:	07:30 AM - 08:30 AM																TOTAL
PEAK HR VOL:	0	0	2	0	0	0	0	0	0	115	3	0	9	283	0	0	412
PEAK HR FACTOR:	0.000	0.000	0.500	0.000	0.000	0.000	0.000	0.000	0.000	0.777	0.375	0.000	0.450	0.795	0.000	0.000	0.866
	0.500								0.776				0.777				
PM	NORTHBOUND				SOUTHBOUND				EASTBOUND				WESTBOUND				
	NL	NT	NR	NU	SL	ST	SR	SU	EL	ET	ER	EU	WL	WT	WR	WU	TOTAL
4:30 PM	0	1	0	0	0	0	0	0	0	58	0	0	0	31	0	0	90
4:45 PM	0	0	0	0	0	0	0	0	0	54	0	0	0	50	0	0	104
5:00 PM	4	0	3	0	0	0	0	0	0	56	0	0	0	52	0	0	115
5:15 PM	0	0	3	0	0	0	0	0	0	56	0	0	0	44	0	0	103
5:30 PM	1	0	3	0	0	0	0	0	0	57	0	0	0	43	0	0	104
5:45 PM	0	0	0	0	0	0	0	0	0	46	0	0	0	37	0	0	83
6:00 PM	0	0	0	0	0	0	0	0	0	50	0	0	0	31	0	0	81
6:15 PM	0	0	0	0	0	0	0	0	0	44	0	0	0	38	0	0	82
TOTAL VOLUMES:	NL	NT	NR	NU	SL	ST	SR	SU	EL	ET	ER	EU	WL	WT	WR	WU	TOTAL
APPROACH %'s:	33.33%	0.00%	66.67%	0.00%	0	0	0	0	0.00%	100.00%	0.00%	0.00%	0.00%	100.00%	0.00%	0.00%	762
PEAK HR:	04:45 PM - 05:45 PM																TOTAL
PEAK HR VOL:	5	0	9	0	0	0	0	0	0	223	0	0	0	189	0	0	426
PEAK HR FACTOR:	0.313	0.000	0.750	0.000	0.000	0.000	0.000	0.000	0.000	0.978	0.000	0.000	0.000	0.909	0.000	0.000	0.926
	0.500								0.978				0.909				

National Data & Surveying Services Intersection Turning Movement Count

Location: SR 205/S Goliad St & Mims Rd
City: Rockwall
Control: 1-Way Stop(EB)

Project ID: 22-470030-004
Date: 9/20/2022

Data - Totals

NS/EW Streets:	SR 205/S Goliad St				SR 205/S Goliad St				Mims Rd				Mims Rd							
AM	NORTHBOUND				SOUTHBOUND				EASTBOUND				WESTBOUND							
	0	1	0	0	0	1	1	0	0	1	0	0	0	0	0	0	0	0	0	0
	NL	NT	NR	NU	SL	ST	SR	SU	EL	ET	ER	EU	WL	WT	WR	WU	TOTAL			
6:30 AM	2	193	0	0	0	90	9	0	8	0	0	0	0	0	0	0	302			
6:45 AM	7	202	0	0	0	72	15	0	1	0	0	0	0	0	0	0	297			
7:00 AM	5	216	0	0	0	94	10	0	6	0	0	0	0	0	0	0	331			
7:15 AM	2	195	0	0	0	119	16	0	4	0	3	0	0	0	0	0	339			
7:30 AM	10	201	0	0	0	121	10	0	8	0	3	0	0	0	0	0	353			
7:45 AM	1	210	0	1	0	161	15	0	5	0	6	0	0	0	0	0	399			
8:00 AM	6	210	0	0	0	128	13	0	4	0	4	0	0	0	0	0	365			
8:15 AM	5	171	0	0	0	137	10	0	8	0	5	0	0	0	0	0	336			
TOTAL VOLUMES :	NL	NT	NR	NU	SL	ST	SR	SU	EL	ET	ER	EU	WL	WT	WR	WU	TOTAL			
APPROACH %'s :	2.32%	97.62%	0.00%	0.06%	0.00%	90.39%	9.61%	0.00%	67.69%	0.00%	32.31%	0.00%	0	0	0	0	2722			
PEAK HR :	07:15 AM - 08:15 AM																TOTAL			
PEAK HR VOL :	19	816	0	1	0	529	54	0	21	0	16	0	0	0	0	0	1456			
PEAK HR FACTOR :	0.475	0.971	0.000	0.250	0.000	0.821	0.844	0.000	0.656	0.000	0.667	0.000	0.000	0.000	0.000	0.000	0.912			
	0.968				0.828				0.841											
PM	NORTHBOUND				SOUTHBOUND				EASTBOUND				WESTBOUND							
	0	1	0	0	0	1	1	0	0	1	0	0	0	0	0	0	0	0	0	0
	NL	NT	NR	NU	SL	ST	SR	SU	EL	ET	ER	EU	WL	WT	WR	WU	TOTAL			
4:30 PM	3	159	0	0	0	194	10	0	7	0	5	0	0	0	0	0	378			
4:45 PM	2	154	0	0	0	198	2	0	10	0	7	0	0	0	0	0	373			
5:00 PM	2	186	0	0	0	177	5	0	22	0	4	0	0	0	0	0	396			
5:15 PM	2	188	0	0	0	165	3	0	7	0	4	0	0	0	0	0	369			
5:30 PM	4	155	0	0	0	202	6	0	5	0	10	0	0	0	0	0	382			
5:45 PM	2	152	0	0	0	210	9	0	5	0	1	0	0	0	0	0	379			
6:00 PM	3	176	0	0	0	211	4	0	5	0	3	0	0	0	0	0	402			
6:15 PM	1	144	0	0	0	202	4	0	2	0	0	0	0	0	0	0	353			
TOTAL VOLUMES :	NL	NT	NR	NU	SL	ST	SR	SU	EL	ET	ER	EU	WL	WT	WR	WU	TOTAL			
APPROACH %'s :	1.43%	98.57%	0.00%	0.00%	0.00%	97.32%	2.68%	0.00%	64.95%	0.00%	35.05%	0.00%	0	0	0	0	3032			
PEAK HR :	05:15 PM - 06:15 PM																TOTAL			
PEAK HR VOL :	11	671	0	0	0	788	22	0	22	0	18	0	0	0	0	0	1532			
PEAK HR FACTOR :	0.688	0.892	0.000	0.000	0.000	0.934	0.611	0.000	0.786	0.000	0.450	0.000	0.000	0.000	0.000	0.000	0.953			
	0.897				0.925				0.667											

National Data & Surveying Services Intersection Turning Movement Count

Location: National Dr & Mims Rd
 City: Rockwall
 Control: 1-Way Stop(NB)

Project ID: 22-470030-003
 Date: 9/27/2022

Data - Totals

NS/EW Streets:	National Dr				National Dr				Mims Rd				Mims Rd					
AM	NORTHBOUND				SOUTHBOUND				EASTBOUND				WESTBOUND				TOTAL	
	NL	NT	NR	NU	SL	ST	SR	SU	EL	ET	ER	EU	WL	WT	WR	WU		
6:30 AM	0	1	0	0	0	0	0	0	0	1	0	0	0	1	0	0	0	16
6:45 AM	0	0	3	0	0	0	0	0	0	0	0	0	11	0	0	0	0	14
7:00 AM	1	0	5	0	0	0	0	0	0	0	1	0	5	0	0	0	0	12
7:15 AM	0	0	4	0	0	0	0	0	0	0	1	0	2	0	0	0	0	7
7:30 AM	1	0	0	0	0	0	0	0	0	0	0	0	3	0	0	0	0	4
7:45 AM	1	0	2	0	0	0	0	0	0	0	1	0	5	2	0	0	0	11
8:00 AM	0	0	2	0	0	0	0	0	0	0	2	0	5	8	0	0	0	17
8:15 AM	0	0	4	0	0	0	0	0	0	3	0	0	7	5	0	1	0	20
TOTAL VOLUMES :	NL	NT	NR	NU	SL	ST	SR	SU	EL	ET	ER	EU	WL	WT	WR	WU	TOTAL	
APPROACH %'s :	10.71%	0.00%	89.29%	0.00%	0	0	0	0	0.00%	27.27%	72.73%	0.00%	74.19%	24.19%	0.00%	1.61%	101	
PEAK HR :	07:30 AM - 08:30 AM																TOTAL	
PEAK HR VOL :	2	0	8	0	0	0	0	0	0	3	3	0	20	15	0	1	52	
PEAK HR FACTOR :	0.500	0.000	0.500	0.000	0.000	0.000	0.000	0.000	0.000	0.250	0.375	0.000	0.714	0.469	0.000	0.250	0.650	
	0.625								0.500				0.692					
PM	NORTHBOUND				SOUTHBOUND				EASTBOUND				WESTBOUND				TOTAL	
	NL	NT	NR	NU	SL	ST	SR	SU	EL	ET	ER	EU	WL	WT	WR	WU		
4:30 PM	1	0	10	0	0	0	0	0	0	5	3	0	3	3	0	0	0	25
4:45 PM	0	0	7	0	0	0	0	0	0	4	2	0	3	2	0	0	0	18
5:00 PM	1	0	14	0	0	0	0	0	0	1	2	0	5	2	0	0	0	25
5:15 PM	1	0	8	0	0	0	0	0	0	2	0	0	5	1	0	0	0	17
5:30 PM	0	0	3	0	0	0	0	0	0	5	2	0	6	2	0	0	0	18
5:45 PM	0	0	2	0	0	0	0	0	0	3	1	0	7	0	0	0	0	13
6:00 PM	1	0	7	0	0	0	0	0	0	0	0	0	0	2	0	0	0	10
6:15 PM	0	0	1	0	0	0	0	0	0	0	1	0	1	1	0	0	0	4
TOTAL VOLUMES :	NL	NT	NR	NU	SL	ST	SR	SU	EL	ET	ER	EU	WL	WT	WR	WU	TOTAL	
APPROACH %'s :	7.14%	0.00%	92.86%	0.00%	0	0	0	0	0.00%	64.52%	35.48%	0.00%	69.77%	30.23%	0.00%	0.00%	130	
PEAK HR :	04:30 PM - 05:30 PM																TOTAL	
PEAK HR VOL :	3	0	39	0	0	0	0	0	0	12	7	0	16	8	0	0	85	
PEAK HR FACTOR :	0.750	0.000	0.696	0.000	0.000	0.000	0.000	0.000	0.000	0.600	0.583	0.000	0.800	0.667	0.000	0.000	0.850	
	0.700								0.594				0.857					

National Data & Surveying Services Intersection Turning Movement Count

Location: Mims Rd & Sids Rd
 City: Rockwall
 Control: 1-Way Yield(WB)

Project ID: 22-470030-002
 Date: 9/20/2022

Data - Totals

NS/EW Streets:	Mims Rd				Mims Rd				Sids Rd				Sids Rd								
AM	NORTHBOUND				SOUTHBOUND				EASTBOUND				WESTBOUND								
	0	1	0	0	0	1	0	0	0	0	0	0	0	1	0	0	0	0	0	0	TOTAL
	NL	NT	NR	NU	SL	ST	SR	SU	EL	ET	ER	EU	WL	WT	WR	WU					
6:30 AM	0	0	0	0	21	1	0	0	0	0	0	0	0	0	19	0					41
6:45 AM	0	0	0	0	13	0	0	0	0	0	0	0	0	0	16	0					29
7:00 AM	0	0	0	0	15	3	0	0	0	0	0	0	0	0	26	0					44
7:15 AM	0	1	1	0	25	1	0	0	0	0	0	0	0	0	39	0					67
7:30 AM	0	2	0	0	30	3	0	0	0	0	0	0	0	0	46	0					81
7:45 AM	0	0	0	0	38	2	0	0	0	0	0	0	0	0	72	0					112
8:00 AM	0	3	0	0	25	3	0	0	0	0	0	0	0	0	89	0					120
8:15 AM	0	2	0	0	27	4	0	0	0	0	0	0	0	0	77	0					110
TOTAL VOLUMES :	NL	NT	NR	NU	SL	ST	SR	SU	EL	ET	ER	EU	WL	WT	WR	WU					TOTAL
APPROACH %'s :	0.00%	88.89%	11.11%	0.00%	91.94%	8.06%	0.00%	0.00%	0	0	0	0	0.00%	0.00%	100.00%	0.00%					604
PEAK HR :	07:30 AM - 08:30 AM																				TOTAL
PEAK HR VOL :	0	7	0	0	120	12	0	0	0	0	0	0	0	0	284	0					423
PEAK HR FACTOR :	0.000	0.583	0.000	0.000	0.789	0.750	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.000	0.798	0.000					0.881
			0.583			0.825									0.798						
PM	NORTHBOUND				SOUTHBOUND				EASTBOUND				WESTBOUND								
	0	1	0	0	0	1	0	0	0	0	0	0	0	1	0	0	0	0	0	0	TOTAL
	NL	NT	NR	NU	SL	ST	SR	SU	EL	ET	ER	EU	WL	WT	WR	WU					
4:30 PM	0	0	0	0	59	3	0	0	0	0	0	0	0	0	31	0					93
4:45 PM	0	1	1	0	51	4	0	0	0	0	0	0	0	0	49	0					106
5:00 PM	0	2	1	0	55	0	0	0	0	0	0	0	2	0	55	0					115
5:15 PM	0	2	1	0	53	1	0	0	0	0	0	0	0	0	43	0					100
5:30 PM	0	3	0	0	58	1	0	0	0	0	0	0	0	0	45	0					107
5:45 PM	0	0	0	0	47	1	0	0	0	0	0	0	0	0	37	1					86
6:00 PM	0	0	1	0	46	1	0	0	0	0	0	0	0	0	31	0					79
6:15 PM	0	3	0	0	46	1	0	0	0	0	0	0	0	0	37	0					87
TOTAL VOLUMES :	NL	NT	NR	NU	SL	ST	SR	SU	EL	ET	ER	EU	WL	WT	WR	WU					TOTAL
APPROACH %'s :	0.00%	73.33%	26.67%	0.00%	97.19%	2.81%	0.00%	0.00%	0	0	0	0	0.60%	0.00%	99.09%	0.30%					773
PEAK HR :	04:45 PM - 05:45 PM																				TOTAL
PEAK HR VOL :	0	8	3	0	217	6	0	0	0	0	0	0	2	0	192	0					428
PEAK HR FACTOR :	0.000	0.667	0.750	0.000	0.935	0.375	0.000	0.000	0.000	0.000	0.000	0.000	0.250	0.000	0.873	0.000					0.930
			0.917			0.945									0.851						

National Data & Surveying Services Intersection Turning Movement Count

Location: Rayburn County Electric East Dwy & Sids Rd
City: Rockwall
Control: No Control

Project ID: 22-470030-007
Date: 9/20/2022

Data - Totals

NS/EW Streets:	Rayburn County Electric East Dwy				Rayburn County Electric East Dwy				Sids Rd				Sids Rd				
AM	NORTHBOUND				SOUTHBOUND				EASTBOUND				WESTBOUND				
	NL	NT	NR	NU	SL	ST	SR	SU	EL	ET	ER	EU	WL	WT	WR	WU	TOTAL
6:30 AM	0	1	0	0	0	1	0	0	0	1	0	0	0	1	0	0	48
6:45 AM	0	0	0	0	0	0	0	0	2	29	0	0	1	15	1	0	36
7:00 AM	0	0	0	0	0	0	0	0	0	20	0	0	2	29	1	0	52
7:15 AM	0	0	2	0	0	0	0	0	0	24	0	0	0	41	1	0	68
7:30 AM	0	0	1	0	0	0	0	0	0	32	0	0	1	46	3	0	83
7:45 AM	0	0	0	0	0	0	0	0	0	37	2	0	3	74	2	0	118
8:00 AM	0	0	0	0	0	0	0	0	1	23	0	0	1	96	0	0	121
8:15 AM	0	0	0	0	0	0	0	0	8	18	0	0	0	78	1	0	105
TOTAL VOLUMES :	NL	NT	NR	NU	SL	ST	SR	SU	EL	ET	ER	EU	WL	WT	WR	WU	TOTAL
APPROACH %'s :	0.00%	0.00%	100.00%	0.00%	0	0	0	0	5.16%	93.43%	1.41%	0.00%	2.17%	95.66%	2.17%	0.00%	631
PEAK HR :	07:30 AM - 08:30 AM																TOTAL
PEAK HR VOL :	0	0	1	0	0	0	0	0	9	110	2	0	5	294	6	0	427
PEAK HR FACTOR :	0.000	0.000	0.250	0.000	0.000	0.000	0.000	0.000	0.281	0.743	0.250	0.000	0.417	0.766	0.500	0.000	0.882
	0.250								0.776				0.786				
PM	NORTHBOUND				SOUTHBOUND				EASTBOUND				WESTBOUND				
	NL	NT	NR	NU	SL	ST	SR	SU	EL	ET	ER	EU	WL	WT	WR	WU	TOTAL
4:30 PM	0	1	0	0	0	0	0	0	7	60	0	0	0	30	6	0	104
4:45 PM	3	0	0	0	0	0	0	0	3	69	0	0	2	45	14	0	136
5:00 PM	0	0	2	0	0	0	0	0	4	77	0	0	0	42	10	0	135
5:15 PM	0	0	0	0	4	0	0	0	0	70	0	0	1	38	4	0	117
5:30 PM	1	0	1	0	1	1	0	0	1	62	1	0	0	42	1	0	111
5:45 PM	0	0	1	0	0	0	0	0	0	50	0	0	0	37	2	0	90
6:00 PM	1	0	1	0	2	0	0	0	0	52	0	0	0	30	4	0	90
6:15 PM	0	0	0	0	0	0	0	0	0	46	0	0	0	36	1	0	83
TOTAL VOLUMES :	NL	NT	NR	NU	SL	ST	SR	SU	EL	ET	ER	EU	WL	WT	WR	WU	TOTAL
APPROACH %'s :	45.45%	0.00%	54.55%	0.00%	87.50%	12.50%	0.00%	0.00%	2.99%	96.81%	0.20%	0.00%	0.87%	86.96%	12.17%	0.00%	866
PEAK HR :	04:45 PM - 05:45 PM																TOTAL
PEAK HR VOL :	4	0	3	0	5	1	0	0	8	278	1	0	3	167	29	0	499
PEAK HR FACTOR :	0.333	0.000	0.375	0.000	0.313	0.250	0.000	0.000	0.500	0.903	0.250	0.000	0.375	0.928	0.518	0.000	0.917
	0.583				0.375				0.886				0.816				

National Data & Surveying Services Intersection Turning Movement Count

Location: SR 205/S Gollad St & SR 276/Sids Rd
City: Rockwall
Control: Signalized

Project ID: 22-470030-001
Date: 9/20/2022

Data - Totals

NS/EW Streets:	SR 205/S Gollad St																				SR 205/S Gollad St				SR 276/Sids Rd				SR 276/Sids Rd				TOTAL
	NORTHBOUND										SOUTHBOUND										EASTBOUND				WESTBOUND								
	1	2	1	0	1	2	1	0	1	2	1	0	1	2	1	0	1	2	1	0	1	2	1	0	1	2	1	0					
AM	NL	NT	NR	NU	SL	ST	SR	SU	EL	ET	ER	EU	WL	WT	WR	WU	TOTAL																
12:00 AM	0	13	1	0	4	14	1	0	0	1	1	0	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	38					
12:15 AM	0	6	1	0	7	17	0	1	0	0	1	0	0	0	1	0	0	0	0	0	0	0	0	0	0	0	35						
12:30 AM	0	4	2	0	3	18	0	0	1	1	0	0	0	1	5	0	0	0	0	0	0	0	0	0	0	0	35						
12:45 AM	0	4	0	0	0	7	0	0	0	0	0	0	0	0	2	0	0	0	0	0	0	0	0	0	0	0	13						
1:00 AM	0	5	0	0	2	6	0	0	0	0	0	0	1	0	1	0	0	0	0	0	0	0	0	0	0	0	15						
1:15 AM	0	8	0	0	4	6	0	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	21						
1:30 AM	0	6	0	0	0	5	1	0	0	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	15						
1:45 AM	0	3	0	0	1	8	1	0	0	0	1	0	0	1	1	3	0	0	0	0	0	0	0	0	0	0	19						
2:00 AM	0	7	0	0	1	2	1	0	0	0	1	0	0	0	0	2	0	0	0	0	0	0	0	0	0	0	14						
2:15 AM	0	7	0	0	0	5	0	0	0	0	0	0	0	0	1	0	0	0	0	0	0	0	0	0	0	0	15						
2:30 AM	0	15	0	0	3	6	5	0	0	3	0	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0	16						
2:45 AM	0	9	0	0	1	4	0	0	0	0	0	0	0	0	0	1	0	0	0	0	0	0	0	0	0	0	13						
3:00 AM	0	4	0	0	0	5	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	9						
3:15 AM	0	6	0	0	0	2	0	0	0	0	0	0	0	0	1	2	0	0	0	0	0	0	0	0	0	0	11						
3:30 AM	1	7	0	0	2	3	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	13						
3:45 AM	0	12	0	0	0	2	0	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	17						
4:00 AM	0	20	0	0	1	9	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	34						
4:15 AM	0	24	0	0	0	4	1	0	0	0	0	0	0	1	1	6	0	0	0	0	0	0	0	0	0	0	37						
4:30 AM	0	21	0	0	1	16	1	0	0	0	0	0	0	0	0	8	0	0	0	0	0	0	0	0	0	0	47						
4:45 AM	1	42	0	0	3	12	1	0	0	1	1	0	0	1	13	0	0	0	0	0	0	0	0	0	0	0	78						
5:00 AM	3	54	1	0	3	11	4	0	0	1	1	0	0	1	2	7	0	0	0	0	0	0	0	0	0	0	89						
5:15 AM	2	68	0	0	2	26	2	0	0	1	2	0	0	2	5	21	0	0	0	0	0	0	0	0	0	0	131						
5:30 AM	3	94	1	0	5	28	2	0	0	1	3	2	0	1	3	15	0	0	0	0	0	0	0	0	0	0	158						
5:45 AM	2	111	0	0	3	36	14	0	0	1	1	1	0	3	13	24	0	0	0	0	0	0	0	0	0	0	209						
6:00 AM	3	145	1	0	5	29	5	0	0	4	5	5	0	4	9	41	0	0	0	0	0	0	0	0	0	0	256						
6:15 AM	3	161	2	0	6	45	5	0	0	6	11	5	0	7	10	39	0	0	0	0	0	0	0	0	0	0	298						
6:30 AM	6	210	4	0	9	84	4	0	0	1	13	14	0	10	9	60	0	0	0	0	0	0	0	0	0	0	424						
6:45 AM	6	216	3	0	13	68	3	0	0	2	7	9	0	14	16	79	0	0	0	0	0	0	0	0	0	0	436						
7:00 AM	13	241	3	0	15	115	3	0	0	3	12	3	0	7	16	95	0	0	0	0	0	0	0	0	0	0	526						
7:15 AM	12	212	8	0	20	111	2	0	0	1	13	13	0	13	34	105	0	0	0	0	0	0	0	0	0	0	544						
7:30 AM	9	213	5	0	27	124	5	0	0	0	23	7	0	13	39	121	0	0	0	0	0	0	0	0	0	0	593						
7:45 AM	9	208	2	0	30	130	2	0	0	4	24	12	0	18	68	129	0	0	0	0	0	0	0	0	0	0	636						
8:00 AM	19	211	4	0	32	132	4	1	2	16	4	0	0	17	82	148	0	0	0	0	0	0	0	0	0	0	672						
8:15 AM	11	188	4	0	24	142	6	1	3	8	7	0	0	11	61	151	0	0	0	0	0	0	0	0	0	0	617						
8:30 AM	19	148	7	0	25	109	4	0	5	15	9	0	0	19	49	132	0	0	0	0	0	0	0	0	0	0	541						
8:45 AM	17	173	1	0	32	142	6	0	18	14	8	0	0	9	42	122	0	0	0	0	0	0	0	0	0	0	594						
9:00 AM	9	207	9	0	27	113	3	0	7	14	11	0	0	7	32	99	0	0	0	0	0	0	0	0	0	0	538						
9:15 AM	10	172	2	0	35	117	6	0	7	10	8	0	0	6	26	89	0	0	0	0	0	0	0	0	0	0	488						
9:30 AM	3	162	7	0	52	133	6	0	7	15	8	0	0	3	28	68	0	0	0	0	0	0	0	0	0	0	492						
9:45 AM	5	170	3	0	28	103	5	0	1	16	7	0	0	1	29	60	0	0	0	0	0	0	0	0	0	0	428						
TOTAL VOLUMES:	NL	NT	NR	NU	SL	ST	SR	SU	EL	ET	ER	EU	WL	WT	WR	WU	TOTAL																
APPROACH %:	4.35%	93.79%	1.86%	0.00%	17.14%	78.80%	3.94%	0.12%	16.89%	50.45%	32.66%	0.00%	7.08%	24.09%	68.83%	0.00%	9160																
PEAK HR VOL:	48	820	15	0	113	538	17	2	11	71	30	0	59	250	549	0	2523																
PEAK HR FACTOR:	0.632	0.962	0.750	0.000	0.883	0.947	0.708	0.500	0.688	0.740	0.625	0.000	0.819	0.762	0.909	0.000	0.939																
PEAK HR:	07:30 AM - 08:30 AM																																
PEAK HR FACTOR:	0.943																																

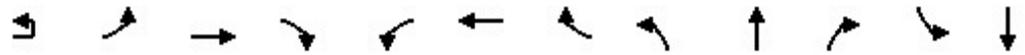
NOON	NORTHBOUND										SOUTHBOUND										EASTBOUND				WESTBOUND				TOTAL
	1	2	1	0	1	2	1	0	1	2	1	0	1	2	1	0	1	2	1	0	1	2	1	0					
	NL	NT	NR	NU	SL	ST	SR	SU	EL	ET	ER	EU	WL	WT	WR	WU													
10:00 AM	8	192	4	0	23	101	1	0	4	8	10	0	4	14	59	0	0	0	0	0	0	0	0	0	0	0	428		
10:15 AM	8	164	0	0	25	102	6	0	4	10	8	0	4	19	56	0	0	0	0	0	0	0	0	0	0	0	406		
10:30 AM	10	147	4	0	28	124	5	0	2	23	17	0	3	17	60	0	0	0	0	0	0	0	0	0	0	0	440		
10:45 AM	3	163	1	0	25	138	0	0	5	20	10	0	6	17	60	0	0	0	0	0	0	0	0	0	0	0	448		
11:00 AM	7	152	3	0	28	111	4	0	3	14	12	0	7	20	60	0	0	0	0	0	0	0	0	0	0	0	421		
11:15 AM	3	173	3	0	45	147	9	0	3	20	2	0	0	2	14	52	0	0	0	0	0	0	0	0	0	0	473		
11:30 AM	14	171	6	0	35	144	4	0	6	18	16	0	4	17	48	0	0	0	0	0	0	0	0	0	0	0	483		
11:45 AM	4	160	7	0	37	138	3	0	11	17	9	0	5	25	68	0	0	0	0	0	0	0	0	0	0	0	484		
12:00 PM	4	153	5	0	36	188	10	0	8	14	12	0	4	12	72	0	0	0	0	0	0	0	0	0	0	0	518		
12:15 PM	10	193	2	0	38	141	7	0	5	20	14	0	4	26	70	0	0	0	0	0	0	0	0	0	0	0	534		
12:30 PM	11	139	3	0	38	156	5	0	4	25	15	0	4	26	72	1	0	0	0	0	0	0	0	0	0	0	503		
12:45 PM	10	140	6	0	40	140	10	0	8	30	17	0	2	23	53	0	0	0	0	0	0	0	0	0	0	0	479		
1:00 PM	12	146	2	0	43	148	8	0	4	20	9	0	5	15	73	0	0	0	0	0	0	0	0	0	0	0	485		
1:15 PM	10	128	2	0	47	179	10	0	8	23	16	0	3	15	55	0	0	0	0	0	0	0	0	0	0	0	496		
1:30 PM	4	166	5	0	47	147	12	0	4	24	21	0	11	27	56	1	0	0	0	0	0	0	0	0	0	0	525		
1:45 PM	6	144	4	0	39	171	15	0	0	16	16	0	7	24	54	0	0	0	0	0	0	0	0	0	0	0	496		
TOTAL VOLUMES:	NL	NT	NR	NU	SL	ST	SR	SU	EL	ET	ER																		



Synchro™ Output - 2022 Existing Traffic

Rockwall REC Campus Expansion TIA
Lanes, Volumes, Timings

2022 Existing Traffic - AM Peak
1: Sids Road & Goliad Road

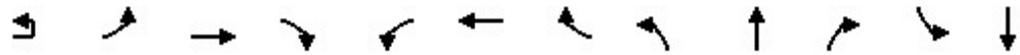


Lane Group	EBU	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT
Lane Configurations		↖	↗	↘	↙	↗	↘	↖	↗		↖	↗
Traffic Volume (vph)	2	113	538	17	48	820	15	11	71	30	59	250
Future Volume (vph)	2	113	538	17	48	820	15	11	71	30	59	250
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Storage Length (ft)		285		0	185		265	285		0	330	
Storage Lanes		1		1	1		2	1		0	1	
Taper Length (ft)		25			25			25			25	
Lane Util. Factor	0.95	1.00	0.95	1.00	1.00	0.95	1.00	1.00	1.00	1.00	1.00	1.00
Fr _t				0.850			0.850		0.956			
Fl _t Protected		0.950			0.950			0.950			0.950	
Satd. Flow (prot)	0	1770	3539	1583	1770	3539	1583	1770	1781	0	1770	1863
Fl _t Permitted		0.127			0.328			0.510			0.687	
Satd. Flow (perm)	0	237	3539	1583	611	3539	1583	950	1781	0	1280	1863
Right Turn on Red				Yes			Yes			Yes		
Satd. Flow (RTOR)				95			95		18			
Link Speed (mph)			45			45			30			30
Link Distance (ft)			505			1013			908			822
Travel Time (s)			7.7			15.3			20.6			18.7
Peak Hour Factor	0.94	0.94	0.94	0.94	0.94	0.94	0.94	0.94	0.94	0.94	0.94	0.94
Adj. Flow (vph)	2	120	572	18	51	872	16	12	76	32	63	266
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	122	572	18	51	872	16	12	108	0	63	266
Enter Blocked Intersection	No											
Lane Alignment	R NA	Left	Left	Right	Left	Left	Right	Left	Left	Right	Left	Left
Median Width(ft)			12			12			12			12
Link Offset(ft)			0			0			0			0
Crosswalk Width(ft)			16			16			16			16
Two way Left Turn Lane												
Headway Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Turning Speed (mph)	9	15		9	15		9	15		9	15	
Number of Detectors	1	1	2	1	1	2	1	1	2		1	2
Detector Template	Left	Left	Thru	Right	Left	Thru	Right	Left	Thru		Left	Thru
Leading Detector (ft)	20	20	100	20	20	100	20	20	100		20	100
Trailing Detector (ft)	0	0	0	0	0	0	0	0	0		0	0
Detector 1 Position(ft)	0	0	0	0	0	0	0	0	0		0	0
Detector 1 Size(ft)	20	20	6	20	20	6	20	20	6		20	6
Detector 1 Type	Cl+Ex		Cl+Ex	Cl+Ex								
Detector 1 Channel												
Detector 1 Extend (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0
Detector 1 Queue (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0
Detector 1 Delay (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0
Detector 2 Position(ft)			94			94			94			94
Detector 2 Size(ft)			6			6			6			6
Detector 2 Type			Cl+Ex			Cl+Ex			Cl+Ex			Cl+Ex
Detector 2 Channel												
Detector 2 Extend (s)			0.0			0.0			0.0			0.0
Turn Type	D.P+P	D.P+P	NA	Perm	D.P+P	NA	Perm	D.P+P	NA		D.P+P	NA
Protected Phases	7	7	4		3	8		5	2		1	6
Permitted Phases	8	8		4	4		8	6			2	

Lane Group	SBR
Lane Configurations	
Traffic Volume (vph)	549
Future Volume (vph)	549
Ideal Flow (vphpl)	1900
Storage Length (ft)	0
Storage Lanes	1
Taper Length (ft)	
Lane Util. Factor	1.00
Frt	0.850
Flt Protected	
Satd. Flow (prot)	1583
Flt Permitted	
Satd. Flow (perm)	1583
Right Turn on Red	Yes
Satd. Flow (RTOR)	326
Link Speed (mph)	
Link Distance (ft)	
Travel Time (s)	
Peak Hour Factor	0.94
Adj. Flow (vph)	584
Shared Lane Traffic (%)	
Lane Group Flow (vph)	584
Enter Blocked Intersection	No
Lane Alignment	Right
Median Width(ft)	
Link Offset(ft)	
Crosswalk Width(ft)	
Two way Left Turn Lane	
Headway Factor	1.00
Turning Speed (mph)	9
Number of Detectors	1
Detector Template	Right
Leading Detector (ft)	20
Trailing Detector (ft)	0
Detector 1 Position(ft)	0
Detector 1 Size(ft)	20
Detector 1 Type	Cl+Ex
Detector 1 Channel	
Detector 1 Extend (s)	0.0
Detector 1 Queue (s)	0.0
Detector 1 Delay (s)	0.0
Detector 2 Position(ft)	
Detector 2 Size(ft)	
Detector 2 Type	
Detector 2 Channel	
Detector 2 Extend (s)	
Turn Type	Perm
Protected Phases	
Permitted Phases	6

Rockwall REC Campus Expansion TIA
Lanes, Volumes, Timings

2022 Existing Traffic - AM Peak
1: Sids Road & Goliad Road



Lane Group	EBU	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT
Detector Phase	7	7	4	4	3	8	8	5	2		1	6
Switch Phase												
Minimum Initial (s)	5.0	5.0	5.0	5.0	5.0	5.0	5.0	5.0	5.0		5.0	5.0
Minimum Split (s)	22.5	22.5	22.5	22.5	9.5	22.5	22.5	9.5	22.5		9.5	22.5
Total Split (s)	15.0	15.0	55.0	55.0	15.0	55.0	55.0	12.0	38.0		12.0	38.0
Total Split (%)	12.5%	12.5%	45.8%	45.8%	12.5%	45.8%	45.8%	10.0%	31.7%		10.0%	31.7%
Maximum Green (s)	10.5	10.5	50.5	50.5	10.5	50.5	50.5	7.5	33.5		7.5	33.5
Yellow Time (s)	3.5	3.5	3.5	3.5	3.5	3.5	3.5	3.5	3.5		3.5	3.5
All-Red Time (s)	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0		1.0	1.0
Lost Time Adjust (s)		0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0
Total Lost Time (s)		4.5	4.5	4.5	4.5	4.5	4.5	4.5	4.5		4.5	4.5
Lead/Lag	Lead	Lead	Lag	Lag	Lead	Lag	Lag	Lead	Lag		Lead	Lag
Lead-Lag Optimize?	Yes		Yes	Yes								
Vehicle Extension (s)	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0		3.0	3.0
Recall Mode	None	Max		None	Max							
Walk Time (s)	7.0	7.0	7.0	7.0		7.0	7.0		7.0			7.0
Flash Dont Walk (s)	11.0	11.0	11.0	11.0		11.0	11.0		11.0			11.0
Pedestrian Calls (#/hr)	0	0	0	0		0	0		0			0
Act Effct Green (s)		39.3	34.9	34.9	40.5	30.3	30.3	42.3	34.2		39.7	41.1
Actuated g/C Ratio		0.41	0.36	0.36	0.42	0.31	0.31	0.44	0.36		0.41	0.43
v/c Ratio		0.51	0.45	0.03	0.15	0.78	0.03	0.03	0.17		0.11	0.33
Control Delay		23.3	25.7	0.1	15.8	35.7	0.1	17.9	22.2		18.2	22.8
Queue Delay		0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0
Total Delay		23.3	25.7	0.1	15.8	35.7	0.1	17.9	22.2		18.2	22.8
LOS		C	C	A	B	D	A	B	C		B	C
Approach Delay			24.6			34.0			21.8			17.9
Approach LOS			C			C			C			B
Queue Length 50th (ft)		44	150	0	18	264	0	4	39		22	103
Queue Length 95th (ft)		77	203	0	38	338	0	17	91		55	231
Internal Link Dist (ft)			425			933			828			742
Turn Bay Length (ft)		285			185		265	285			330	
Base Capacity (vph)		272	1897	892	400	1897	892	484	644		569	796
Starvation Cap Reductn		0	0	0	0	0	0	0	0		0	0
Spillback Cap Reductn		0	0	0	0	0	0	0	0		0	0
Storage Cap Reductn		0	0	0	0	0	0	0	0		0	0
Reduced v/c Ratio		0.45	0.30	0.02	0.13	0.46	0.02	0.02	0.17		0.11	0.33

Intersection Summary

Area Type: Other
 Cycle Length: 120
 Actuated Cycle Length: 96.2
 Natural Cycle: 80
 Control Type: Actuated-Uncoordinated
 Maximum v/c Ratio: 0.78
 Intersection Signal Delay: 25.5 Intersection LOS: C
 Intersection Capacity Utilization 82.2% ICU Level of Service E
 Analysis Period (min) 15
 # 95th percentile volume exceeds capacity, queue may be longer.
 Queue shown is maximum after two cycles.

Splits and Phases: 1: Sids Road & Goliad Road

 Ø1	 Ø2	 Ø3	 Ø4
12 s	38 s	15 s	55 s
 Ø5	 Ø6	 Ø7	 Ø8
12 s	38 s	15 s	55 s

Lane Group	SBR
Detector Phase	6
Switch Phase	
Minimum Initial (s)	5.0
Minimum Split (s)	22.5
Total Split (s)	38.0
Total Split (%)	31.7%
Maximum Green (s)	33.5
Yellow Time (s)	3.5
All-Red Time (s)	1.0
Lost Time Adjust (s)	0.0
Total Lost Time (s)	4.5
Lead/Lag	Lag
Lead-Lag Optimize?	Yes
Vehicle Extension (s)	3.0
Recall Mode	Max
Walk Time (s)	7.0
Flash Dont Walk (s)	11.0
Pedestrian Calls (#/hr)	0
Act Effct Green (s)	41.1
Actuated g/C Ratio	0.43
v/c Ratio	0.68
Control Delay	15.7
Queue Delay	0.0
Total Delay	15.7
LOS	B
Approach Delay	
Approach LOS	
Queue Length 50th (ft)	114
Queue Length 95th (ft)	#379
Internal Link Dist (ft)	
Turn Bay Length (ft)	
Base Capacity (vph)	863
Starvation Cap Reductn	0
Spillback Cap Reductn	0
Storage Cap Reductn	0
Reduced v/c Ratio	0.68
Intersection Summary	

Intersection						
Int Delay, s/veh	8.7					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations		↶	↷		↶	
Traffic Vol, veh/h	120	12	8	0	0	284
Future Vol, veh/h	120	12	8	0	0	284
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	88	88	88	88	88	88
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	136	14	9	0	0	323

Major/Minor	Major1	Major2	Minor2		
Conflicting Flow All	9	0	-	0	295
Stage 1	-	-	-	-	9
Stage 2	-	-	-	-	286
Critical Hdwy	4.12	-	-	-	6.42
Critical Hdwy Stg 1	-	-	-	-	5.42
Critical Hdwy Stg 2	-	-	-	-	5.42
Follow-up Hdwy	2.218	-	-	-	3.518
Pot Cap-1 Maneuver	1611	-	-	-	696
Stage 1	-	-	-	-	1014
Stage 2	-	-	-	-	763
Platoon blocked, %		-	-	-	
Mov Cap-1 Maneuver	1611	-	-	-	637
Mov Cap-2 Maneuver	-	-	-	-	637
Stage 1	-	-	-	-	928
Stage 2	-	-	-	-	763

Approach	EB	WB	SB
HCM Control Delay, s	6.8	0	9.8
HCM LOS			A

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1611	-	-	-	1073
HCM Lane V/C Ratio	0.085	-	-	-	0.301
HCM Control Delay (s)	7.4	0	-	-	9.8
HCM Lane LOS	A	A	-	-	A
HCM 95th %tile Q(veh)	0.3	-	-	-	1.3

Intersection						
Int Delay, s/veh	0.3					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	W		T			T
Traffic Vol, veh/h	0	9	115	3	0	189
Future Vol, veh/h	0	9	115	3	0	189
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	88	88	88	88	88	88
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	10	131	3	0	215

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	348	133	0	0	134
Stage 1	133	-	-	-	-
Stage 2	215	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12
Critical Hdwy Stg 1	5.42	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218
Pot Cap-1 Maneuver	649	916	-	-	1451
Stage 1	893	-	-	-	-
Stage 2	821	-	-	-	-
Platoon blocked, %					
Mov Cap-1 Maneuver	649	916	-	-	1451
Mov Cap-2 Maneuver	649	-	-	-	-
Stage 1	893	-	-	-	-
Stage 2	821	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	9	0	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	916	1451
HCM Lane V/C Ratio	-	-	0.011	-
HCM Control Delay (s)	-	-	9	0
HCM Lane LOS	-	-	A	A
HCM 95th %tile Q(veh)	-	-	0	0

Intersection												
Int Delay, s/veh	0.1											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	0	0	0	1	0	2	0	118	0	1	187	0
Future Vol, veh/h	0	0	0	1	0	2	0	118	0	1	187	0
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None									
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	87	87	87	87	87	87	87	87	87	87	87	87
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	0	0	0	1	0	2	0	136	0	1	215	0

Major/Minor	Minor2		Minor1		Major1		Major2					
Conflicting Flow All	354	353	215	353	353	136	215	0	0	136	0	0
Stage 1	217	217	-	136	136	-	-	-	-	-	-	-
Stage 2	137	136	-	217	217	-	-	-	-	-	-	-
Critical Hdwy	7.12	6.52	6.22	7.12	6.52	6.22	4.12	-	-	4.12	-	-
Critical Hdwy Stg 1	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Follow-up Hdwy	3.518	4.018	3.318	3.518	4.018	3.318	2.218	-	-	2.218	-	-
Pot Cap-1 Maneuver	601	572	825	602	572	913	1355	-	-	1448	-	-
Stage 1	785	723	-	867	784	-	-	-	-	-	-	-
Stage 2	866	784	-	785	723	-	-	-	-	-	-	-
Platoon blocked, %								-	-	-	-	-
Mov Cap-1 Maneuver	599	571	825	601	571	913	1355	-	-	1448	-	-
Mov Cap-2 Maneuver	599	571	-	601	571	-	-	-	-	-	-	-
Stage 1	785	722	-	867	784	-	-	-	-	-	-	-
Stage 2	864	784	-	784	722	-	-	-	-	-	-	-

Approach	EB		WB		NB		SB	
HCM Control Delay, s	0		9.6		0		0	
HCM LOS	A		A					

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	SBL	SBT	SBR
Capacity (veh/h)	1355	-	-	-	778	1448	-	-
HCM Lane V/C Ratio	-	-	-	-	0.004	0.001	-	-
HCM Control Delay (s)	0	-	-	0	9.6	7.5	0	-
HCM Lane LOS	A	-	-	A	A	A	A	-
HCM 95th %tile Q(veh)	0	-	-	-	0	0	-	-

Intersection												
Int Delay, s/veh	0.3											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	0	0	0	0	0	1	9	110	2	5	294	6
Future Vol, veh/h	0	0	0	0	0	1	9	110	2	5	294	6
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None									
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	88	88	88	88	88	88	88	88	88	88	88	88
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	0	0	0	0	0	1	10	125	2	6	334	7

Major/Minor	Minor2		Minor1		Major1			Major2				
Conflicting Flow All	497	497	338	496	499	126	341	0	0	127	0	0
Stage 1	350	350	-	146	146	-	-	-	-	-	-	-
Stage 2	147	147	-	350	353	-	-	-	-	-	-	-
Critical Hdwy	7.12	6.52	6.22	7.12	6.52	6.22	4.12	-	-	4.12	-	-
Critical Hdwy Stg 1	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Follow-up Hdwy	3.518	4.018	3.318	3.518	4.018	3.318	2.218	-	-	2.218	-	-
Pot Cap-1 Maneuver	483	475	704	484	473	924	1218	-	-	1459	-	-
Stage 1	666	633	-	857	776	-	-	-	-	-	-	-
Stage 2	856	775	-	666	631	-	-	-	-	-	-	-
Platoon blocked, %								-	-	-	-	-
Mov Cap-1 Maneuver	477	468	704	479	466	924	1218	-	-	1459	-	-
Mov Cap-2 Maneuver	477	468	-	479	466	-	-	-	-	-	-	-
Stage 1	660	630	-	849	769	-	-	-	-	-	-	-
Stage 2	847	768	-	663	628	-	-	-	-	-	-	-

Approach	EB		WB		NB		SB	
HCM Control Delay, s	0		8.9		0.6		0.1	
HCM LOS	A		A					

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	SBL	SBT	SBR
Capacity (veh/h)	1218	-	-	-	-	924	1459	-
HCM Lane V/C Ratio	0.008	-	-	-	-	0.001	0.004	-
HCM Control Delay (s)	8	0	-	0	8.9	7.5	0	-
HCM Lane LOS	A	A	-	A	A	A	A	-
HCM 95th %tile Q(veh)	0	-	-	-	0	0	-	-

Rockwall REC Campus Expansion TIA
Lanes, Volumes, Timings

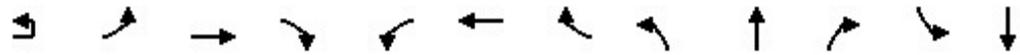
2022 Existing Traffic - PM Peak
1: Sids Road & Goliad Road

Lane Group	EBU	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT
Lane Configurations												
Traffic Volume (vph)	1	258	752	19	48	784	38	31	177	95	32	137
Future Volume (vph)	1	258	752	19	48	784	38	31	177	95	32	137
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Storage Length (ft)		285		0	185		265	285		0	330	
Storage Lanes		1		1	1		2	1		0	1	
Taper Length (ft)		25			25			25			25	
Lane Util. Factor	0.95	1.00	0.95	1.00	1.00	0.95	1.00	1.00	1.00	1.00	1.00	1.00
Frt				0.850			0.850		0.948			
Flt Protected		0.950			0.950			0.950			0.950	
Satd. Flow (prot)	0	1770	3539	1583	1770	3539	1583	1770	1766	0	1770	1863
Flt Permitted		0.155			0.223			0.646			0.458	
Satd. Flow (perm)	0	289	3539	1583	415	3539	1583	1203	1766	0	853	1863
Right Turn on Red				Yes			Yes			Yes		
Satd. Flow (RTOR)				95			95		22			
Link Speed (mph)			45			45			30			30
Link Distance (ft)			505			1013			908			822
Travel Time (s)			7.7			15.3			20.6			18.7
Peak Hour Factor	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95
Adj. Flow (vph)	1	272	792	20	51	825	40	33	186	100	34	144
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	273	792	20	51	825	40	33	286	0	34	144
Enter Blocked Intersection	No											
Lane Alignment	R NA	Left	Left	Right	Left	Left	Right	Left	Left	Right	Left	Left
Median Width(ft)			12			12			12			12
Link Offset(ft)			0			0			0			0
Crosswalk Width(ft)			16			16			16			16
Two way Left Turn Lane												
Headway Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Turning Speed (mph)	9	15		9	15		9	15		9	15	
Number of Detectors	1	1	2	1	1	2	1	1	2		1	2
Detector Template	Left	Left	Thru	Right	Left	Thru	Right	Left	Thru		Left	Thru
Leading Detector (ft)	20	20	100	20	20	100	20	20	100		20	100
Trailing Detector (ft)	0	0	0	0	0	0	0	0	0		0	0
Detector 1 Position(ft)	0	0	0	0	0	0	0	0	0		0	0
Detector 1 Size(ft)	20	20	6	20	20	6	20	20	6		20	6
Detector 1 Type	Cl+Ex		Cl+Ex	Cl+Ex								
Detector 1 Channel												
Detector 1 Extend (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0
Detector 1 Queue (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0
Detector 1 Delay (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0
Detector 2 Position(ft)			94			94			94			94
Detector 2 Size(ft)			6			6			6			6
Detector 2 Type			Cl+Ex			Cl+Ex			Cl+Ex			Cl+Ex
Detector 2 Channel												
Detector 2 Extend (s)			0.0			0.0			0.0			0.0
Turn Type	D.P+P	D.P+P	NA	Perm	D.P+P	NA	Perm	D.P+P	NA		D.P+P	NA
Protected Phases	7	7	4		3	8		5	2		1	6
Permitted Phases	8	8		4	4		8	6			2	

Lane Group	SBR
Lane Configurations	
Traffic Volume (vph)	230
Future Volume (vph)	230
Ideal Flow (vphpl)	1900
Storage Length (ft)	0
Storage Lanes	1
Taper Length (ft)	
Lane Util. Factor	1.00
Frt	0.850
Flt Protected	
Satd. Flow (prot)	1583
Flt Permitted	
Satd. Flow (perm)	1583
Right Turn on Red	Yes
Satd. Flow (RTOR)	242
Link Speed (mph)	
Link Distance (ft)	
Travel Time (s)	
Peak Hour Factor	0.95
Adj. Flow (vph)	242
Shared Lane Traffic (%)	
Lane Group Flow (vph)	242
Enter Blocked Intersection	No
Lane Alignment	Right
Median Width(ft)	
Link Offset(ft)	
Crosswalk Width(ft)	
Two way Left Turn Lane	
Headway Factor	1.00
Turning Speed (mph)	9
Number of Detectors	1
Detector Template	Right
Leading Detector (ft)	20
Trailing Detector (ft)	0
Detector 1 Position(ft)	0
Detector 1 Size(ft)	20
Detector 1 Type	Cl+Ex
Detector 1 Channel	
Detector 1 Extend (s)	0.0
Detector 1 Queue (s)	0.0
Detector 1 Delay (s)	0.0
Detector 2 Position(ft)	
Detector 2 Size(ft)	
Detector 2 Type	
Detector 2 Channel	
Detector 2 Extend (s)	
Turn Type	Perm
Protected Phases	
Permitted Phases	6

Rockwall REC Campus Expansion TIA
Lanes, Volumes, Timings

2022 Existing Traffic - PM Peak
1: Sids Road & Goliad Road



Lane Group	EBU	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT
Detector Phase	7	7	4	4	3	8	8	5	2		1	6
Switch Phase												
Minimum Initial (s)	5.0	5.0	5.0	5.0	5.0	5.0	5.0	5.0	5.0		5.0	5.0
Minimum Split (s)	22.5	22.5	22.5	22.5	9.5	22.5	22.5	9.5	22.5		9.5	22.5
Total Split (s)	15.0	15.0	55.0	55.0	15.0	55.0	55.0	12.0	38.0		12.0	38.0
Total Split (%)	12.5%	12.5%	45.8%	45.8%	12.5%	45.8%	45.8%	10.0%	31.7%		10.0%	31.7%
Maximum Green (s)	10.5	10.5	50.5	50.5	10.5	50.5	50.5	7.5	33.5		7.5	33.5
Yellow Time (s)	3.5	3.5	3.5	3.5	3.5	3.5	3.5	3.5	3.5		3.5	3.5
All-Red Time (s)	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0		1.0	1.0
Lost Time Adjust (s)		0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0
Total Lost Time (s)		4.5	4.5	4.5	4.5	4.5	4.5	4.5	4.5		4.5	4.5
Lead/Lag	Lead	Lead	Lag	Lag	Lead	Lag	Lag	Lead	Lag		Lead	Lag
Lead-Lag Optimize?	Yes		Yes	Yes								
Vehicle Extension (s)	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0		3.0	3.0
Recall Mode	None	Max		None	Max							
Walk Time (s)	7.0	7.0	7.0	7.0		7.0	7.0		7.0			7.0
Flash Dont Walk (s)	11.0	11.0	11.0	11.0		11.0	11.0		11.0			11.0
Pedestrian Calls (#/hr)	0	0	0	0		0	0		0			0
Act Effct Green (s)		39.1	37.0	37.0	41.3	28.4	28.4	38.0	34.1		38.0	34.1
Actuated g/C Ratio		0.42	0.40	0.40	0.44	0.30	0.30	0.41	0.37		0.41	0.37
v/c Ratio		0.94	0.56	0.03	0.18	0.77	0.07	0.06	0.43		0.08	0.21
Control Delay		62.5	25.7	0.1	15.9	34.8	0.3	17.4	25.8		17.6	24.7
Queue Delay		0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0
Total Delay		62.5	25.7	0.1	15.9	34.8	0.3	17.4	25.8		17.6	24.7
LOS		E	C	A	B	C	A	B	C		B	C
Approach Delay			34.4			32.2			24.9			12.7
Approach LOS			C			C			C			B
Queue Length 50th (ft)		112	220	0	17	245	0	11	126		11	63
Queue Length 95th (ft)		#287	294	0	38	317	0	32	234		33	127
Internal Link Dist (ft)			425			933			828			742
Turn Bay Length (ft)		285			185		265	285			330	
Base Capacity (vph)		291	1951	915	345	1951	915	539	659		424	681
Starvation Cap Reductn		0	0	0	0	0	0	0	0		0	0
Spillback Cap Reductn		0	0	0	0	0	0	0	0		0	0
Storage Cap Reductn		0	0	0	0	0	0	0	0		0	0
Reduced v/c Ratio		0.94	0.41	0.02	0.15	0.42	0.04	0.06	0.43		0.08	0.21

Intersection Summary

Area Type: Other
 Cycle Length: 120
 Actuated Cycle Length: 93.3
 Natural Cycle: 80
 Control Type: Actuated-Uncoordinated
 Maximum v/c Ratio: 0.94
 Intersection Signal Delay: 29.3
 Intersection LOS: C
 Intersection Capacity Utilization 70.3%
 ICU Level of Service C
 Analysis Period (min) 15
 # 95th percentile volume exceeds capacity, queue may be longer.
 Queue shown is maximum after two cycles.

Splits and Phases: 1: Sids Road & Goliad Road

 Ø1	 Ø2	 Ø3	 Ø4
12 s	38 s	15 s	55 s
 Ø5	 Ø6	 Ø7	 Ø8
12 s	38 s	15 s	55 s

Lane Group	SBR
Detector Phase	6
Switch Phase	
Minimum Initial (s)	5.0
Minimum Split (s)	22.5
Total Split (s)	38.0
Total Split (%)	31.7%
Maximum Green (s)	33.5
Yellow Time (s)	3.5
All-Red Time (s)	1.0
Lost Time Adjust (s)	0.0
Total Lost Time (s)	4.5
Lead/Lag	Lag
Lead-Lag Optimize?	Yes
Vehicle Extension (s)	3.0
Recall Mode	Max
Walk Time (s)	7.0
Flash Dont Walk (s)	11.0
Pedestrian Calls (#/hr)	0
Act Effct Green (s)	34.1
Actuated g/C Ratio	0.37
v/c Ratio	0.33
Control Delay	4.9
Queue Delay	0.0
Total Delay	4.9
LOS	A
Approach Delay	
Approach LOS	
Queue Length 50th (ft)	0
Queue Length 95th (ft)	56
Internal Link Dist (ft)	
Turn Bay Length (ft)	
Base Capacity (vph)	732
Starvation Cap Reductn	0
Spillback Cap Reductn	0
Storage Cap Reductn	0
Reduced v/c Ratio	0.33
Intersection Summary	

Intersection						
Int Delay, s/veh	8.2					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations		↕	↕		↕	
Traffic Vol, veh/h	231	6	7	3	2	205
Future Vol, veh/h	231	6	7	3	2	205
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	93	93	93	93	93	93
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	248	6	8	3	2	220

Major/Minor	Major1	Major2	Minor2		
Conflicting Flow All	11	0	-	0	512 10
Stage 1	-	-	-	-	10 -
Stage 2	-	-	-	-	502 -
Critical Hdwy	4.12	-	-	-	6.42 6.22
Critical Hdwy Stg 1	-	-	-	-	5.42 -
Critical Hdwy Stg 2	-	-	-	-	5.42 -
Follow-up Hdwy	2.218	-	-	-	3.518 3.318
Pot Cap-1 Maneuver	1608	-	-	-	522 1071
Stage 1	-	-	-	-	1013 -
Stage 2	-	-	-	-	608 -
Platoon blocked, %		-	-	-	
Mov Cap-1 Maneuver	1608	-	-	-	441 1071
Mov Cap-2 Maneuver	-	-	-	-	441 -
Stage 1	-	-	-	-	856 -
Stage 2	-	-	-	-	608 -

Approach	EB	WB	SB
HCM Control Delay, s	7.5	0	9.3
HCM LOS			A

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1608	-	-	-	1056
HCM Lane V/C Ratio	0.154	-	-	-	0.211
HCM Control Delay (s)	7.6	0	-	-	9.3
HCM Lane LOS	A	A	-	-	A
HCM 95th %tile Q(veh)	0.5	-	-	-	0.8

Intersection						
Int Delay, s/veh	0.2					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	W		T			T
Traffic Vol, veh/h	2	2	238	0	10	302
Future Vol, veh/h	2	2	238	0	10	302
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	2	2	259	0	11	328

Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	609	259	0	0	259	0
Stage 1	259	-	-	-	-	-
Stage 2	350	-	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218	-
Pot Cap-1 Maneuver	458	780	-	-	1306	-
Stage 1	784	-	-	-	-	-
Stage 2	713	-	-	-	-	-
Platoon blocked, %			-	-	-	-
Mov Cap-1 Maneuver	453	780	-	-	1306	-
Mov Cap-2 Maneuver	453	-	-	-	-	-
Stage 1	784	-	-	-	-	-
Stage 2	706	-	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	11.3	0	0.2
HCM LOS	B		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	573	1306
HCM Lane V/C Ratio	-	-	0.008	0.008
HCM Control Delay (s)	-	-	11.3	7.8
HCM Lane LOS	-	-	B	A
HCM 95th %tile Q(veh)	-	-	0	0

Intersection												
Int Delay, s/veh	0.2											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	2	0	0	3	0	4	0	248	0	4	310	5
Future Vol, veh/h	2	0	0	3	0	4	0	248	0	4	310	5
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None									
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	96	96	96	96	96	96	96	96	96	96	96	96
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	2	0	0	3	0	4	0	258	0	4	323	5

Major/Minor	Minor2		Minor1		Major1		Major2					
Conflicting Flow All	594	592	326	592	594	258	328	0	0	258	0	0
Stage 1	334	334	-	258	258	-	-	-	-	-	-	-
Stage 2	260	258	-	334	336	-	-	-	-	-	-	-
Critical Hdwy	7.12	6.52	6.22	7.12	6.52	6.22	4.12	-	-	4.12	-	-
Critical Hdwy Stg 1	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Follow-up Hdwy	3.518	4.018	3.318	3.518	4.018	3.318	2.218	-	-	2.218	-	-
Pot Cap-1 Maneuver	417	419	715	418	418	781	1232	-	-	1307	-	-
Stage 1	680	643	-	747	694	-	-	-	-	-	-	-
Stage 2	745	694	-	680	642	-	-	-	-	-	-	-
Platoon blocked, %								-	-	-	-	-
Mov Cap-1 Maneuver	414	417	715	417	416	781	1232	-	-	1307	-	-
Mov Cap-2 Maneuver	414	417	-	417	416	-	-	-	-	-	-	-
Stage 1	680	640	-	747	694	-	-	-	-	-	-	-
Stage 2	741	694	-	677	639	-	-	-	-	-	-	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	13.7	11.4	0	0.1
HCM LOS	B	B		

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	SBL	SBT	SBR
Capacity (veh/h)	1232	-	-	414	568	1307	-	-
HCM Lane V/C Ratio	-	-	-	0.005	0.013	0.003	-	-
HCM Control Delay (s)	0	-	-	13.7	11.4	7.8	0	-
HCM Lane LOS	A	-	-	B	B	A	A	-
HCM 95th %tile Q(veh)	0	-	-	0	0	0	-	-

Intersection												
Int Delay, s/veh	0.5											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	5	0	1	4	0	3	9	296	1	3	178	31
Future Vol, veh/h	5	0	1	4	0	3	9	296	1	3	178	31
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None									
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	5	0	1	4	0	3	10	322	1	3	193	34

Major/Minor	Minor2		Minor1		Major1		Major2					
Conflicting Flow All	560	559	210	560	576	323	227	0	0	323	0	0
Stage 1	216	216	-	343	343	-	-	-	-	-	-	-
Stage 2	344	343	-	217	233	-	-	-	-	-	-	-
Critical Hdwy	7.12	6.52	6.22	7.12	6.52	6.22	4.12	-	-	4.12	-	-
Critical Hdwy Stg 1	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Follow-up Hdwy	3.518	4.018	3.318	3.518	4.018	3.318	2.218	-	-	2.218	-	-
Pot Cap-1 Maneuver	439	438	830	439	428	718	1341	-	-	1237	-	-
Stage 1	786	724	-	672	637	-	-	-	-	-	-	-
Stage 2	671	637	-	785	712	-	-	-	-	-	-	-
Platoon blocked, %								-	-	-	-	-
Mov Cap-1 Maneuver	433	433	830	435	423	718	1341	-	-	1237	-	-
Mov Cap-2 Maneuver	433	433	-	435	423	-	-	-	-	-	-	-
Stage 1	779	722	-	666	631	-	-	-	-	-	-	-
Stage 2	662	631	-	782	710	-	-	-	-	-	-	-

Approach	EB		WB		NB		SB	
HCM Control Delay, s	12.8		12		0.2		0.1	
HCM LOS	B		B					

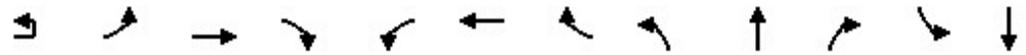
Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	SBL	SBT	SBR
Capacity (veh/h)	1341	-	-	471	523	1237	-	-
HCM Lane V/C Ratio	0.007	-	-	0.014	0.015	0.003	-	-
HCM Control Delay (s)	7.7	0	-	12.8	12	7.9	0	-
HCM Lane LOS	A	A	-	B	B	A	A	-
HCM 95th %tile Q(veh)	0	-	-	0	0	0	-	-



Synchro™ Output - 2024 Background Traffic

Rockwall REC Campus Expansion TIA
Lanes, Volumes, Timings

2024 Background Traffic - AM Peak
1: Sids Road & Goliad Road

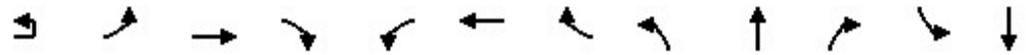


Lane Group	EBU	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT
Lane Configurations												
Traffic Volume (vph)	2	120	573	18	51	874	16	12	76	32	63	266
Future Volume (vph)	2	120	573	18	51	874	16	12	76	32	63	266
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Storage Length (ft)		285		0	185		265	285		0	330	
Storage Lanes		1		1	1		2	1		0	1	
Taper Length (ft)		25			25			25			25	
Lane Util. Factor	0.95	1.00	0.95	1.00	1.00	0.95	1.00	1.00	1.00	1.00	1.00	1.00
Fr _t				0.850			0.850		0.956			
Fl _t Protected		0.950			0.950			0.950			0.950	
Satd. Flow (prot)	0	1770	3539	1583	1770	3539	1583	1770	1781	0	1770	1863
Fl _t Permitted		0.119			0.310			0.485			0.682	
Satd. Flow (perm)	0	222	3539	1583	577	3539	1583	903	1781	0	1270	1863
Right Turn on Red				Yes			Yes			Yes		
Satd. Flow (RTOR)				95			95		17			
Link Speed (mph)			45			45			30			30
Link Distance (ft)			505			1013			908			822
Travel Time (s)			7.7			15.3			20.6			18.7
Peak Hour Factor	0.94	0.94	0.94	0.94	0.94	0.94	0.94	0.94	0.94	0.94	0.94	0.94
Adj. Flow (vph)	2	128	610	19	54	930	17	13	81	34	67	283
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	130	610	19	54	930	17	13	115	0	67	283
Enter Blocked Intersection	No											
Lane Alignment	R NA	Left	Left	Right	Left	Left	Right	Left	Left	Right	Left	Left
Median Width(ft)			12			12			12			12
Link Offset(ft)			0			0			0			0
Crosswalk Width(ft)			16			16			16			16
Two way Left Turn Lane												
Headway Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Turning Speed (mph)	9	15		9	15		9	15		9	15	
Number of Detectors	1	1	2	1	1	2	1	1	2		1	2
Detector Template	Left	Left	Thru	Right	Left	Thru	Right	Left	Thru		Left	Thru
Leading Detector (ft)	20	20	100	20	20	100	20	20	100		20	100
Trailing Detector (ft)	0	0	0	0	0	0	0	0	0		0	0
Detector 1 Position(ft)	0	0	0	0	0	0	0	0	0		0	0
Detector 1 Size(ft)	20	20	6	20	20	6	20	20	6		20	6
Detector 1 Type	Cl+Ex		Cl+Ex	Cl+Ex								
Detector 1 Channel												
Detector 1 Extend (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0
Detector 1 Queue (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0
Detector 1 Delay (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0
Detector 2 Position(ft)			94			94			94			94
Detector 2 Size(ft)			6			6			6			6
Detector 2 Type			Cl+Ex			Cl+Ex			Cl+Ex			Cl+Ex
Detector 2 Channel												
Detector 2 Extend (s)			0.0			0.0			0.0			0.0
Turn Type	D.P+P	D.P+P	NA	Perm	D.P+P	NA	Perm	D.P+P	NA		D.P+P	NA
Protected Phases	7	7	4		3	8		5	2		1	6
Permitted Phases	8	8		4	4		8	6			2	

Lane Group	SBR
Lane Configurations	
Traffic Volume (vph)	585
Future Volume (vph)	585
Ideal Flow (vphpl)	1900
Storage Length (ft)	0
Storage Lanes	1
Taper Length (ft)	
Lane Util. Factor	1.00
Frt	0.850
Flt Protected	
Satd. Flow (prot)	1583
Flt Permitted	
Satd. Flow (perm)	1583
Right Turn on Red	Yes
Satd. Flow (RTOR)	316
Link Speed (mph)	
Link Distance (ft)	
Travel Time (s)	
Peak Hour Factor	0.94
Adj. Flow (vph)	622
Shared Lane Traffic (%)	
Lane Group Flow (vph)	622
Enter Blocked Intersection	No
Lane Alignment	Right
Median Width(ft)	
Link Offset(ft)	
Crosswalk Width(ft)	
Two way Left Turn Lane	
Headway Factor	1.00
Turning Speed (mph)	9
Number of Detectors	1
Detector Template	Right
Leading Detector (ft)	20
Trailing Detector (ft)	0
Detector 1 Position(ft)	0
Detector 1 Size(ft)	20
Detector 1 Type	Cl+Ex
Detector 1 Channel	
Detector 1 Extend (s)	0.0
Detector 1 Queue (s)	0.0
Detector 1 Delay (s)	0.0
Detector 2 Position(ft)	
Detector 2 Size(ft)	
Detector 2 Type	
Detector 2 Channel	
Detector 2 Extend (s)	
Turn Type	Perm
Protected Phases	
Permitted Phases	6

Rockwall REC Campus Expansion TIA
Lanes, Volumes, Timings

2024 Background Traffic - AM Peak
1: Sids Road & Goliad Road



Lane Group	EBU	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT
Detector Phase	7	7	4	4	3	8	8	5	2		1	6
Switch Phase												
Minimum Initial (s)	5.0	5.0	5.0	5.0	5.0	5.0	5.0	5.0	5.0		5.0	5.0
Minimum Split (s)	22.5	22.5	22.5	22.5	9.5	22.5	22.5	9.5	22.5		9.5	22.5
Total Split (s)	15.0	15.0	55.0	55.0	15.0	55.0	55.0	12.0	38.0		12.0	38.0
Total Split (%)	12.5%	12.5%	45.8%	45.8%	12.5%	45.8%	45.8%	10.0%	31.7%		10.0%	31.7%
Maximum Green (s)	10.5	10.5	50.5	50.5	10.5	50.5	50.5	7.5	33.5		7.5	33.5
Yellow Time (s)	3.5	3.5	3.5	3.5	3.5	3.5	3.5	3.5	3.5		3.5	3.5
All-Red Time (s)	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0		1.0	1.0
Lost Time Adjust (s)		0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0
Total Lost Time (s)		4.5	4.5	4.5	4.5	4.5	4.5	4.5	4.5		4.5	4.5
Lead/Lag	Lead	Lead	Lag	Lag	Lead	Lag	Lag	Lead	Lag		Lead	Lag
Lead-Lag Optimize?	Yes		Yes	Yes								
Vehicle Extension (s)	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0		3.0	3.0
Recall Mode	None	Max		None	Max							
Walk Time (s)	7.0	7.0	7.0	7.0		7.0	7.0		7.0			7.0
Flash Dont Walk (s)	11.0	11.0	11.0	11.0		11.0	11.0		11.0			11.0
Pedestrian Calls (#/hr)	0	0	0	0		0	0		0			0
Act Effct Green (s)		41.8	37.2	37.2	43.0	32.6	32.6	42.4	34.2		39.7	41.2
Actuated g/C Ratio		0.42	0.38	0.38	0.44	0.33	0.33	0.43	0.35		0.40	0.42
v/c Ratio		0.55	0.46	0.03	0.16	0.80	0.03	0.03	0.18		0.12	0.36
Control Delay		25.0	25.4	0.1	15.6	35.9	0.1	19.2	23.7		19.4	24.5
Queue Delay		0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0
Total Delay		25.0	25.4	0.1	15.6	35.9	0.1	19.2	23.7		19.4	24.5
LOS		C	C	A	B	D	A	B	C		B	C
Approach Delay			24.7			34.2			23.3			20.9
Approach LOS			C			C			C			C
Queue Length 50th (ft)		47	162	0	19	290	0	5	45		25	119
Queue Length 95th (ft)		85	217	0	40	366	0	18	100		60	255
Internal Link Dist (ft)			425			933			828			742
Turn Bay Length (ft)		285			185		265	285			330	
Base Capacity (vph)		265	1850	872	393	1850	872	455	628		552	776
Starvation Cap Reductn		0	0	0	0	0	0	0	0		0	0
Spillback Cap Reductn		0	0	0	0	0	0	0	0		0	0
Storage Cap Reductn		0	0	0	0	0	0	0	0		0	0
Reduced v/c Ratio		0.49	0.33	0.02	0.14	0.50	0.02	0.03	0.18		0.12	0.36

Intersection Summary

Area Type:	Other
Cycle Length:	120
Actuated Cycle Length:	98.7
Natural Cycle:	90
Control Type:	Actuated-Uncoordinated
Maximum v/c Ratio:	0.80
Intersection Signal Delay:	26.7
Intersection LOS:	C
Intersection Capacity Utilization:	86.3%
ICU Level of Service:	E
Analysis Period (min):	15
# 95th percentile volume exceeds capacity, queue may be longer. Queue shown is maximum after two cycles.	

Splits and Phases: 1: Sids Road & Goliad Road

 Ø1	 Ø2	 Ø3	 Ø4
12 s	38 s	15 s	55 s
 Ø5	 Ø6	 Ø7	 Ø8
12 s	38 s	15 s	55 s

Lane Group	SBR
Detector Phase	6
Switch Phase	
Minimum Initial (s)	5.0
Minimum Split (s)	22.5
Total Split (s)	38.0
Total Split (%)	31.7%
Maximum Green (s)	33.5
Yellow Time (s)	3.5
All-Red Time (s)	1.0
Lost Time Adjust (s)	0.0
Total Lost Time (s)	4.5
Lead/Lag	Lag
Lead-Lag Optimize?	Yes
Vehicle Extension (s)	3.0
Recall Mode	Max
Walk Time (s)	7.0
Flash Dont Walk (s)	11.0
Pedestrian Calls (#/hr)	0
Act Effct Green (s)	41.2
Actuated g/C Ratio	0.42
v/c Ratio	0.74
Control Delay	19.5
Queue Delay	0.0
Total Delay	19.5
LOS	B
Approach Delay	
Approach LOS	
Queue Length 50th (ft)	158
Queue Length 95th (ft)	#465
Internal Link Dist (ft)	
Turn Bay Length (ft)	
Base Capacity (vph)	844
Starvation Cap Reductn	0
Spillback Cap Reductn	0
Storage Cap Reductn	0
Reduced v/c Ratio	0.74
Intersection Summary	

Intersection						
Int Delay, s/veh	8.7					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations		↕	↕		↕	
Traffic Vol, veh/h	128	13	9	0	0	303
Future Vol, veh/h	128	13	9	0	0	303
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	88	88	88	88	88	88
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	145	15	10	0	0	344

Major/Minor	Major1	Major2	Minor2		
Conflicting Flow All	10	0	-	0	315 10
Stage 1	-	-	-	-	10 -
Stage 2	-	-	-	-	305 -
Critical Hdwy	4.12	-	-	-	6.42 6.22
Critical Hdwy Stg 1	-	-	-	-	5.42 -
Critical Hdwy Stg 2	-	-	-	-	5.42 -
Follow-up Hdwy	2.218	-	-	-	3.518 3.318
Pot Cap-1 Maneuver	1610	-	-	-	678 1071
Stage 1	-	-	-	-	1013 -
Stage 2	-	-	-	-	748 -
Platoon blocked, %		-	-	-	
Mov Cap-1 Maneuver	1610	-	-	-	616 1071
Mov Cap-2 Maneuver	-	-	-	-	616 -
Stage 1	-	-	-	-	921 -
Stage 2	-	-	-	-	748 -

Approach	EB	WB	SB
HCM Control Delay, s	6.8	0	9.9
HCM LOS			A

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1610	-	-	-	1071
HCM Lane V/C Ratio	0.09	-	-	-	0.321
HCM Control Delay (s)	7.5	0	-	-	9.9
HCM Lane LOS	A	A	-	-	A
HCM 95th %tile Q(veh)	0.3	-	-	-	1.4

Intersection						
Int Delay, s/veh	0.3					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations						
Traffic Vol, veh/h	0	10	123	3	0	201
Future Vol, veh/h	0	10	123	3	0	201
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	88	88	88	88	88	88
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	11	140	3	0	228

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	370	142	0	0	143
Stage 1	142	-	-	-	-
Stage 2	228	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12
Critical Hdwy Stg 1	5.42	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218
Pot Cap-1 Maneuver	630	906	-	-	1440
Stage 1	885	-	-	-	-
Stage 2	810	-	-	-	-
Platoon blocked, %			-	-	-
Mov Cap-1 Maneuver	630	906	-	-	1440
Mov Cap-2 Maneuver	630	-	-	-	-
Stage 1	885	-	-	-	-
Stage 2	810	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	9	0	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	906	1440
HCM Lane V/C Ratio	-	-	0.013	-
HCM Control Delay (s)	-	-	9	0
HCM Lane LOS	-	-	A	A
HCM 95th %tile Q(veh)	-	-	0	0

Intersection												
Int Delay, s/veh	0.1											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	0	0	0	1	0	2	0	126	0	1	199	0
Future Vol, veh/h	0	0	0	1	0	2	0	126	0	1	199	0
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None									
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	87	87	87	87	87	87	87	87	87	87	87	87
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	0	0	0	1	0	2	0	145	0	1	229	0

Major/Minor	Minor2		Minor1		Major1		Major2					
Conflicting Flow All	377	376	229	376	376	145	229	0	0	145	0	0
Stage 1	231	231	-	145	145	-	-	-	-	-	-	-
Stage 2	146	145	-	231	231	-	-	-	-	-	-	-
Critical Hdwy	7.12	6.52	6.22	7.12	6.52	6.22	4.12	-	-	4.12	-	-
Critical Hdwy Stg 1	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Follow-up Hdwy	3.518	4.018	3.318	3.518	4.018	3.318	2.218	-	-	2.218	-	-
Pot Cap-1 Maneuver	580	555	810	581	555	902	1339	-	-	1437	-	-
Stage 1	772	713	-	858	777	-	-	-	-	-	-	-
Stage 2	857	777	-	772	713	-	-	-	-	-	-	-
Platoon blocked, %								-	-	-	-	-
Mov Cap-1 Maneuver	578	554	810	580	554	902	1339	-	-	1437	-	-
Mov Cap-2 Maneuver	578	554	-	580	554	-	-	-	-	-	-	-
Stage 1	772	712	-	858	777	-	-	-	-	-	-	-
Stage 2	855	777	-	771	712	-	-	-	-	-	-	-

Approach	EB		WB		NB		SB	
HCM Control Delay, s	0		9.8		0		0	
HCM LOS	A		A					

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	SBL	SBT	SBR
Capacity (veh/h)	1339	-	-	-	761	1437	-	-
HCM Lane V/C Ratio	-	-	-	-	0.005	0.001	-	-
HCM Control Delay (s)	0	-	-	0	9.8	7.5	0	-
HCM Lane LOS	A	-	-	A	A	A	A	-
HCM 95th %tile Q(veh)	0	-	-	-	0	0	-	-

Intersection												
Int Delay, s/veh	0.3											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	0	0	0	0	0	1	10	117	2	5	313	6
Future Vol, veh/h	0	0	0	0	0	1	10	117	2	5	313	6
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None									
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	88	88	88	88	88	88	88	88	88	88	88	88
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	0	0	0	0	0	1	11	133	2	6	356	7

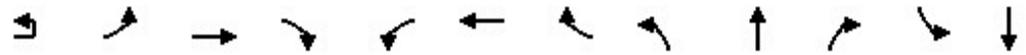
Major/Minor	Minor2		Minor1		Major1		Major2					
Conflicting Flow All	529	529	360	528	531	134	363	0	0	135	0	0
Stage 1	372	372	-	156	156	-	-	-	-	-	-	-
Stage 2	157	157	-	372	375	-	-	-	-	-	-	-
Critical Hdwy	7.12	6.52	6.22	7.12	6.52	6.22	4.12	-	-	4.12	-	-
Critical Hdwy Stg 1	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Follow-up Hdwy	3.518	4.018	3.318	3.518	4.018	3.318	2.218	-	-	2.218	-	-
Pot Cap-1 Maneuver	460	455	684	461	454	915	1196	-	-	1449	-	-
Stage 1	648	619	-	846	769	-	-	-	-	-	-	-
Stage 2	845	768	-	648	617	-	-	-	-	-	-	-
Platoon blocked, %								-	-	-	-	-
Mov Cap-1 Maneuver	454	448	684	456	447	915	1196	-	-	1449	-	-
Mov Cap-2 Maneuver	454	448	-	456	447	-	-	-	-	-	-	-
Stage 1	642	616	-	838	761	-	-	-	-	-	-	-
Stage 2	836	760	-	645	614	-	-	-	-	-	-	-

Approach	EB		WB		NB		SB	
HCM Control Delay, s	0		8.9		0.6		0.1	
HCM LOS	A		A					

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	SBL	SBT	SBR
Capacity (veh/h)	1196	-	-	-	915	1449	-	-
HCM Lane V/C Ratio	0.01	-	-	-	0.001	0.004	-	-
HCM Control Delay (s)	8	0	-	0	8.9	7.5	0	-
HCM Lane LOS	A	A	-	A	A	A	A	-
HCM 95th %tile Q(veh)	0	-	-	-	0	0	-	-

Rockwall REC Campus Expansion TIA
Lanes, Volumes, Timings

2024 Background Traffic - PM Peak
1: Sids Road & Goliad Road

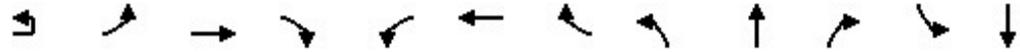


Lane Group	EBU	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT
Lane Configurations												
Traffic Volume (vph)	1	258	752	19	48	784	38	31	177	95	32	137
Future Volume (vph)	1	258	752	19	48	784	38	31	177	95	32	137
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Storage Length (ft)		285		0	185		265	285		0	330	
Storage Lanes		1		1	1		2	1		0	1	
Taper Length (ft)		25			25			25			25	
Lane Util. Factor	0.95	1.00	0.95	1.00	1.00	0.95	1.00	1.00	1.00	1.00	1.00	1.00
Frt				0.850			0.850		0.948			
Flt Protected		0.950			0.950			0.950			0.950	
Satd. Flow (prot)	0	1770	3539	1583	1770	3539	1583	1770	1766	0	1770	1863
Flt Permitted		0.155			0.223			0.646			0.458	
Satd. Flow (perm)	0	289	3539	1583	415	3539	1583	1203	1766	0	853	1863
Right Turn on Red				Yes			Yes			Yes		
Satd. Flow (RTOR)				95			95		22			
Link Speed (mph)			45			45			30			30
Link Distance (ft)			505			1013			908			822
Travel Time (s)			7.7			15.3			20.6			18.7
Peak Hour Factor	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95
Adj. Flow (vph)	1	272	792	20	51	825	40	33	186	100	34	144
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	273	792	20	51	825	40	33	286	0	34	144
Enter Blocked Intersection	No											
Lane Alignment	R NA	Left	Left	Right	Left	Left	Right	Left	Left	Right	Left	Left
Median Width(ft)			12			12			12			12
Link Offset(ft)			0			0			0			0
Crosswalk Width(ft)			16			16			16			16
Two way Left Turn Lane												
Headway Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Turning Speed (mph)	9	15		9	15		9	15		9	15	
Number of Detectors	1	1	2	1	1	2	1	1	2		1	2
Detector Template	Left	Left	Thru	Right	Left	Thru	Right	Left	Thru		Left	Thru
Leading Detector (ft)	20	20	100	20	20	100	20	20	100		20	100
Trailing Detector (ft)	0	0	0	0	0	0	0	0	0		0	0
Detector 1 Position(ft)	0	0	0	0	0	0	0	0	0		0	0
Detector 1 Size(ft)	20	20	6	20	20	6	20	20	6		20	6
Detector 1 Type	Cl+Ex		Cl+Ex	Cl+Ex								
Detector 1 Channel												
Detector 1 Extend (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0
Detector 1 Queue (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0
Detector 1 Delay (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0
Detector 2 Position(ft)			94			94			94			94
Detector 2 Size(ft)			6			6			6			6
Detector 2 Type			Cl+Ex			Cl+Ex			Cl+Ex			Cl+Ex
Detector 2 Channel												
Detector 2 Extend (s)			0.0			0.0			0.0			0.0
Turn Type	D.P+P	D.P+P	NA	Perm	D.P+P	NA	Perm	D.P+P	NA		D.P+P	NA
Protected Phases	7	7	4		3	8		5	2		1	6
Permitted Phases	8	8		4	4		8	6			2	

Lane Group	SBR
Lane Configurations	
Traffic Volume (vph)	230
Future Volume (vph)	230
Ideal Flow (vphpl)	1900
Storage Length (ft)	0
Storage Lanes	1
Taper Length (ft)	
Lane Util. Factor	1.00
Frt	0.850
Flt Protected	
Satd. Flow (prot)	1583
Flt Permitted	
Satd. Flow (perm)	1583
Right Turn on Red	Yes
Satd. Flow (RTOR)	242
Link Speed (mph)	
Link Distance (ft)	
Travel Time (s)	
Peak Hour Factor	0.95
Adj. Flow (vph)	242
Shared Lane Traffic (%)	
Lane Group Flow (vph)	242
Enter Blocked Intersection	No
Lane Alignment	Right
Median Width(ft)	
Link Offset(ft)	
Crosswalk Width(ft)	
Two way Left Turn Lane	
Headway Factor	1.00
Turning Speed (mph)	9
Number of Detectors	1
Detector Template	Right
Leading Detector (ft)	20
Trailing Detector (ft)	0
Detector 1 Position(ft)	0
Detector 1 Size(ft)	20
Detector 1 Type	Cl+Ex
Detector 1 Channel	
Detector 1 Extend (s)	0.0
Detector 1 Queue (s)	0.0
Detector 1 Delay (s)	0.0
Detector 2 Position(ft)	
Detector 2 Size(ft)	
Detector 2 Type	
Detector 2 Channel	
Detector 2 Extend (s)	
Turn Type	Perm
Protected Phases	
Permitted Phases	6

Rockwall REC Campus Expansion TIA
Lanes, Volumes, Timings

2024 Background Traffic - PM Peak
1: Sids Road & Goliad Road



Lane Group	EBU	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT
Detector Phase	7	7	4	4	3	8	8	5	2		1	6
Switch Phase												
Minimum Initial (s)	5.0	5.0	5.0	5.0	5.0	5.0	5.0	5.0	5.0		5.0	5.0
Minimum Split (s)	22.5	22.5	22.5	22.5	9.5	22.5	22.5	9.5	22.5		9.5	22.5
Total Split (s)	15.0	15.0	55.0	55.0	15.0	55.0	55.0	12.0	38.0		12.0	38.0
Total Split (%)	12.5%	12.5%	45.8%	45.8%	12.5%	45.8%	45.8%	10.0%	31.7%		10.0%	31.7%
Maximum Green (s)	10.5	10.5	50.5	50.5	10.5	50.5	50.5	7.5	33.5		7.5	33.5
Yellow Time (s)	3.5	3.5	3.5	3.5	3.5	3.5	3.5	3.5	3.5		3.5	3.5
All-Red Time (s)	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0		1.0	1.0
Lost Time Adjust (s)		0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0
Total Lost Time (s)		4.5	4.5	4.5	4.5	4.5	4.5	4.5	4.5		4.5	4.5
Lead/Lag	Lead	Lead	Lag	Lag	Lead	Lag	Lag	Lead	Lag		Lead	Lag
Lead-Lag Optimize?	Yes		Yes	Yes								
Vehicle Extension (s)	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0		3.0	3.0
Recall Mode	None	Max		None	Max							
Walk Time (s)	7.0	7.0	7.0	7.0		7.0	7.0		7.0			7.0
Flash Dont Walk (s)	11.0	11.0	11.0	11.0		11.0	11.0		11.0			11.0
Pedestrian Calls (#/hr)	0	0	0	0		0	0		0			0
Act Effct Green (s)		39.1	37.0	37.0	41.3	28.4	28.4	38.0	34.1		38.0	34.1
Actuated g/C Ratio		0.42	0.40	0.40	0.44	0.30	0.30	0.41	0.37		0.41	0.37
v/c Ratio		0.94	0.56	0.03	0.18	0.77	0.07	0.06	0.43		0.08	0.21
Control Delay		62.5	25.7	0.1	15.9	34.8	0.3	17.4	25.8		17.6	24.7
Queue Delay		0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0
Total Delay		62.5	25.7	0.1	15.9	34.8	0.3	17.4	25.8		17.6	24.7
LOS		E	C	A	B	C	A	B	C		B	C
Approach Delay			34.4			32.2			24.9			12.7
Approach LOS			C			C			C			B
Queue Length 50th (ft)		112	220	0	17	245	0	11	126		11	63
Queue Length 95th (ft)		#287	294	0	38	317	0	32	234		33	127
Internal Link Dist (ft)			425			933			828			742
Turn Bay Length (ft)		285			185		265	285			330	
Base Capacity (vph)		291	1951	915	345	1951	915	539	659		424	681
Starvation Cap Reductn		0	0	0	0	0	0	0	0		0	0
Spillback Cap Reductn		0	0	0	0	0	0	0	0		0	0
Storage Cap Reductn		0	0	0	0	0	0	0	0		0	0
Reduced v/c Ratio		0.94	0.41	0.02	0.15	0.42	0.04	0.06	0.43		0.08	0.21

Intersection Summary

Area Type:	Other
Cycle Length:	120
Actuated Cycle Length:	93.3
Natural Cycle:	80
Control Type:	Actuated-Uncoordinated
Maximum v/c Ratio:	0.94
Intersection Signal Delay:	29.3
Intersection LOS:	C
Intersection Capacity Utilization:	70.3%
ICU Level of Service:	C
Analysis Period (min):	15
# 95th percentile volume exceeds capacity, queue may be longer. Queue shown is maximum after two cycles.	

Splits and Phases: 1: Sids Road & Goliad Road

 Ø1	 Ø2	 Ø3	 Ø4
12 s	38 s	15 s	55 s
 Ø5	 Ø6	 Ø7	 Ø8
12 s	38 s	15 s	55 s

Lane Group	SBR
Detector Phase	6
Switch Phase	
Minimum Initial (s)	5.0
Minimum Split (s)	22.5
Total Split (s)	38.0
Total Split (%)	31.7%
Maximum Green (s)	33.5
Yellow Time (s)	3.5
All-Red Time (s)	1.0
Lost Time Adjust (s)	0.0
Total Lost Time (s)	4.5
Lead/Lag	Lag
Lead-Lag Optimize?	Yes
Vehicle Extension (s)	3.0
Recall Mode	Max
Walk Time (s)	7.0
Flash Dont Walk (s)	11.0
Pedestrian Calls (#/hr)	0
Act Effct Green (s)	34.1
Actuated g/C Ratio	0.37
v/c Ratio	0.33
Control Delay	4.9
Queue Delay	0.0
Total Delay	4.9
LOS	A
Approach Delay	
Approach LOS	
Queue Length 50th (ft)	0
Queue Length 95th (ft)	56
Internal Link Dist (ft)	
Turn Bay Length (ft)	
Base Capacity (vph)	732
Starvation Cap Reductn	0
Spillback Cap Reductn	0
Storage Cap Reductn	0
Reduced v/c Ratio	0.33
Intersection Summary	

Intersection						
Int Delay, s/veh	8.2					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations		↕	↕		↕	
Traffic Vol, veh/h	231	6	7	3	2	205
Future Vol, veh/h	231	6	7	3	2	205
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	93	93	93	93	93	93
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	248	6	8	3	2	220

Major/Minor	Major1	Major2	Minor2		
Conflicting Flow All	11	0	-	0	512 10
Stage 1	-	-	-	-	10 -
Stage 2	-	-	-	-	502 -
Critical Hdwy	4.12	-	-	-	6.42 6.22
Critical Hdwy Stg 1	-	-	-	-	5.42 -
Critical Hdwy Stg 2	-	-	-	-	5.42 -
Follow-up Hdwy	2.218	-	-	-	3.518 3.318
Pot Cap-1 Maneuver	1608	-	-	-	522 1071
Stage 1	-	-	-	-	1013 -
Stage 2	-	-	-	-	608 -
Platoon blocked, %		-	-	-	
Mov Cap-1 Maneuver	1608	-	-	-	441 1071
Mov Cap-2 Maneuver	-	-	-	-	441 -
Stage 1	-	-	-	-	856 -
Stage 2	-	-	-	-	608 -

Approach	EB	WB	SB
HCM Control Delay, s	7.5	0	9.3
HCM LOS			A

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1608	-	-	-	1056
HCM Lane V/C Ratio	0.154	-	-	-	0.211
HCM Control Delay (s)	7.6	0	-	-	9.3
HCM Lane LOS	A	A	-	-	A
HCM 95th %tile Q(veh)	0.5	-	-	-	0.8

Intersection						
Int Delay, s/veh	0.2					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	W		T			T
Traffic Vol, veh/h	2	2	238	0	10	302
Future Vol, veh/h	2	2	238	0	10	302
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	2	2	259	0	11	328

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	609	259	0	0	259
Stage 1	259	-	-	-	-
Stage 2	350	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12
Critical Hdwy Stg 1	5.42	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218
Pot Cap-1 Maneuver	458	780	-	-	1306
Stage 1	784	-	-	-	-
Stage 2	713	-	-	-	-
Platoon blocked, %			-	-	-
Mov Cap-1 Maneuver	453	780	-	-	1306
Mov Cap-2 Maneuver	453	-	-	-	-
Stage 1	784	-	-	-	-
Stage 2	706	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	11.3	0	0.2
HCM LOS	B		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	573	1306
HCM Lane V/C Ratio	-	-	0.008	0.008
HCM Control Delay (s)	-	-	11.3	7.8
HCM Lane LOS	-	-	B	A
HCM 95th %tile Q(veh)	-	-	0	0

Intersection												
Int Delay, s/veh	0.2											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	2	0	0	3	0	4	0	248	0	4	310	5
Future Vol, veh/h	2	0	0	3	0	4	0	248	0	4	310	5
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None									
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	96	96	96	96	96	96	96	96	96	96	96	96
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	2	0	0	3	0	4	0	258	0	4	323	5

Major/Minor	Minor2		Minor1		Major1		Major2					
Conflicting Flow All	594	592	326	592	594	258	328	0	0	258	0	0
Stage 1	334	334	-	258	258	-	-	-	-	-	-	-
Stage 2	260	258	-	334	336	-	-	-	-	-	-	-
Critical Hdwy	7.12	6.52	6.22	7.12	6.52	6.22	4.12	-	-	4.12	-	-
Critical Hdwy Stg 1	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Follow-up Hdwy	3.518	4.018	3.318	3.518	4.018	3.318	2.218	-	-	2.218	-	-
Pot Cap-1 Maneuver	417	419	715	418	418	781	1232	-	-	1307	-	-
Stage 1	680	643	-	747	694	-	-	-	-	-	-	-
Stage 2	745	694	-	680	642	-	-	-	-	-	-	-
Platoon blocked, %								-	-	-	-	-
Mov Cap-1 Maneuver	414	417	715	417	416	781	1232	-	-	1307	-	-
Mov Cap-2 Maneuver	414	417	-	417	416	-	-	-	-	-	-	-
Stage 1	680	640	-	747	694	-	-	-	-	-	-	-
Stage 2	741	694	-	677	639	-	-	-	-	-	-	-

Approach	EB		WB		NB		SB	
HCM Control Delay, s	13.7		11.4		0		0.1	
HCM LOS	B		B					

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	SBL	SBT	SBR
Capacity (veh/h)	1232	-	-	414	568	1307	-	-
HCM Lane V/C Ratio	-	-	-	0.005	0.013	0.003	-	-
HCM Control Delay (s)	0	-	-	13.7	11.4	7.8	0	-
HCM Lane LOS	A	-	-	B	B	A	A	-
HCM 95th %tile Q(veh)	0	-	-	0	0	0	-	-

Intersection												
Int Delay, s/veh	0.5											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	5	0	1	4	0	3	9	296	1	3	178	31
Future Vol, veh/h	5	0	1	4	0	3	9	296	1	3	178	31
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None									
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	5	0	1	4	0	3	10	322	1	3	193	34

Major/Minor	Minor2		Minor1		Major1		Major2					
Conflicting Flow All	560	559	210	560	576	323	227	0	0	323	0	0
Stage 1	216	216	-	343	343	-	-	-	-	-	-	-
Stage 2	344	343	-	217	233	-	-	-	-	-	-	-
Critical Hdwy	7.12	6.52	6.22	7.12	6.52	6.22	4.12	-	-	4.12	-	-
Critical Hdwy Stg 1	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Follow-up Hdwy	3.518	4.018	3.318	3.518	4.018	3.318	2.218	-	-	2.218	-	-
Pot Cap-1 Maneuver	439	438	830	439	428	718	1341	-	-	1237	-	-
Stage 1	786	724	-	672	637	-	-	-	-	-	-	-
Stage 2	671	637	-	785	712	-	-	-	-	-	-	-
Platoon blocked, %								-	-	-	-	-
Mov Cap-1 Maneuver	433	433	830	435	423	718	1341	-	-	1237	-	-
Mov Cap-2 Maneuver	433	433	-	435	423	-	-	-	-	-	-	-
Stage 1	779	722	-	666	631	-	-	-	-	-	-	-
Stage 2	662	631	-	782	710	-	-	-	-	-	-	-

Approach	EB		WB		NB		SB	
HCM Control Delay, s	12.8		12		0.2		0.1	
HCM LOS	B		B					

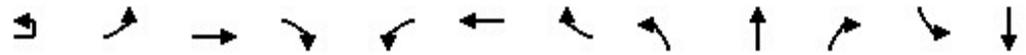
Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	SBL	SBT	SBR
Capacity (veh/h)	1341	-	-	471	523	1237	-	-
HCM Lane V/C Ratio	0.007	-	-	0.014	0.015	0.003	-	-
HCM Control Delay (s)	7.7	0	-	12.8	12	7.9	0	-
HCM Lane LOS	A	A	-	B	B	A	A	-
HCM 95th %tile Q(veh)	0	-	-	0	0	0	-	-



Synchro™ Output - 2024 Background Plus Site Traffic

Rockwall REC Campus Expansion TIA
Lanes, Volumes, Timings

2024 Background + Site Traffic - AM Peak
1: Sids Road & Goliad Road

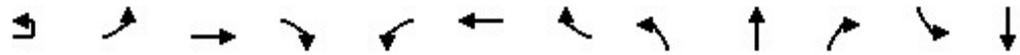


Lane Group	EBU	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT
Lane Configurations												
Traffic Volume (vph)	2	120	574	21	53	874	16	17	79	32	63	269
Future Volume (vph)	2	120	574	21	53	874	16	17	79	32	63	269
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Storage Length (ft)		285		0	185		265	285		0	330	
Storage Lanes		1		1	1		2	1		0	1	
Taper Length (ft)		25			25			25			25	
Lane Util. Factor	0.95	1.00	0.95	1.00	1.00	0.95	1.00	1.00	1.00	1.00	1.00	1.00
Frt				0.850			0.850		0.957			
Flt Protected		0.950			0.950			0.950			0.950	
Satd. Flow (prot)	0	1770	3539	1583	1770	3539	1583	1770	1783	0	1770	1863
Flt Permitted		0.118			0.311			0.472			0.678	
Satd. Flow (perm)	0	220	3539	1583	579	3539	1583	879	1783	0	1263	1863
Right Turn on Red				Yes			Yes			Yes		
Satd. Flow (RTOR)				95			95		17			
Link Speed (mph)			45			45			30			30
Link Distance (ft)			505			1013			919			822
Travel Time (s)			7.7			15.3			20.9			18.7
Peak Hour Factor	0.94	0.94	0.94	0.94	0.94	0.94	0.94	0.94	0.94	0.94	0.94	0.94
Adj. Flow (vph)	2	128	611	22	56	930	17	18	84	34	67	286
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	130	611	22	56	930	17	18	118	0	67	286
Enter Blocked Intersection	No											
Lane Alignment	R NA	Left	Left	Right	Left	Left	Right	Left	Left	Right	Left	Left
Median Width(ft)			12			12			12			12
Link Offset(ft)			0			0			0			0
Crosswalk Width(ft)			16			16			16			16
Two way Left Turn Lane												
Headway Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Turning Speed (mph)	9	15		9	15		9	15		9	15	
Number of Detectors	1	1	2	1	1	2	1	1	2		1	2
Detector Template	Left	Left	Thru	Right	Left	Thru	Right	Left	Thru		Left	Thru
Leading Detector (ft)	20	20	100	20	20	100	20	20	100		20	100
Trailing Detector (ft)	0	0	0	0	0	0	0	0	0		0	0
Detector 1 Position(ft)	0	0	0	0	0	0	0	0	0		0	0
Detector 1 Size(ft)	20	20	6	20	20	6	20	20	6		20	6
Detector 1 Type	Cl+Ex		Cl+Ex	Cl+Ex								
Detector 1 Channel												
Detector 1 Extend (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0
Detector 1 Queue (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0
Detector 1 Delay (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0
Detector 2 Position(ft)			94			94			94			94
Detector 2 Size(ft)			6			6			6			6
Detector 2 Type			Cl+Ex			Cl+Ex			Cl+Ex			Cl+Ex
Detector 2 Channel												
Detector 2 Extend (s)			0.0			0.0			0.0			0.0
Turn Type	D.P+P	D.P+P	NA	Perm	D.P+P	NA	Perm	D.P+P	NA		D.P+P	NA
Protected Phases	7	7	4		3	8		5	2		1	6
Permitted Phases	8	8		4	4		8	6			2	

Lane Group	SBR
Lane Configurations	
Traffic Volume (vph)	585
Future Volume (vph)	585
Ideal Flow (vphpl)	1900
Storage Length (ft)	0
Storage Lanes	1
Taper Length (ft)	
Lane Util. Factor	1.00
Frt	0.850
Flt Protected	
Satd. Flow (prot)	1583
Flt Permitted	
Satd. Flow (perm)	1583
Right Turn on Red	Yes
Satd. Flow (RTOR)	313
Link Speed (mph)	
Link Distance (ft)	
Travel Time (s)	
Peak Hour Factor	0.94
Adj. Flow (vph)	622
Shared Lane Traffic (%)	
Lane Group Flow (vph)	622
Enter Blocked Intersection	No
Lane Alignment	Right
Median Width(ft)	
Link Offset(ft)	
Crosswalk Width(ft)	
Two way Left Turn Lane	
Headway Factor	1.00
Turning Speed (mph)	9
Number of Detectors	1
Detector Template	Right
Leading Detector (ft)	20
Trailing Detector (ft)	0
Detector 1 Position(ft)	0
Detector 1 Size(ft)	20
Detector 1 Type	Cl+Ex
Detector 1 Channel	
Detector 1 Extend (s)	0.0
Detector 1 Queue (s)	0.0
Detector 1 Delay (s)	0.0
Detector 2 Position(ft)	
Detector 2 Size(ft)	
Detector 2 Type	
Detector 2 Channel	
Detector 2 Extend (s)	
Turn Type	Perm
Protected Phases	
Permitted Phases	6

Rockwall REC Campus Expansion TIA
Lanes, Volumes, Timings

2024 Background + Site Traffic - AM Peak
1: Sids Road & Goliad Road

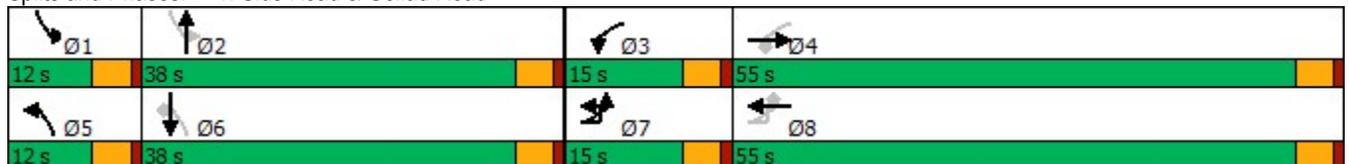


Lane Group	EBU	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT
Detector Phase	7	7	4	4	3	8	8	5	2		1	6
Switch Phase												
Minimum Initial (s)	5.0	5.0	5.0	5.0	5.0	5.0	5.0	5.0	5.0		5.0	5.0
Minimum Split (s)	22.5	22.5	22.5	22.5	9.5	22.5	22.5	9.5	22.5		9.5	22.5
Total Split (s)	15.0	15.0	55.0	55.0	15.0	55.0	55.0	12.0	38.0		12.0	38.0
Total Split (%)	12.5%	12.5%	45.8%	45.8%	12.5%	45.8%	45.8%	10.0%	31.7%		10.0%	31.7%
Maximum Green (s)	10.5	10.5	50.5	50.5	10.5	50.5	50.5	7.5	33.5		7.5	33.5
Yellow Time (s)	3.5	3.5	3.5	3.5	3.5	3.5	3.5	3.5	3.5		3.5	3.5
All-Red Time (s)	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0		1.0	1.0
Lost Time Adjust (s)		0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0
Total Lost Time (s)		4.5	4.5	4.5	4.5	4.5	4.5	4.5	4.5		4.5	4.5
Lead/Lag	Lead	Lead	Lag	Lag	Lead	Lag	Lag	Lead	Lag		Lead	Lag
Lead-Lag Optimize?	Yes		Yes	Yes								
Vehicle Extension (s)	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0		3.0	3.0
Recall Mode	None	Max		None	Max							
Walk Time (s)	7.0	7.0	7.0	7.0		7.0	7.0		7.0			7.0
Flash Dont Walk (s)	11.0	11.0	11.0	11.0		11.0	11.0		11.0			11.0
Pedestrian Calls (#/hr)	0	0	0	0		0	0		0			0
Act Effct Green (s)		41.8	37.2	37.2	43.0	32.6	32.6	41.5	34.2		39.7	39.1
Actuated g/C Ratio		0.42	0.38	0.38	0.44	0.33	0.33	0.42	0.35		0.40	0.40
v/c Ratio		0.55	0.46	0.03	0.17	0.80	0.03	0.04	0.19		0.12	0.39
Control Delay		25.2	25.5	0.1	15.6	35.9	0.1	19.1	23.8		19.4	26.8
Queue Delay		0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0
Total Delay		25.2	25.5	0.1	15.6	35.9	0.1	19.1	23.8		19.4	26.8
LOS		C	C	A	B	D	A	B	C		B	C
Approach Delay			24.7			34.1			23.2			23.2
Approach LOS			C			C			C			C

Intersection Summary

Area Type:	Other
Cycle Length:	120
Actuated Cycle Length:	98.7
Natural Cycle:	90
Control Type:	Actuated-Uncoordinated
Maximum v/c Ratio:	0.80
Intersection Signal Delay:	27.4
Intersection LOS:	C
Intersection Capacity Utilization:	86.3%
ICU Level of Service:	E
Analysis Period (min):	15

Splits and Phases: 1: Sids Road & Goliad Road



Lane Group	SBR
Detector Phase	6
Switch Phase	
Minimum Initial (s)	5.0
Minimum Split (s)	22.5
Total Split (s)	38.0
Total Split (%)	31.7%
Maximum Green (s)	33.5
Yellow Time (s)	3.5
All-Red Time (s)	1.0
Lost Time Adjust (s)	0.0
Total Lost Time (s)	4.5
Lead/Lag	Lag
Lead-Lag Optimize?	Yes
Vehicle Extension (s)	3.0
Recall Mode	Max
Walk Time (s)	7.0
Flash Dont Walk (s)	11.0
Pedestrian Calls (#/hr)	0
Act Effct Green (s)	39.1
Actuated g/C Ratio	0.40
v/c Ratio	0.76
Control Delay	21.9
Queue Delay	0.0
Total Delay	21.9
LOS	C
Approach Delay	
Approach LOS	
Intersection Summary	



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	SBL	SBT	SBR
Lane Group Flow (vph)	130	611	22	56	930	17	18	118	67	286	622
v/c Ratio	0.55	0.46	0.03	0.17	0.80	0.03	0.04	0.19	0.12	0.39	0.76
Control Delay	25.2	25.5	0.1	15.6	35.9	0.1	19.1	23.8	19.4	26.8	21.9
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	25.2	25.5	0.1	15.6	35.9	0.1	19.1	23.8	19.4	26.8	21.9
Queue Length 50th (ft)	47	162	0	19	290	0	7	47	25	120	160
Queue Length 95th (ft)	86	217	0	41	366	0	23	103	60	260	#471
Internal Link Dist (ft)		425			933			839		742	
Turn Bay Length (ft)	285			185		265	285		330		
Base Capacity (vph)	265	1850	872	394	1850	872	440	629	549	737	815
Starvation Cap Reductn	0	0	0	0	0	0	0	0	0	0	0
Spillback Cap Reductn	0	0	0	0	0	0	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0	0	0	0	0	0	0
Reduced v/c Ratio	0.49	0.33	0.03	0.14	0.50	0.02	0.04	0.19	0.12	0.39	0.76

Intersection Summary

95th percentile volume exceeds capacity, queue may be longer.
Queue shown is maximum after two cycles.

Intersection						
Int Delay, s/veh	8.8					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations		↕	↕		↕	
Traffic Vol, veh/h	131	13	9	0	0	306
Future Vol, veh/h	131	13	9	0	0	306
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	88	88	88	88	88	88
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	149	15	10	0	0	348

Major/Minor	Major1	Major2	Minor2		
Conflicting Flow All	10	0	-	0	323 10
Stage 1	-	-	-	-	10 -
Stage 2	-	-	-	-	313 -
Critical Hdwy	4.12	-	-	-	6.42 6.22
Critical Hdwy Stg 1	-	-	-	-	5.42 -
Critical Hdwy Stg 2	-	-	-	-	5.42 -
Follow-up Hdwy	2.218	-	-	-	3.518 3.318
Pot Cap-1 Maneuver	1610	-	-	-	671 1071
Stage 1	-	-	-	-	1013 -
Stage 2	-	-	-	-	741 -
Platoon blocked, %		-	-	-	
Mov Cap-1 Maneuver	1610	-	-	-	609 1071
Mov Cap-2 Maneuver	-	-	-	-	609 -
Stage 1	-	-	-	-	919 -
Stage 2	-	-	-	-	741 -

Approach	EB	WB	SB
HCM Control Delay, s	6.8	0	10
HCM LOS			B

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1610	-	-	-	1071
HCM Lane V/C Ratio	0.092	-	-	-	0.325
HCM Control Delay (s)	7.5	0	-	-	10
HCM Lane LOS	A	A	-	-	B
HCM 95th %tile Q(veh)	0.3	-	-	-	1.4

Intersection						
Int Delay, s/veh	8.1					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	↘↗		↘	↑	↑	↘
Traffic Vol, veh/h	0	58	22	0	0	0
Future Vol, veh/h	0	58	22	0	0	0
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	400	-	-	0
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	91	91	91	91	91	91
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	64	24	0	0	0

Major/Minor	Minor2	Major1		Major2	
Conflicting Flow All	49	1	1	0	0
Stage 1	1	-	-	-	-
Stage 2	48	-	-	-	-
Critical Hdwy	6.42	6.22	4.12	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-
Follow-up Hdwy	3.518	3.318	2.218	-	-
Pot Cap-1 Maneuver	960	1084	1622	-	-
Stage 1	1022	-	-	-	-
Stage 2	974	-	-	-	-
Platoon blocked, %				-	-
Mov Cap-1 Maneuver	946	1084	1622	-	-
Mov Cap-2 Maneuver	946	-	-	-	-
Stage 1	1007	-	-	-	-
Stage 2	974	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	8.5	7.3	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1622	-	1084	-	-
HCM Lane V/C Ratio	0.015	-	0.059	-	-
HCM Control Delay (s)	7.3	-	8.5	-	-
HCM Lane LOS	A	-	A	-	-
HCM 95th %tile Q(veh)	0	-	0.2	-	-

Intersection						
Int Delay, s/veh	0.3					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	W		T			T
Traffic Vol, veh/h	0	11	124	4	1	201
Future Vol, veh/h	0	11	124	4	1	201
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	88	88	88	88	88	88
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	13	141	5	1	228

Major/Minor	Minor1	Major1	Major2		
Conflicting Flow All	374	144	0	0	146
Stage 1	144	-	-	-	-
Stage 2	230	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12
Critical Hdwy Stg 1	5.42	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218
Pot Cap-1 Maneuver	627	903	-	-	1436
Stage 1	883	-	-	-	-
Stage 2	808	-	-	-	-
Platoon blocked, %			-	-	-
Mov Cap-1 Maneuver	626	903	-	-	1436
Mov Cap-2 Maneuver	626	-	-	-	-
Stage 1	883	-	-	-	-
Stage 2	807	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	9	0	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	903	1436
HCM Lane V/C Ratio	-	-	0.014	0.001
HCM Control Delay (s)	-	-	9	7.5
HCM Lane LOS	-	-	A	A
HCM 95th %tile Q(veh)	-	-	0	0

Intersection												
Int Delay, s/veh	0.2											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	0	0	0	1	0	4	0	128	1	2	200	0
Future Vol, veh/h	0	0	0	1	0	4	0	128	1	2	200	0
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None									
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	87	87	87	87	87	87	87	87	87	87	87	87
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	0	0	0	1	0	5	0	147	1	2	230	0

Major/Minor	Minor2		Minor1		Major1		Major2					
Conflicting Flow All	384	382	230	382	382	148	230	0	0	148	0	0
Stage 1	234	234	-	148	148	-	-	-	-	-	-	-
Stage 2	150	148	-	234	234	-	-	-	-	-	-	-
Critical Hdwy	7.12	6.52	6.22	7.12	6.52	6.22	4.12	-	-	4.12	-	-
Critical Hdwy Stg 1	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Follow-up Hdwy	3.518	4.018	3.318	3.518	4.018	3.318	2.218	-	-	2.218	-	-
Pot Cap-1 Maneuver	574	551	809	576	551	899	1338	-	-	1434	-	-
Stage 1	769	711	-	855	775	-	-	-	-	-	-	-
Stage 2	853	775	-	769	711	-	-	-	-	-	-	-
Platoon blocked, %								-	-	-	-	-
Mov Cap-1 Maneuver	570	550	809	575	550	899	1338	-	-	1434	-	-
Mov Cap-2 Maneuver	570	550	-	575	550	-	-	-	-	-	-	-
Stage 1	769	710	-	855	775	-	-	-	-	-	-	-
Stage 2	849	775	-	767	710	-	-	-	-	-	-	-

Approach	EB		WB		NB		SB	
HCM Control Delay, s	0		9.5		0		0.1	
HCM LOS	A		A					

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	SBL	SBT	SBR
Capacity (veh/h)	1338	-	-	-	808	1434	-	-
HCM Lane V/C Ratio	-	-	-	-	0.007	0.002	-	-
HCM Control Delay (s)	0	-	-	0	9.5	7.5	0	-
HCM Lane LOS	A	-	-	A	A	A	A	-
HCM 95th %tile Q(veh)	0	-	-	-	0	0	-	-

Intersection												
Int Delay, s/veh	0.4											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	0	0	0	0	0	4	10	120	3	8	316	6
Future Vol, veh/h	0	0	0	0	0	4	10	120	3	8	316	6
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None									
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	88	88	88	88	88	88	88	88	88	88	88	88
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	0	0	0	0	0	5	11	136	3	9	359	7

Major/Minor	Minor2		Minor1		Major1		Major2					
Conflicting Flow All	543	542	363	541	544	138	366	0	0	139	0	0
Stage 1	381	381	-	160	160	-	-	-	-	-	-	-
Stage 2	162	161	-	381	384	-	-	-	-	-	-	-
Critical Hdwy	7.12	6.52	6.22	7.12	6.52	6.22	4.12	-	-	4.12	-	-
Critical Hdwy Stg 1	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Follow-up Hdwy	3.518	4.018	3.318	3.518	4.018	3.318	2.218	-	-	2.218	-	-
Pot Cap-1 Maneuver	451	447	682	452	446	910	1193	-	-	1445	-	-
Stage 1	641	613	-	842	766	-	-	-	-	-	-	-
Stage 2	840	765	-	641	611	-	-	-	-	-	-	-
Platoon blocked, %								-	-	-	-	-
Mov Cap-1 Maneuver	442	439	682	446	438	910	1193	-	-	1445	-	-
Mov Cap-2 Maneuver	442	439	-	446	438	-	-	-	-	-	-	-
Stage 1	635	608	-	834	758	-	-	-	-	-	-	-
Stage 2	827	757	-	636	606	-	-	-	-	-	-	-

Approach	EB		WB		NB		SB	
HCM Control Delay, s	0		9		0.6		0.2	
HCM LOS	A		A					

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	SBL	SBT	SBR
Capacity (veh/h)	1193	-	-	-	910	1445	-	-
HCM Lane V/C Ratio	0.01	-	-	-	0.005	0.006	-	-
HCM Control Delay (s)	8	0	-	0	9	7.5	0	-
HCM Lane LOS	A	A	-	A	A	A	A	-
HCM 95th %tile Q(veh)	0	-	-	-	0	0	-	-

Intersection						
Int Delay, s/veh	0					
Movement	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations	↔			↑		↗
Traffic Vol, veh/h	668	1	0	943	0	3
Future Vol, veh/h	668	1	0	943	0	3
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	-	0
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	726	1	0	1025	0	3

Major/Minor	Major1	Major2	Minor1		
Conflicting Flow All	0	0	-	-	- 727
Stage 1	-	-	-	-	-
Stage 2	-	-	-	-	-
Critical Hdwy	-	-	-	-	- 6.22
Critical Hdwy Stg 1	-	-	-	-	-
Critical Hdwy Stg 2	-	-	-	-	-
Follow-up Hdwy	-	-	-	-	- 3.318
Pot Cap-1 Maneuver	-	-	0	-	0 424
Stage 1	-	-	0	-	0 -
Stage 2	-	-	0	-	0 -
Platoon blocked, %	-	-	-	-	-
Mov Cap-1 Maneuver	-	-	-	-	- 424
Mov Cap-2 Maneuver	-	-	-	-	-
Stage 1	-	-	-	-	-
Stage 2	-	-	-	-	-

Approach	EB	WB	NB
HCM Control Delay, s	0	0	13.6
HCM LOS			B

Minor Lane/Major Mvmt	NBLn1	EBT	EBR	WBT
Capacity (veh/h)	424	-	-	-
HCM Lane V/C Ratio	0.008	-	-	-
HCM Control Delay (s)	13.6	-	-	-
HCM Lane LOS	B	-	-	-
HCM 95th %tile Q(veh)	0	-	-	-

Intersection													
Int Delay, s/veh	1.4												
Movement	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕				↕			↕			↕	
Traffic Vol, veh/h	0	3	3	1	49	16	2	2	0	9	3	0	0
Future Vol, veh/h	0	3	3	1	49	16	2	2	0	9	3	0	0
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Stop	Stop	Stop	Stop	Stop	Stop						
RT Channelized	-	-	None	-	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	65	65	65	65	65	65	65	65	65	65	65	65	65
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	0	5	5	2	75	25	3	3	0	14	5	0	0

Major/Minor	Major1			Major2			Minor1			Minor2			
Conflicting Flow All	28	0	0	-	10	0	0	185	190	8	192	191	27
Stage 1	-	-	-	-	-	-	-	8	8	-	177	181	-
Stage 2	-	-	-	-	-	-	-	177	182	-	15	10	-
Critical Hdwy	4.12	-	-	-	4.12	-	-	7.12	6.52	6.22	7.12	6.52	6.22
Critical Hdwy Stg 1	-	-	-	-	-	-	-	6.12	5.52	-	6.12	5.52	-
Critical Hdwy Stg 2	-	-	-	-	-	-	-	6.12	5.52	-	6.12	5.52	-
Follow-up Hdwy	2.218	-	-	-	2.218	-	-	3.518	4.018	3.318	3.518	4.018	3.318
Pot Cap-1 Maneuver	1585	-	-	-	1610	-	-	776	705	1074	768	704	1048
Stage 1	-	-	-	-	-	-	-	1013	889	-	825	750	-
Stage 2	-	-	-	-	-	-	-	825	749	-	1005	887	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	1585	-	-	~ -52	~ -52	-	-	776	705	1074	758	704	1048
Mov Cap-2 Maneuver	-	-	-	-	-	-	-	776	705	-	758	704	-
Stage 1	-	-	-	-	-	-	-	1013	889	-	825	750	-
Stage 2	-	-	-	-	-	-	-	825	749	-	992	887	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	0		8.6	9.8
HCM LOS			A	A

Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1
Capacity (veh/h)	1004	1585	-	-	+	-	-	758
HCM Lane V/C Ratio	0.017	-	-	-	-	-	-	0.006
HCM Control Delay (s)	8.6	0	-	-	-	-	-	9.8
HCM Lane LOS	A	A	-	-	-	-	-	A
HCM 95th %tile Q(veh)	0.1	0	-	-	-	-	-	0

Notes
 ~: Volume exceeds capacity \$: Delay exceeds 300s +: Computation Not Defined *: All major volume in platoon

Intersection						
Int Delay, s/veh	0.1					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	W		T			T
Traffic Vol, veh/h	0	3	124	0	2	331
Future Vol, veh/h	0	3	124	0	2	331
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	68	68	68	68	68	68
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	4	182	0	3	487

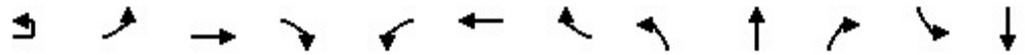
Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	675	182	0	0	182	0
Stage 1	182	-	-	-	-	-
Stage 2	493	-	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218	-
Pot Cap-1 Maneuver	419	861	-	-	1393	-
Stage 1	849	-	-	-	-	-
Stage 2	614	-	-	-	-	-
Platoon blocked, %			-	-		-
Mov Cap-1 Maneuver	418	861	-	-	1393	-
Mov Cap-2 Maneuver	418	-	-	-	-	-
Stage 1	849	-	-	-	-	-
Stage 2	612	-	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	9.2	0	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	861	1393
HCM Lane V/C Ratio	-	-	0.005	0.002
HCM Control Delay (s)	-	-	9.2	7.6
HCM Lane LOS	-	-	A	A
HCM 95th %tile Q(veh)	-	-	0	0

Rockwall REC Campus Expansion TIA
Lanes, Volumes, Timings

2024 Background + Site Traffic - PM peak
1: Sids Road & Goliad Road

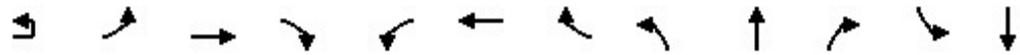


Lane Group	EBU	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT
Lane Configurations												
Traffic Volume (vph)	1	258	754	23	51	784	38	38	182	95	32	141
Future Volume (vph)	1	258	754	23	51	784	38	38	182	95	32	141
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Storage Length (ft)		285		0	185		265	285		0	330	
Storage Lanes		1		1	1		2	1		0	1	
Taper Length (ft)		25			25			25			25	
Lane Util. Factor	0.95	1.00	0.95	1.00	1.00	0.95	1.00	1.00	1.00	1.00	1.00	1.00
Frt				0.850			0.850		0.949			
Flt Protected		0.950			0.950			0.950			0.950	
Satd. Flow (prot)	0	1770	3539	1583	1770	3539	1583	1770	1768	0	1770	1863
Flt Permitted		0.152			0.209			0.641			0.451	
Satd. Flow (perm)	0	283	3539	1583	389	3539	1583	1194	1768	0	840	1863
Right Turn on Red				Yes			Yes			Yes		
Satd. Flow (RTOR)				95			95		22			
Link Speed (mph)			45			45			30			30
Link Distance (ft)			505			1013			919			822
Travel Time (s)			7.7			15.3			20.9			18.7
Peak Hour Factor	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95
Adj. Flow (vph)	1	272	794	24	54	825	40	40	192	100	34	148
Shared Lane Traffic (%)												
Lane Group Flow (vph)	0	273	794	24	54	825	40	40	292	0	34	148
Enter Blocked Intersection	No											
Lane Alignment	R NA	Left	Left	Right	Left	Left	Right	Left	Left	Right	Left	Left
Median Width(ft)			12			12			12			12
Link Offset(ft)			0			0			0			0
Crosswalk Width(ft)			16			16			16			16
Two way Left Turn Lane												
Headway Factor	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Turning Speed (mph)	9	15		9	15		9	15		9	15	
Number of Detectors	1	1	2	1	1	2	1	1	2		1	2
Detector Template	Left	Left	Thru	Right	Left	Thru	Right	Left	Thru		Left	Thru
Leading Detector (ft)	20	20	100	20	20	100	20	20	100		20	100
Trailing Detector (ft)	0	0	0	0	0	0	0	0	0		0	0
Detector 1 Position(ft)	0	0	0	0	0	0	0	0	0		0	0
Detector 1 Size(ft)	20	20	6	20	20	6	20	20	6		20	6
Detector 1 Type	Cl+Ex		Cl+Ex	Cl+Ex								
Detector 1 Channel												
Detector 1 Extend (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0
Detector 1 Queue (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0
Detector 1 Delay (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0
Detector 2 Position(ft)			94			94			94			94
Detector 2 Size(ft)			6			6			6			6
Detector 2 Type			Cl+Ex			Cl+Ex			Cl+Ex			Cl+Ex
Detector 2 Channel												
Detector 2 Extend (s)			0.0			0.0			0.0			0.0
Turn Type	D.P+P	D.P+P	NA	Perm	D.P+P	NA	Perm	D.P+P	NA		D.P+P	NA
Protected Phases	7	7	4		3	8		5	2		1	6
Permitted Phases	8	8		4	4		8	6			2	

Lane Group	SBR
Lane Configurations	
Traffic Volume (vph)	230
Future Volume (vph)	230
Ideal Flow (vphpl)	1900
Storage Length (ft)	0
Storage Lanes	1
Taper Length (ft)	
Lane Util. Factor	1.00
Frt	0.850
Flt Protected	
Satd. Flow (prot)	1583
Flt Permitted	
Satd. Flow (perm)	1583
Right Turn on Red	Yes
Satd. Flow (RTOR)	242
Link Speed (mph)	
Link Distance (ft)	
Travel Time (s)	
Peak Hour Factor	0.95
Adj. Flow (vph)	242
Shared Lane Traffic (%)	
Lane Group Flow (vph)	242
Enter Blocked Intersection	No
Lane Alignment	Right
Median Width(ft)	
Link Offset(ft)	
Crosswalk Width(ft)	
Two way Left Turn Lane	
Headway Factor	1.00
Turning Speed (mph)	9
Number of Detectors	1
Detector Template	Right
Leading Detector (ft)	20
Trailing Detector (ft)	0
Detector 1 Position(ft)	0
Detector 1 Size(ft)	20
Detector 1 Type	Cl+Ex
Detector 1 Channel	
Detector 1 Extend (s)	0.0
Detector 1 Queue (s)	0.0
Detector 1 Delay (s)	0.0
Detector 2 Position(ft)	
Detector 2 Size(ft)	
Detector 2 Type	
Detector 2 Channel	
Detector 2 Extend (s)	
Turn Type	Perm
Protected Phases	
Permitted Phases	6

Rockwall REC Campus Expansion TIA
Lanes, Volumes, Timings

2024 Background + Site Traffic - PM peak
1: Sids Road & Goliad Road

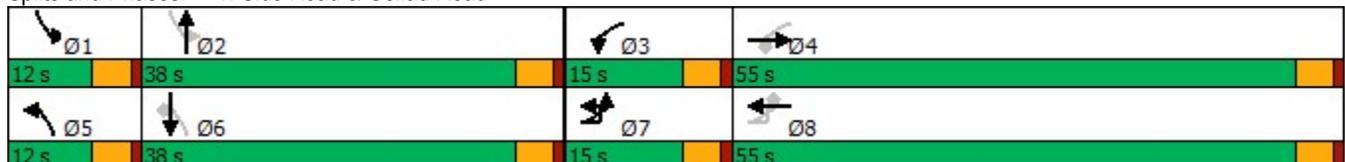


Lane Group	EBU	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT
Detector Phase	7	7	4	4	3	8	8	5	2		1	6
Switch Phase												
Minimum Initial (s)	5.0	5.0	5.0	5.0	5.0	5.0	5.0	5.0	5.0		5.0	5.0
Minimum Split (s)	22.5	22.5	22.5	22.5	9.5	22.5	22.5	9.5	22.5		9.5	22.5
Total Split (s)	15.0	15.0	55.0	55.0	15.0	55.0	55.0	12.0	38.0		12.0	38.0
Total Split (%)	12.5%	12.5%	45.8%	45.8%	12.5%	45.8%	45.8%	10.0%	31.7%		10.0%	31.7%
Maximum Green (s)	10.5	10.5	50.5	50.5	10.5	50.5	50.5	7.5	33.5		7.5	33.5
Yellow Time (s)	3.5	3.5	3.5	3.5	3.5	3.5	3.5	3.5	3.5		3.5	3.5
All-Red Time (s)	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0		1.0	1.0
Lost Time Adjust (s)		0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0
Total Lost Time (s)		4.5	4.5	4.5	4.5	4.5	4.5	4.5	4.5		4.5	4.5
Lead/Lag	Lead	Lead	Lag	Lag	Lead	Lag	Lag	Lead	Lag		Lead	Lag
Lead-Lag Optimize?	Yes		Yes	Yes								
Vehicle Extension (s)	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0		3.0	3.0
Recall Mode	None	Max		None	Max							
Walk Time (s)	7.0	7.0	7.0	7.0		7.0	7.0		7.0			7.0
Flash Dont Walk (s)	11.0	11.0	11.0	11.0		11.0	11.0		11.0			11.0
Pedestrian Calls (#/hr)	0	0	0	0		0	0		0			0
Act Effct Green (s)		39.7	35.1	35.1	40.8	29.0	29.0	38.0	34.1		38.0	34.1
Actuated g/C Ratio		0.42	0.37	0.37	0.43	0.31	0.31	0.40	0.36		0.40	0.36
v/c Ratio		0.95	0.60	0.04	0.20	0.75	0.07	0.08	0.45		0.08	0.22
Control Delay		64.4	27.5	0.1	16.2	34.3	0.3	17.6	26.2		17.7	25.1
Queue Delay		0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0
Total Delay		64.4	27.5	0.1	16.2	34.3	0.3	17.6	26.2		17.7	25.1
LOS		E	C	A	B	C	A	B	C		B	C
Approach Delay			36.1			31.8			25.2			13.0
Approach LOS			D			C			C			B

Intersection Summary

Area Type:	Other
Cycle Length:	120
Actuated Cycle Length:	93.9
Natural Cycle:	80
Control Type:	Actuated-Uncoordinated
Maximum v/c Ratio:	0.95
Intersection Signal Delay:	29.8
Intersection LOS:	C
Intersection Capacity Utilization:	70.6%
ICU Level of Service:	C
Analysis Period (min):	15

Splits and Phases: 1: Sids Road & Goliad Road



Lane Group	SBR
Detector Phase	6
Switch Phase	
Minimum Initial (s)	5.0
Minimum Split (s)	22.5
Total Split (s)	38.0
Total Split (%)	31.7%
Maximum Green (s)	33.5
Yellow Time (s)	3.5
All-Red Time (s)	1.0
Lost Time Adjust (s)	0.0
Total Lost Time (s)	4.5
Lead/Lag	Lag
Lead-Lag Optimize?	Yes
Vehicle Extension (s)	3.0
Recall Mode	Max
Walk Time (s)	7.0
Flash Dont Walk (s)	11.0
Pedestrian Calls (#/hr)	0
Act Effct Green (s)	34.1
Actuated g/C Ratio	0.36
v/c Ratio	0.33
Control Delay	5.0
Queue Delay	0.0
Total Delay	5.0
LOS	A
Approach Delay	
Approach LOS	
Intersection Summary	



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	SBL	SBT	SBR
Lane Group Flow (vph)	273	794	24	54	825	40	40	292	34	148	242
v/c Ratio	0.95	0.60	0.04	0.20	0.75	0.07	0.08	0.45	0.08	0.22	0.33
Control Delay	64.4	27.5	0.1	16.2	34.3	0.3	17.6	26.2	17.7	25.1	5.0
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	64.4	27.5	0.1	16.2	34.3	0.3	17.6	26.2	17.7	25.1	5.0
Queue Length 50th (ft)	114	222	0	18	246	0	13	130	11	65	0
Queue Length 95th (ft)	#290	295	0	40	317	0	37	240	33	130	56
Internal Link Dist (ft)		425			933			839		742	
Turn Bay Length (ft)	285			185		265	285		330		
Base Capacity (vph)	288	1934	908	335	1934	908	532	656	417	675	728
Starvation Cap Reductn	0	0	0	0	0	0	0	0	0	0	0
Spillback Cap Reductn	0	0	0	0	0	0	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0	0	0	0	0	0	0
Reduced v/c Ratio	0.95	0.41	0.03	0.16	0.43	0.04	0.08	0.45	0.08	0.22	0.33

Intersection Summary

95th percentile volume exceeds capacity, queue may be longer.
Queue shown is maximum after two cycles.

Intersection						
Int Delay, s/veh	8.2					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations		↕	↕		↕	
Traffic Vol, veh/h	235	6	7	3	2	210
Future Vol, veh/h	235	6	7	3	2	210
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	93	93	93	93	93	93
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	253	6	8	3	2	226

Major/Minor	Major1	Major2	Minor2		
Conflicting Flow All	11	0	-	0	522 10
Stage 1	-	-	-	-	10 -
Stage 2	-	-	-	-	512 -
Critical Hdwy	4.12	-	-	-	6.42 6.22
Critical Hdwy Stg 1	-	-	-	-	5.42 -
Critical Hdwy Stg 2	-	-	-	-	5.42 -
Follow-up Hdwy	2.218	-	-	-	3.518 3.318
Pot Cap-1 Maneuver	1608	-	-	-	515 1071
Stage 1	-	-	-	-	1013 -
Stage 2	-	-	-	-	602 -
Platoon blocked, %		-	-	-	
Mov Cap-1 Maneuver	1608	-	-	-	434 1071
Mov Cap-2 Maneuver	-	-	-	-	434 -
Stage 1	-	-	-	-	853 -
Stage 2	-	-	-	-	602 -

Approach	EB	WB	SB
HCM Control Delay, s	7.5	0	9.3
HCM LOS			A

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1608	-	-	-	1056
HCM Lane V/C Ratio	0.157	-	-	-	0.216
HCM Control Delay (s)	7.7	0	-	-	9.3
HCM Lane LOS	A	A	-	-	A
HCM 95th %tile Q(veh)	0.6	-	-	-	0.8

Intersection						
Int Delay, s/veh	7.7					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	↘↗		↘	↑	↑	↗
Traffic Vol, veh/h	0	23	23	0	0	0
Future Vol, veh/h	0	23	23	0	0	0
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	400	-	-	0
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	95	95	95	95	95	95
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	24	24	0	0	0

Major/Minor	Minor2	Major1		Major2	
Conflicting Flow All	49	1	1	0	0
Stage 1	1	-	-	-	-
Stage 2	48	-	-	-	-
Critical Hdwy	6.42	6.22	4.12	-	-
Critical Hdwy Stg 1	5.42	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-
Follow-up Hdwy	3.518	3.318	2.218	-	-
Pot Cap-1 Maneuver	960	1084	1622	-	-
Stage 1	1022	-	-	-	-
Stage 2	974	-	-	-	-
Platoon blocked, %				-	-
Mov Cap-1 Maneuver	946	1084	1622	-	-
Mov Cap-2 Maneuver	946	-	-	-	-
Stage 1	1007	-	-	-	-
Stage 2	974	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	8.4	7.3	0
HCM LOS	A		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1622	-	1084	-	-
HCM Lane V/C Ratio	0.015	-	0.022	-	-
HCM Control Delay (s)	7.3	-	8.4	-	-
HCM Lane LOS	A	-	A	-	-
HCM 95th %tile Q(veh)	0	-	0.1	-	-

Intersection						
Int Delay, s/veh	0.3					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	W	R	T	R	L	T
Traffic Vol, veh/h	2	3	240	2	12	302
Future Vol, veh/h	2	3	240	2	12	302
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	2	3	261	2	13	328

Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	616	262	0	0	263	0
Stage 1	262	-	-	-	-	-
Stage 2	354	-	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218	-
Pot Cap-1 Maneuver	454	777	-	-	1301	-
Stage 1	782	-	-	-	-	-
Stage 2	710	-	-	-	-	-
Platoon blocked, %			-	-		
Mov Cap-1 Maneuver	449	777	-	-	1301	-
Mov Cap-2 Maneuver	449	-	-	-	-	-
Stage 1	782	-	-	-	-	-
Stage 2	701	-	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	11	0	0.3
HCM LOS	B		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	601	1301
HCM Lane V/C Ratio	-	-	0.009	0.01
HCM Control Delay (s)	-	-	11	7.8
HCM Lane LOS	-	-	B	A
HCM 95th %tile Q(veh)	-	-	0	0

Intersection												
Int Delay, s/veh	0.3											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	2	0	0	3	0	6	0	250	1	6	312	5
Future Vol, veh/h	2	0	0	3	0	6	0	250	1	6	312	5
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None									
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	96	96	96	96	96	96	96	96	96	96	96	96
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	2	0	0	3	0	6	0	260	1	6	325	5

Major/Minor	Minor2		Minor1		Major1		Major2					
Conflicting Flow All	604	601	328	601	603	261	330	0	0	261	0	0
Stage 1	340	340	-	261	261	-	-	-	-	-	-	-
Stage 2	264	261	-	340	342	-	-	-	-	-	-	-
Critical Hdwy	7.12	6.52	6.22	7.12	6.52	6.22	4.12	-	-	4.12	-	-
Critical Hdwy Stg 1	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Follow-up Hdwy	3.518	4.018	3.318	3.518	4.018	3.318	2.218	-	-	2.218	-	-
Pot Cap-1 Maneuver	410	414	713	412	413	778	1229	-	-	1303	-	-
Stage 1	675	639	-	744	692	-	-	-	-	-	-	-
Stage 2	741	692	-	675	638	-	-	-	-	-	-	-
Platoon blocked, %								-	-	-	-	-
Mov Cap-1 Maneuver	405	412	713	410	411	778	1229	-	-	1303	-	-
Mov Cap-2 Maneuver	405	412	-	410	411	-	-	-	-	-	-	-
Stage 1	675	635	-	744	692	-	-	-	-	-	-	-
Stage 2	735	692	-	671	634	-	-	-	-	-	-	-

Approach	EB		WB		NB		SB	
HCM Control Delay, s	13.9		11.1		0		0.1	
HCM LOS	B		B					

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	SBL	SBT	SBR
Capacity (veh/h)	1229	-	-	405	599	1303	-	-
HCM Lane V/C Ratio	-	-	-	0.005	0.016	0.005	-	-
HCM Control Delay (s)	0	-	-	13.9	11.1	7.8	0	-
HCM Lane LOS	A	-	-	B	B	A	A	-
HCM 95th %tile Q(veh)	0	-	-	0	0	0	-	-

Intersection												
Int Delay, s/veh	0.6											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	5	0	1	4	0	8	9	299	2	7	182	31
Future Vol, veh/h	5	0	1	4	0	8	9	299	2	7	182	31
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None									
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	5	0	1	4	0	9	10	325	2	8	198	34

Major/Minor	Minor2		Minor1		Major1			Major2				
Conflicting Flow All	582	578	215	578	594	326	232	0	0	327	0	0
Stage 1	231	231	-	346	346	-	-	-	-	-	-	-
Stage 2	351	347	-	232	248	-	-	-	-	-	-	-
Critical Hdwy	7.12	6.52	6.22	7.12	6.52	6.22	4.12	-	-	4.12	-	-
Critical Hdwy Stg 1	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.12	5.52	-	6.12	5.52	-	-	-	-	-	-	-
Follow-up Hdwy	3.518	4.018	3.318	3.518	4.018	3.318	2.218	-	-	2.218	-	-
Pot Cap-1 Maneuver	424	427	825	427	418	715	1336	-	-	1233	-	-
Stage 1	772	713	-	670	635	-	-	-	-	-	-	-
Stage 2	666	635	-	771	701	-	-	-	-	-	-	-
Platoon blocked, %								-	-	-	-	-
Mov Cap-1 Maneuver	414	420	825	421	411	715	1336	-	-	1233	-	-
Mov Cap-2 Maneuver	414	420	-	421	411	-	-	-	-	-	-	-
Stage 1	765	708	-	664	629	-	-	-	-	-	-	-
Stage 2	652	629	-	765	696	-	-	-	-	-	-	-

Approach	EB		WB		NB		SB	
HCM Control Delay, s	13.1		11.4		0.2		0.3	
HCM LOS	B		B					

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	SBL	SBT	SBR
Capacity (veh/h)	1336	-	-	451	580	1233	-	-
HCM Lane V/C Ratio	0.007	-	-	0.014	0.022	0.006	-	-
HCM Control Delay (s)	7.7	0	-	13.1	11.4	7.9	0	-
HCM Lane LOS	A	A	-	B	B	A	A	-
HCM 95th %tile Q(veh)	0	-	-	0	0.1	0	-	-

Intersection						
Int Delay, s/veh	0					
Movement	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations	↔			↑		↗
Traffic Vol, veh/h	879	2	0	874	0	3
Future Vol, veh/h	879	2	0	874	0	3
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	-	0
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	955	2	0	950	0	3

Major/Minor	Major1	Major2	Minor1		
Conflicting Flow All	0	0	-	-	956
Stage 1	-	-	-	-	-
Stage 2	-	-	-	-	-
Critical Hdwy	-	-	-	-	6.22
Critical Hdwy Stg 1	-	-	-	-	-
Critical Hdwy Stg 2	-	-	-	-	-
Follow-up Hdwy	-	-	-	-	3.318
Pot Cap-1 Maneuver	-	-	0	-	313
Stage 1	-	-	0	-	-
Stage 2	-	-	0	-	-
Platoon blocked, %	-	-	-	-	-
Mov Cap-1 Maneuver	-	-	-	-	313
Mov Cap-2 Maneuver	-	-	-	-	-
Stage 1	-	-	-	-	-
Stage 2	-	-	-	-	-

Approach	EB	WB	NB
HCM Control Delay, s	0	0	16.6
HCM LOS			C

Minor Lane/Major Mvmt	NBLn1	EBT	EBR	WBT
Capacity (veh/h)	313	-	-	-
HCM Lane V/C Ratio	0.01	-	-	-
HCM Control Delay (s)	16.6	-	-	-
HCM Lane LOS	C	-	-	-
HCM 95th %tile Q(veh)	0	-	-	-

Intersection												
Int Delay, s/veh	6											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	0	13	7	17	9	3	4	0	55	3	0	0
Future Vol, veh/h	0	13	7	17	9	3	4	0	55	3	0	0
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None									
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	85	85	85	85	85	85	85	85	85	85	85	85
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	0	15	8	20	11	4	5	0	65	4	0	0

Major/Minor	Major1			Major2			Minor1			Minor2		
Conflicting Flow All	15	0	0	23	0	0	72	74	19	105	76	13
Stage 1	-	-	-	-	-	-	19	19	-	53	53	-
Stage 2	-	-	-	-	-	-	53	55	-	52	23	-
Critical Hdwy	4.12	-	-	4.12	-	-	7.12	6.52	6.22	7.12	6.52	6.22
Critical Hdwy Stg 1	-	-	-	-	-	-	6.12	5.52	-	6.12	5.52	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.12	5.52	-	6.12	5.52	-
Follow-up Hdwy	2.218	-	-	2.218	-	-	3.518	4.018	3.318	3.518	4.018	3.318
Pot Cap-1 Maneuver	1603	-	-	1592	-	-	919	816	1059	875	814	1067
Stage 1	-	-	-	-	-	-	1000	880	-	960	851	-
Stage 2	-	-	-	-	-	-	960	849	-	961	876	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	1603	-	-	1592	-	-	910	805	1059	814	803	1067
Mov Cap-2 Maneuver	-	-	-	-	-	-	910	805	-	814	803	-
Stage 1	-	-	-	-	-	-	1000	880	-	960	840	-
Stage 2	-	-	-	-	-	-	948	838	-	902	876	-

Approach	EB			WB			NB			SB		
HCM Control Delay, s	0			4.3			8.7			9.4		
HCM LOS							A			A		

Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1
Capacity (veh/h)	1047	1603	-	-	1592	-	-	814
HCM Lane V/C Ratio	0.066	-	-	-	0.013	-	-	0.004
HCM Control Delay (s)	8.7	0	-	-	7.3	0	-	9.4
HCM Lane LOS	A	A	-	-	A	A	-	A
HCM 95th %tile Q(veh)	0.2	0	-	-	0	-	-	0

Intersection						
Int Delay, s/veh	0.1					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	W		T			T
Traffic Vol, veh/h	0	3	313	0	3	220
Future Vol, veh/h	0	3	313	0	3	220
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	85	85	85	85	85	85
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	0	4	368	0	4	259

Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	635	368	0	0	368	0
Stage 1	368	-	-	-	-	-
Stage 2	267	-	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218	-
Pot Cap-1 Maneuver	443	677	-	-	1191	-
Stage 1	700	-	-	-	-	-
Stage 2	778	-	-	-	-	-
Platoon blocked, %			-	-		-
Mov Cap-1 Maneuver	441	677	-	-	1191	-
Mov Cap-2 Maneuver	441	-	-	-	-	-
Stage 1	700	-	-	-	-	-
Stage 2	775	-	-	-	-	-

Approach	WB	NB	SB
HCM Control Delay, s	10.3	0	0.1
HCM LOS	B		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	677	1191
HCM Lane V/C Ratio	-	-	0.005	0.003
HCM Control Delay (s)	-	-	10.3	8
HCM Lane LOS	-	-	B	A
HCM 95th %tile Q(veh)	-	-	0	0

Current UDC Standards

- (1) Solar Energy Collector Panels and System.
 - (a) Solar energy collector panels installed on a pitched roof shall be of a flat configuration and shall be subject to the following requirements:
 - (1) Configuration of pitched roof solar energy collector panels shall be a regular quadrangular shape, flat to the roof or integrated with the roof, and aligned with the natural roof edges.
 - (2) The surface of the solar energy collector panel shall not be more than six inches above the surface of the pitched roof.
 - (b) Solar energy collector panels installed on a flat roof, whether rack-mounted or flat-mounted, shall be screened from public view.
 - (1) The height of such screening, at the minimum, shall be the height of the solar energy collector panel.
 - (2) The screening may be by a parapet or screening wall replicating the materials of the building.
 - (c) Reflective flare of solar energy collector panels shall be minimized by the positioning of the solar collector panels or by the use of nonglare glazing.
 - (d) Piping, wiring and other mechanical accessories shall be concealed within a roof mounted solar energy collector panel. If some portion of the piping, wiring or other mechanical accessories cannot be practically concealed then those portions shall be painted so as to blend with the roofing material.
 - (e) Ground mounted or pole mounted solar energy collector panels shall be located behind the primary building, and shall be fully screened from public view by a solid screening fence or wall that meets all code requirements of the city.
 - (f) The maximum overall height of ground mounted or pole mounted solar energy collector panels shall not exceed 12-feet.
 - (g) In residential zoning districts, the total coverage area of solar energy collector panels shall not exceed 1,000 SF on a single lot.
 - (h) Any solar energy collector panels or systems not meeting these requirements, or any installation of solar energy systems as the principal use on any property, shall require approval of a Specific Use Permit (SUP).

Proposed UDC Changes

- (1) Solar Energy Collector Panels and Systems
 - (a) Solar energy collector panels installed on a pitched roof shall be of a flat configuration and shall be subject to the following requirements:
 - (1) Solar Energy Collector Panels shall only be located on the rear or side of the roof and shall not extend beyond the roofline or eave lines of the roof.
 - (2) Solar Energy Collector Panels shall not exceed more than 45% of the total roof area of a residentially zoned or used property. *Figure 1* below represents 45% coverage of Solar Energy Collector Panels.
 - (3) Configuration of pitched roof solar energy collector panels shall be a regular quadrangular shape, flat to the roof or integrated with the roof, and aligned with the natural roof edges.
 - (4) The surface of the solar energy collector panel shall not be more than six inches above the surface of the pitched roof.
 - (5) Solar Energy Collector Panels shall not be located on accessory buildings of residentially zoned or used properties.
 - (b) Solar shingles may be installed on residentially zoned or used properties. However, they are subject to the following requirements:
 - (1) Solar shingles shall be installed on 100% of the total roof area, and shall not be installed alongside another solar energy collector system.
 - (2) Solar shingles may be located on the primary structure and accessory buildings.
 - (c) Solar energy collector panels installed on a flat roof, whether rack-mounted or flat-mounted, shall be screened from public view.
 - (1) The height of such screening, at the minimum, shall be the height of the solar energy collector panel.
 - (2) The screening may be by a parapet or screening wall replicating the materials of the building.
 - (d) Reflective flare of solar energy collector panels shall be minimized by the positioning of the solar collector panels or by the use of nonglare glazing.
 - (e) Piping, wiring and other mechanical accessories shall be concealed within a roof mounted solar energy collector panel. If some portion of the piping, wiring or other mechanical accessories cannot be practically concealed then those portions shall be painted so as to blend with the roofing material.
 - (f) Ground mounted or pole mounted solar energy collector panels shall be located behind the primary building, and shall be fully screened from public view by a solid screening fence or wall that meets all code requirements of the city.

- (g) The maximum overall height of ground mounted or pole mounted solar energy collector panels shall not exceed 12-feet.
- (h) Any solar energy collector panels or systems not meeting these requirements, or any installation of solar energy systems as the principal use on any property, shall require approval of a Specific Use Permit (SUP).

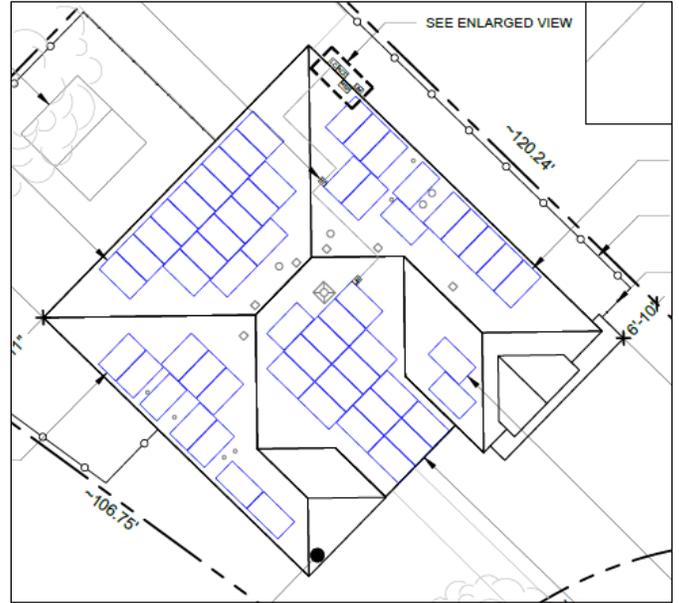


FIGURE 1: EXAMPLE OF 45% ROOF COVERAGE OF SOLAR ENERGY COLLECTOR PANELS

CITY	REGULATION	CONDITIONS
Allen	2021 ICC Building Code	None
		<p>Panels can only be located on rear or side facing elevations viewed from any adjacent street.</p> <p>Shall not extend past maximum height requirement for zoning district.</p>
Arlington	Permitted with conditions or Exception	May be located on an accessory structure.
Balch Springs	2016 IBC Codes and 2016 Electrical Codes	None
Bedford	Building Code	None
Carrollton	Building Code	None
Cedar Hill	Permitted by Right	None
		<p>May not extend beyond the roofline or eave line</p> <p>Shall conform to the slope of the roof, unless mounted on a roof slope that is not visible from right-of-way.</p>
Celina	Permitted with conditions or SUP	Should be designed to reduce glare.
Colleyville	Building Code	None
Coppell	Building Code	None
Corinth	Building Code	None
Denton	Building Code	None
Duncanville	Building Code	None
Farmers Branch	Building Code	None
		<p>Shall not project over the ridgeline of a pitched, gabled, or gambrel roof and shall be parallel to the roofline.</p> <p>Shall not exceed the maximum height permitted within the zoning district.</p>
Flower Mound	Permitted with conditions	
Forney	Building Code	None
Frisco	Building Code	None
		May be constructed up to 50 feet higher than the maximum height of the zoning district.
Garland	Permitted by right	
Grapevine	Building Code	None
Heath	Building Code	None
Irving	Building Code	None
		<p>May be constructed up to 12 feet higher than the maximum height of the zoning district.</p> <p>Provided they are:</p> <p>Not more than one-third the total roof area, and</p> <p>Set back from the edge of the roof a minimum distance of 2 feet for every foot by which the features extend above the roof surface of the building to which they are attached.</p>
Lancaster	Permitted with conditions	
Lewisville	SUP for all	None

CITY	REGULATION	CONDITIONS
		<p>Shall meet all applicable codes and ordinances and shall be installed only after issuance of a building permit.</p> <p>Shall not be located on a front or side roof slope facing any public street or rear roof slop facing a street with four or more lanes.</p> <p>Shall have a top edge that is parrallel to the roof ridge and shall conform to the slope of the roof.</p> <p>May be located on any roof slope of an accessory building or structure.</p> <p>Solar Panels mounted on flat roofs shall not exceed the maximum height permitted within the zoning district and shall be screened.</p> <p>Shall be positioned on the roof so as to not extend above or beyond the edge of any ridge, hip, valley, or eave.</p>
Mansfield	Permitted with Conditions	
McKinney	Building Code	None
Mesquite	Building Code	None
Murphy	Building Code	None
Plano	Building Code	None
Prosper	Building Code	None
Richardson	Building Code	None
Rowlett	Building Code	None
Sachse	Building Code	None
		<p>No system shall be installed greater than six (6) inches between the panel and the roof.</p> <p>No system shall be loated less than the required building setback as required by the zoning district.</p> <p>No solar energy system shall be constructed upon a lot until a buiding permit has been issued or principal use has actually been commenced.</p>
Southlake	SUP for all	
The Colony	Building Code	None
Wylie	Building Code	None